

**WACONIA PLANNING COMMISSION MEETING AGENDA**



**Thursday, February 5, 2026  
6:30 PM**

**VISION STATEMENT**

**A thriving, connected community with deep roots: a great place to live for a lifetime.**

**MISSION STATEMENT**

**A city that leads, serves, and governs to enhance the quality of life for all community members.**

**CHAIR: CHAD GENZ  
MEMBER: JOE POLUNC  
MEMBER: BRUCE PAULSEN  
MEMBER: DARYL PETERSON  
MEMBER: JACOB WECKMAN  
ALTERNATE: SIMON MALINSKI**

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**NOTE: TO ENSURE THAT YOU ARE PRESENT FOR ITEMS OF INTEREST,  
PLEASE BE PRESENT AT 6:30 P.M.**

Those with items on the agenda should reach out to their staff contact. Others who wish to participate in the meeting, please contact the Community Development Director at 952-442-3106 or [lbraaten@waconia.mn.gov](mailto:lbraaten@waconia.mn.gov) to make certain that you are called upon during the meeting.

- 1. CALL MEETING TO ORDER AND ROLL CALL**
- 2. ADOPT AGENDA**
- 3. APPROVAL OF MINUTES**
  - 1) December 4th, 2025 Planning Commission Meeting Minutes
- 4. NEW BUSINESS**
  - 1) **SITE PLAN and DESIGN REVIEW – GVT Tire & Auto**

Motion to recommend approval/denial to the City Council regarding the Site Plan and Design Review application for the proposed GVT Tire & Auto project to be located at 401 13th Street East.
- 5. OLD BUSINESS**
- 6. OTHER**

**1) Staff Update**

**7. ADJOURN**



## REQUEST FOR PLANNING COMMISSION ACTION

<b>Meeting Date:</b>	February 5, 2026		
<b>Item Name:</b>	3.1. December 4th, 2025 Planning Commission Meeting Minutes		
<b>Originating Dept:</b>	Community Development		
<b>Presented By:</b>	Dave Havlik		
<b>Previous Council Action:</b>	None		
<b>Item Type:</b>			
<b>RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED:</b> Motion to approve the December 4th, 2025 Planning Commission Meeting Minutes.			
<b>EXPLANATION OF AGENDA ITEM:</b> Approve the December 4, 2025, Planning Commission Meeting Minutes.			
<b>ATTACHMENTS:</b> 1. December 4th 2025 Planning Commission Meeting Minutes			
<b>FINANCIAL IMPLICATIONS:</b>		<b>ADVISORY BOARD RECOMMENDATIONS:</b>	
Funding Sources & Uses:		Planning Commission:	
Budget Information:		Park Board:	
_____ Budgeted		Personnel Committee:	
_____ Non-Budgeted		Other: More sample text.	
_____ Amendment Required			

**CITY OF WACONIA  
DECEMBER 4, 2025**

**1. CALL MEETING TO ORDER AND ROLL CALL**

Pursuant to due call and notice thereof, the meeting of the Planning Commission of the City of Waconia was called to order by Chair Genz at 6:30 PM.

The following Commissioners were present: Planning Commission Member Genz, Planning Commission Member Polunc, Planning Commission Member Paulsen, Planning Commission Member Peterson, Planning Commission Member Malinski.

The following Commissioners were absent: Planning Commission Member Weckman.

The following Commissioners were present but not voting: None.

**2. ADOPT AGENDA**

Braaten had no changes to the agenda.

Commissioner Paulsen made a motion to adopt the agenda, seconded by Commissioner Peterson.

**MOTION CARRIED.**

**3. APPROVAL OF MINUTES**

Commissioner Polunc made a motion to approve the minutes from the November 6, 2025, Seconded by Commissioner Paulsen.

**MOTION CARRIED.**

**1) November 6th, 2025 Planning Commission Meeting Minutes**

**4. NEW BUSINESS**

**1) Steep Slope Permit - 25 Lake Street East**

Assistant Planner Abdihafid Sahal introduced the Steep Slope Permit at 25 Lake Street East. Showing the location of the property, which is in the Shoreland Overlay District. The applicant is proposing to build a single family home within a steep slope. Other improvements will include retaining walls along with a catch basin to capture runoff. The applicant is proposing the maximum of 25% hardcover allowed. He also included the erosion control plan. He also explained the three different drainage systems, how they work independently of each other. Generally speaking, steep slope permit review, it is mainly an engineering review to make sure the project doesn't create an erosion issue in a sensitive area.

Commissioner Paulsen asked where the storm water would drain. Discussion followed.

Braaten explained the current system along with future runoff systems. Commissioner

Malinski asked about the wall and the type of material would be used. Commissioner Polunc asked about the erosion control. Braaten talked about the applicant's options going forward. Commissioner Paulsen drove by and noted that there wasn't anything that stood out that would prohibit the project from going forward. Commissioner Polunc made a motion to approve the steep slope permit with the 9 recommendation conditions stated in the staff memo. Seconded by Commissioner Paulsen.

**MOTION CARRIED**

**5. OLD BUSINESS**

No Old business.

**6. OTHER**

**1) Staff Update**

Braaten talked about the new home total for the year at 115. All the land use applications were approved by Council. The draft of the 2026 Planning Schedule was handed out for review.

**7. ADJOURN**

Commissioner Paulsen made a motion to adjourn, seconded by Commissioner Peterson.

**MOTION CARRIED**

**8. WORK SESSION**



## REQUEST FOR PLANNING COMMISSION ACTION

<b>Meeting Date:</b>	February 5, 2026
<b>Item Name:</b>	4.1. SITE PLAN and DESIGN REVIEW – GVT Tire & Auto
<b>Originating Dept:</b>	Community Development
<b>Presented By:</b>	Lane Braaten
<b>Previous Council Action:</b>	
<b>Item Type:</b>	Regular Session
<b>RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED:</b> Motion to recommend approval/denial to the City Council regarding the Site Plan and Design Review application for the proposed GVT Tire & Auto project to be located at 401 13th Street East.	
<b>EXPLANATION OF AGENDA ITEM:</b>	
<b><u>BACKGROUND</u></b>	
<b>Applicant:</b> Axys Construction	
<b>Owner(s):</b> City of Waconia/10401 BRE Group LLC	
<b>Address(es):</b> 401 13th Street East	
<b>PID#s:</b> 753540010	
<b>Existing Zoning:</b> B-1, Highway Business District	
<b>Design District:</b> Highway District	
<b><u>REQUEST</u></b>	
The applicant, Axys Construction, has submitted a Site Plan and Design Review application proposing the construction of a 6,640 square foot motor vehicle repair garage at 401 13th Street East.	
<b><u>APPLICABLE ORDINANCE PROVISIONS:</u></b>	
1. Section 900.05 – District Regulations, Subd. 2.F – B-1, Highway Business District	
2. Section 900.06 – Supplementary Regulations, Subd. 9 – Architectural Design Standards	
3. Section 900.07 – Landscaping and Fencing	
4. Section 900.08 – Performance Standards	
5. Section 900.09 – Off-Street Parking, Loading, and Access Regulations	
6. Section 900.10 – Sign Regulations	
7. Section 900.12 - Administration, Enforcement and Procedures, Subd. 10 - Site Plan Review	
<b><u>SITE PLAN REVIEW</u></b>	
City Ordinance requires Site Plan Review “in order to further promote the safe and efficient use of land and to further enhance the value of property in the City.” City Ordinance requires Site Plan Review for any construction for which a building permit is required, except for construction of detached, single-family residential structures or structures accessory thereto.	
<b>EXISTING USE</b>	
The subject parcel is currently undeveloped.	

**ZONING**

The subject parcel is zoned B-1, Highway Business District. Automobile service and repair businesses are a permitted use in the B-1 zoning district.

**LOT REQUIREMENTS**

The B-1, High Business District section of the City Ordinance states “The purpose of this district is to provide for an appropriate range of businesses that will be utilized by area residents as well as vehicular traffic generate from the surrounding area.” The Lot Requirements for the Highway Business District are indicated in Table 1-1 below.

<b>Table 1-1.</b>	<b>B-1 – Lot Requirements</b>	<b>Proposed Site Improvements</b>
Lot Area	17,500 sq. ft. min.	68,200 sq. ft.
Lot Width	100 ft. min.	Conforming
Maximum Hardcover Surface	80% max.	Conforming
Maximum Structure Height	35 ft. max.	28 ft. (top of parapet)
Front Yard Setback	25 ft. min.	Conforming
Interior Side Yard Setback	15ft. min.	Conforming
Rear Yard Setback	20 ft. min.	Conforming
Parking Area Setback	8 ft. min.	Conforming

The proposed GVT Tire & Auto building meets all required setbacks, hardcover, and building height requirements for the B-1, Highway Business District based on a review of Sheet No. C2 of the plan set dated 12/29/25.

**VEHICULAR ACCESS**

The applicant is proposing two accesses off of the shared driveway access from County Road 10, which has been reviewed by the City Engineer and are acceptable as proposed.

**SCREENING OF EQUIPMENT**

Mechanical equipment, such as furnaces, air conditioners, elevators, transformers, and utility equipment, shall be screened, whether on the roof or mounted on the ground, with a screening material similar to or compatible with material used on the main structure.

It appears that the mechanical equipment will be located on the roof and screening is provided to the north by the use of a parapet. Additional screening details shall be provided showing how the roof mounted mechanical systems will be enclosed/screened from the remaining directions (south, east and west).

**OFF-STREET PARKING**

City Ordinance requires the following parking requirements for motor vehicle service establishments:

Four (4) spaces for each 1,000 square feet of gross floor space, less storage space.

The total number of parking spaces required for the proposed building is 27. The applicant is proposing 42 parking spaces for the overall project, which is conforming.

### **LANDSCAPING**

Section 900.07, Subd. 2.B of the City Ordinance requires one (1) tree for every one thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.

The project requires 23 trees to be planted based on the site perimeter of 1,146 feet. The applicant proposes to plant 25 trees on site which is consistent with City Code requirements. Further, the mix of coniferous and deciduous trees is consistent with code requirements.

All proposed trees shall meet the minimum sizing and species requirements. More specifically, all deciduous trees shall be a minimum of 2.5 caliper inches in diameter measured 6 inches above ground and all coniferous trees shall be a minimum of 6 ft. in height.

### **SIGNS**

A sign plan was not submitted with the Site Plan application. The applicant is aware that any future signage shall require a permit through the City and be formally reviewed at that time.

The elevations provided indicate signage on the north façade and the east façade. The city sign regulations allow two (2) walls signs located on separate building faces, each covering a maximum of 10% of the building face on which it is located. The north façade shows what appears to be two signs on the front façade which would not be allowed under the City Code. Sign revisions will be necessary before building permit issuance.

### **LIGHTING**

Section 900.08, Subd. 1.C provides standards for exterior lighting. Exterior lighting is required to be designed and arranged to limit direct illumination and glare in any contiguous parcel of land. Reflected glare or spill light shall not exceed five tenths (0.5) foot candle when the source of light abuts any residential or public use parcel. Additionally, reflected glare or spill light shall not exceed one (1.0) foot candle when the source of light abuts any commercial parcel or public right-of-way.

The lighting plan appears to meet City Code lighting standards. All light poles and standards shall not exceed 35 feet.

### **PEDESTRIAN ACCESS**

The applicant has proposed a sidewalk along the front façade of the building. Additionally, the applicant has included a pedestrian link from the sidewalk link extending from the New Creations Day Care site north to the existing sidewalk located along the south side of County Road 10. The sidewalk appears to extend onto the Kwik Trip parcel and may require

agreements and/or easement prior to placement of the sidewalk. Additionally, the crossing of the access driveway shared with Kwik Trip may need to be striped for pedestrians, signed, etc. The final placement and required improvements, if acceptable to the Planning Commission, should be reviewed and approved by the City Engineer prior to final design.

**TRASH**

City Ordinance requires “All trash and trash handling equipment to be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure.”

The applicant has indicated that trash and trash handling equipment will be stored inside the building and will be rolled out for pickup as needed. Further, they state “No outdoor trash is being utilized.”

**GRADING, DRAINAGE & UTILITIES**

The utility, grading and storm water information has been initially reviewed by the City Engineer. There are a few outstanding items which require resolution, but nothing significant enough to preclude the Planning Commission and City Council from reviewing the site plan application. Any recommendation of approval shall require the applicant to work with the City Engineer to revise the grading, drainage, and utility information to the satisfaction of the City prior to any work commencing on site.

**SEWER AVAILABILITY CHARGE (SAC) AND CITY TRUNK FEES**

New construction, a new business, a change in location or change in the use of space in a way that creates more potential demand on the wastewater system will require submission to the Metropolitan Council for a Sewer Availability Charge (SAC) determination. The SAC determination made by the Metropolitan Council informs the City sewer and water trunk fees associated with the potential development, redevelopment and/or remodeling of the subject property, location, or business. City Code requires that for every SAC unit determined by the Metropolitan Council, the project will require the payment of one City sewer trunk fee and one City water trunk fee. The SAC and City trunk fees are included below for convenience.

SAC Charge	\$2,485 per SAC unit determined by the Metropolitan Council
Sewer Trunk Fee	\$4,200 per SAC unit determined by the Metropolitan Council
Water Trunk Fee	\$6,500 per SAC unit determined by the Metropolitan Council
Stormwater Trunk Fee	\$11,500 per acre
Stormwater Access Fee	\$1,6000 per acre

**DESIGN REVIEW – HIGHWAY DISTRICT**

City Ordinance requires Design Review with the understanding that “the visual character and historic resources of the City are important attributes of its quality of life.” City Ordinance requires Design Review to be conducted as part of the Site Plan Review process.

Based on a review of the plan set provided by the applicant for GVT Tire & Auto, staff find that nearly all of the design requirements stated in the Highway Design District have been met. The outstanding items have been referenced in the comments above related to pedestrian and bicycle access and the screening of rooftop mechanical equipment.

Staff have provided a link below to the Architectural Design Standards section of the City Code for convenience in review. Please reference subpart E. Design Standards, Highway District

[https://library.municode.com/mn/waconia/codes/code\\_of\\_ordinances?nodeId=COOR\\_PTIXZO\\_CH900Zoor\\_S900.06.9ARDEST](https://library.municode.com/mn/waconia/codes/code_of_ordinances?nodeId=COOR_PTIXZO_CH900Zoor_S900.06.9ARDEST)

### **CONCLUSION/RECOMMENDATION**

The Planning Commission should make a recommendation to the City Council regarding the request by GVT Tire & Auto for Site Plan & Design Review to allow the construction of a 6,640 square foot motor vehicle repair garage at 401 13th Street East. This item will be forwarded to the City Council for consideration at their upcoming meeting scheduled for February 17th/18th, 2026.

If the Planning Commission chooses to recommend approval of the Site Plan and Design Review application for GVT Tire & Auto, staff has identified the following conditions for consideration:

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall work with the City Engineer to revise the grading, drainage and utility information to the satisfaction of the City prior to any work commencing on site.
4. The applicant shall provide the City with a letter of credit to guarantee the proper installation and growth of the approved landscape plan. The letter of credit shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed for the project. The letter of credit shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
5. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
6. All future signage shall require a sign permit from the City of Waconia.
7. All future exterior mechanical equipment shall be screened in conformance with City Ordinance requirements.
8. Light poles and standards shall not exceed 35 feet.
9. The Fire Chief shall review and approve the final plans for any required fire access lanes and hydrant placement prior to work commencing on the site.

10. Final placement and location of the sidewalk extending from the subject parcel to the sidewalk located on the south side of County Road 10 shall be reviewed and approved by the City Engineer prior to work commencing on site. If pedestrian striping, signage, etc. are required by the City Engineer, the applicant shall revise the plans accordingly.
11. The applicant shall contact the City Community Development Department for a final site inspection when all conditions of approval regarding this application have been completed.
12. The applicant shall obtain, if necessary, Carver County Water Management Organization (CCWMO) approval and permitting for erosion control and storm water management. A copy of any approvals or permits shall be submitted prior to any land disturbing activities.
13. The applicant shall obtain, if necessary, a General Construction Stormwater Permit (NPDES) from the Minnesota Pollution Control Agency and submit a copy to the City prior to any land disturbing activities.
14. The easement, watermain, sanitary sewer, grading and storm water issues shall be resolved to the satisfaction of the City Engineer prior to the issuance of a building permit.

**ATTACHMENTS:**

1. Location Map
2. GVT Tire & Auto Landscape Plan 11x17
3. GTV Tire & Auto Civil Set 11x17
4. GVT Architectural Plan Set 11x17
5. Site Photometrics 11x17


<b>FINANCIAL IMPLICATIONS:</b>	<b>ADVISORY BOARD RECOMMENDATIONS:</b>
Funding Sources & Uses: Budget Information: _____ Budgeted _____ Non-Budgeted _____ Amendment Required	Planning Commission: _____ Park Board: _____ Personnel Committee: _____ Other: More sample text. _____

# Location Map—401 13th Street East

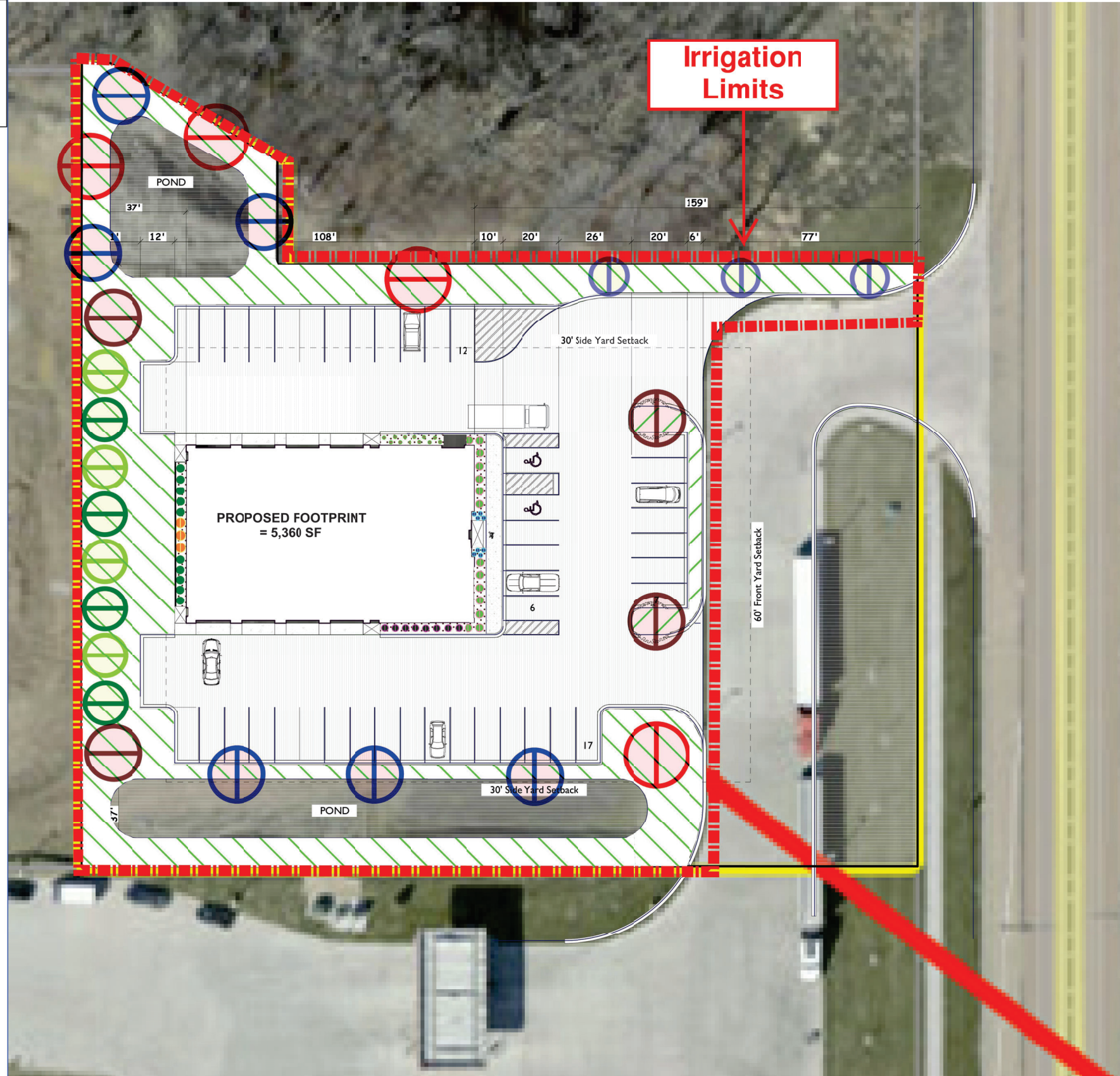


# Landscape Plan

## Landscape Legend

-  4 Swamp White Oak 2.5"
-  4 American Linden 2.5"
-  6 River Birch 6'
-  3 Spring Snow Crabapple 2.5"
-  4 Black Hills Spruce 6'
-  4 White Pine 6'
-  15 Glow Girl Spirea #5
-  3 Amber Jubilee Ninebark #5
-  8 Spilled Wine Weigela #5
-  10 Karl Foerster Reed Grass #1
-  12 Autumn Fire Sedum #1
-  8 Junior Walker Catmint #1
-  Turf Grass Sod
-  Decorative Rock Mulch Type TBD
-  Black Poly Edging

Revision  
12/29/2025



4918 S. Tri Oak Circle NE  
East Bethel, MN 55092  
Phone 651-245-2346  
Email: mjtk2520@gmail.com  
Web: michaeljthomasarchitect.com



Project No:  
25026

Date Last Revised:  
12-08-25, 12-13-25, 12-15-25

File Name:  
25026 GVT Waconia 12-15-25.pln

Drawn By:  
MJT

Minnesota License No.:23592

Date Signed:  
00-00-00

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

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The architectural works depicted herein are the sole property of Michael J. Thomas Architect, LLC and may not be constructed or used without its expressed written permission. No permission to modify or reproduce any of these architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building(s) depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise stated by Michael J. Thomas Architect, LLC and in absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



PRELIMINARY - DO NOT USE FOR CONSTRUCTION

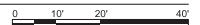
**GVT Tire & Auto  
New Auto Service Building**

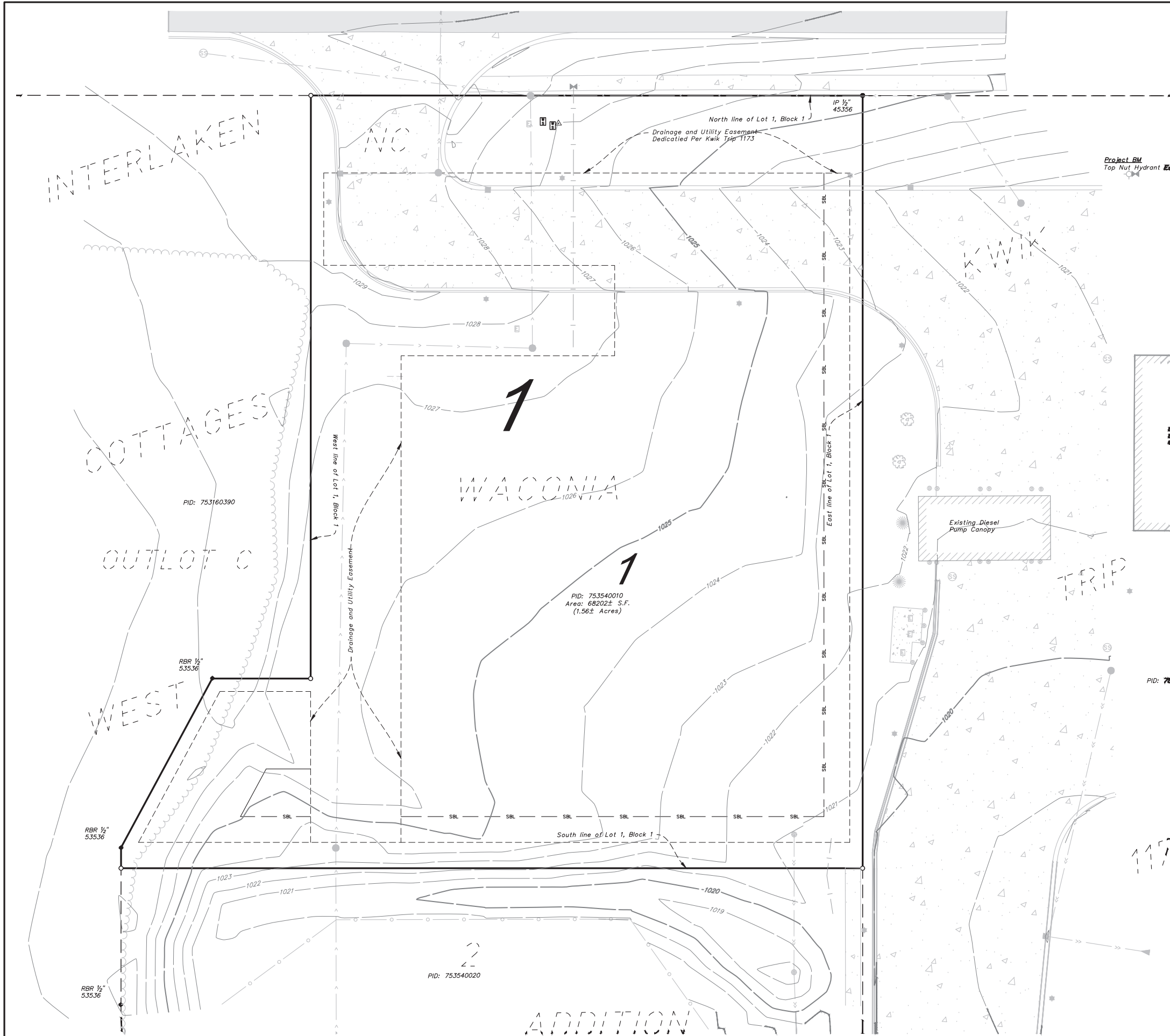
150 Sparrow Road  
Waconia, MN

**AI.0**

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

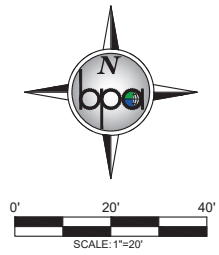
1 Concept Architectural Site Plan  
SCALE: 1" = 20'





**LEGEND:**

- Denotes found iron monument
- Denotes set iron monument
- ◆ Denotes found rebar
- Denotes catch basin
- Denotes beehive catchbasin
- ▤ Denotes electrical cabinet
- ▥ Denotes mailbox
- ⊕ Denotes water service
- ⊖ Denotes electric service
- ⊗ Denotes sanitary service
- ⊘ Denotes gas service
- ⊙ Denotes gas marker
- ⊚ Denotes telephone marker
- ⊛ Denotes fiber optic marker
- ⊜ Denotes sanitary manhole
- ⊝ Denotes water valve
- ⊞ Denotes water spigot
- ⊟ Denotes tee fence post
- ⊠ Denotes sign
- ⊡ Denotes power pole
- ⊢ Denotes guy wire
- ⊣ Denotes telephone pedestal
- ⊤ Denotes electric meter
- ⊥ Denotes cable television box
- ⊦ Denotes fiber optic service box
- ⊧ Denotes underground gas
- ⊨ Denotes telephone vault
- ⊩ Denotes fiber optic vault
- ⊪ Denotes electric vault
- ⊫ Denotes gas vault
- ⊬ Denotes hydrant
- ⊭ Denotes water curb stop
- ⊮ Denotes water sprinkler head
- ⊯ Denotes soil boring
- ⊰ Denotes light pole
- ⊱ Denotes well
- ⊲ Denotes air conditioning
- ⊳ Denotes gas meter
- ⊴ Denotes electric outlet
- ⊵ Denotes underground electric
- ⊶ Denotes bollard
- ⊷ Denotes flagpole
- ⊸ Denotes flared end section
- ⊹ Denotes culvert
- ⊺ Denotes tree, coniferous
- ⊻ Denotes tree, deciduous
- ⊼ Denotes shrub/bush
- ⊽ Denotes (name of surveyor), LS
- ⊾ Denotes bituminous surface
- ⊿ Denotes concrete surface
- ⋀ Denotes underground telephone
- ⋁ Denotes overhead electric
- ⋂ Denotes underground fiber optics
- ⋃ Denotes underground gas line
- ⋄ Denotes underground electric
- ⋅ Denotes tree line
- ⋆ Denotes easement
- ⋇ Denotes right of way
- ⋈ Denotes major contour
- ⋉ Denotes minor contour
- ⋊ Denotes sanitary sewer
- ⋋ Denotes storm sewer
- ⋌ Denotes waterline
- ⋍ Denotes existing adjoiners
- ⋎ Denotes building setback line
- ⋏ Denotes waters edge
- ⋐ Denotes field edge
- ⋑ Denotes mow line



REV NO.	DATE	DESCRIPTION
1	01/28/2025	REVISION PER CITY REVIEW

DATE: 01/28/2025  
 DESIGN BY: M.J.M. D.M.L.  
 DRAWN BY: M.J.M. D.M.L.  
 CHECKED BY: C.J.D.  
 DWG FILE: DEMOLITION  
 FILE NO.: 25-0479.00

**NOT FOR CONSTRUCTION**

**BOGART, PEDERSON & ASSOCIATES, INC.**  
 LAND SURVEYING  
 ENVIRONMENTAL SERVICES  
 13076 FIRST STREET, BECKER, MN 55305-9322  
 TEL: 763-262-8822 FAX: 763-262-8844

**GVT TIRE & AUTO  
 AXYS CONSTRUCTION**  
 150 Sparrow Road  
 City of Waconia, Carver County, MN  
 EXISTING CONDITIONS

SHEET NO.  
V1

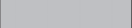
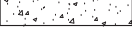



**PLAN REFERENCE**

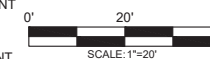
1. ((GVT TIRE & AUTO) CARVER COUNTY, MN) PREPARED BY BOGART, PEDERSON & ASSOCIATES, INC. DATED (12-17-2025)

CALL 48 HOURS BEFORE DIGGING:  
**GOPHER STATE ONE CALL**  
 TWIN CITY AREA 651-454-0002  
 MINNESOTA TOLL FREE 1-800-252-1166

# County Road 10

## LEGEND:

-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED CONCRETE PAVEMENT
-  PROPOSED TURF ESTABLISHMENT
-  CONCRETE CURB AND GUTTER - B612
-  PROPOSED SIGN



## SITE PLAN NOTES:

1. PAINTED PAVEMENT MARKING DIMENSIONS ARE SHOWN TO FACE OF CURB. ALL OTHER DIMENSIONS ARE SHOWN TO BACK OF CURB.
2. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
3. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
6. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY.
7. LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
8. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGLIME, SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDED OR SODDED. REFER TO THE EROSION CONTROL PLAN FOR SOD AND SEED LOCATIONS. ALL OTHER AREAS DISTURBED BY CONSTRUCTION NOT SPECIFICALLY IDENTIFIED TO RECEIVE A CERTAIN SEED MIX SHALL BE MIXED WITH SEED MIX 25-131.
9. WHERE NEW SOD MEETS EXISTING SOD, EXISTING SOD EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.

## SITE PLAN INFORMATION:

- PARCEL AREA:**  
• 1.56 ACRES ±
- EXISTING ZONING:**  
• B-1 HIGHWAY BUSINESS DISTRICT
- PRINCIPAL STRUCTURE SETBACKS:**  
• FRONT: 30'  
• SIDE: 15'  
• REAR: 20'
- | SITE DATA     | EXISTING  | PROPOSED  |
|---------------|-----------|-----------|
| PAVEMENT AREA | 9,843 SF  | 34,951 SF |
| BUILDING AREA | 0 SF      | 6,640 SF  |
| PERVIOUS AREA | 58,357 SF | 26,609 SF |
| TOTAL AREA    | 68,200 SF | 68,200 SF |
- PARKING REQUIREMENTS:**  
• MINIMUM PARKING STALL DIMENSIONS: 20' X 9' (90° PARKING)  
PARKING STALLS:  
• TOTAL STALLS PROVIDED: 42  
• TOTAL ADA STALLS PROVIDED: 2 (2 VAN ACCESSIBLE)  
• TOTAL ADA STALLS REQUIRED: 2 (2 VAN ACCESSIBLE REQUIRED)

NOT FOR CONSTRUCTION

**BOGART, PEDERSON & ASSOCIATES, INC.**  
LAND SURVEYING  
ENVIRONMENTAL SERVICES  
13076 FIRST STREET, BECKER, MN 55508-9322  
TEL: 763-262-8822 FAX: 763-262-8844

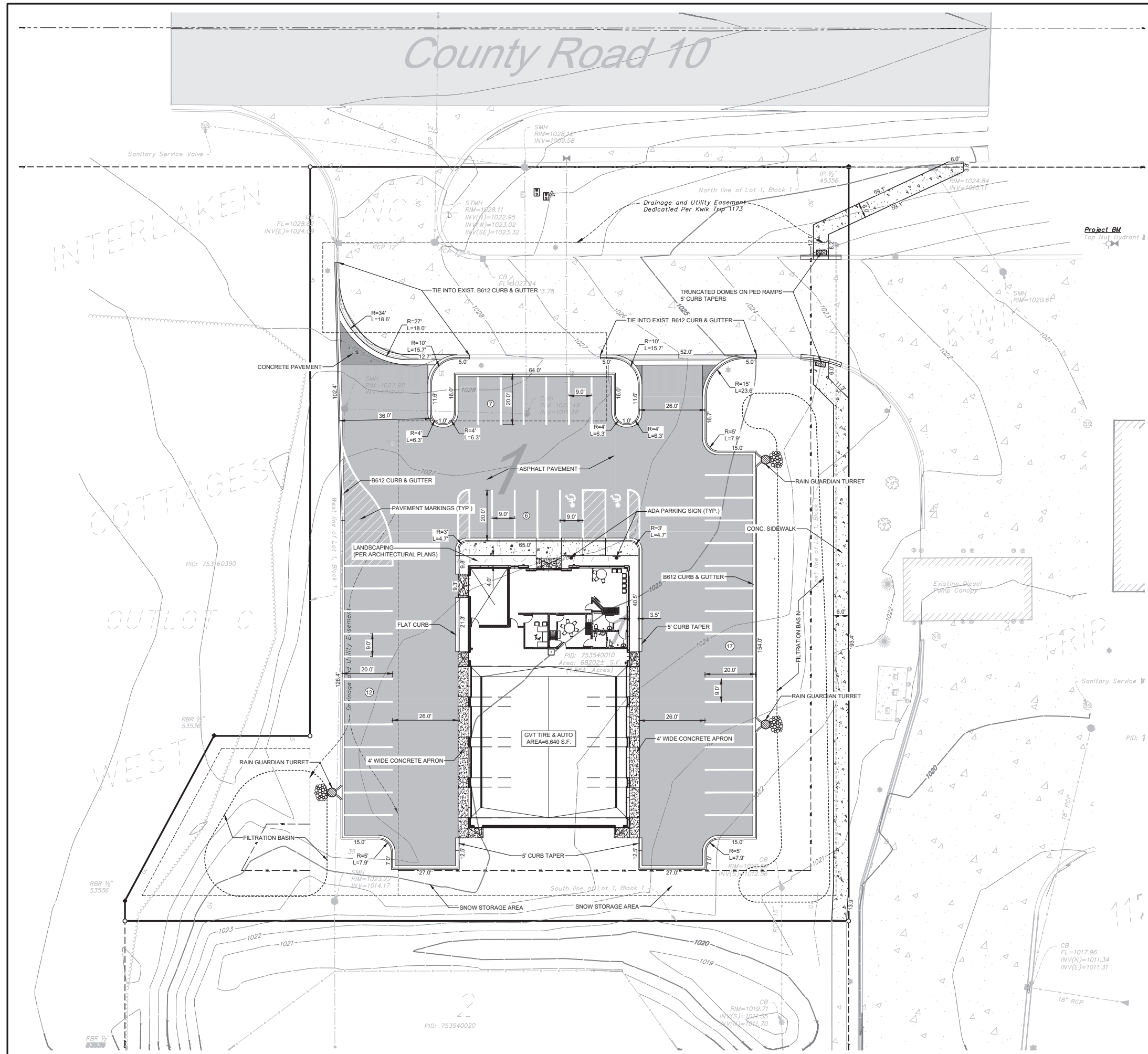


**GVT TIRE & AUTO  
AXYS CONSTRUCTION**  
150 Sparrow Road  
City of Waconia, Carver County, MN  
SITE & DIMENSION PLAN

SHEET NO.

**C2**

CALL 48 HOURS BEFORE DIGGING:  
**GOPHER STATE ONE CALL**  
TWIN CITY AREA 651-454-0002  
MINNESOTA TOLL FREE 1-800-252-1166

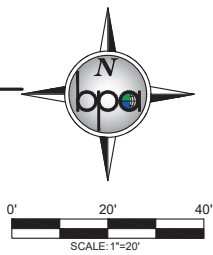


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# County Road 10

## LEGEND:

- PROPOSED RIP RAP
- 980.50 TC NEW TOP-BACK OF CURB ELEVATION
- 980.50 FL NEW FLOW LINE OF CURB ELEVATION
- 980.50 SW NEW SIDEWALK ELEVATION
- 980.50 TP NEW TOP OF PAVEMENT ELEVATION
- 980.50 TG NEW TOP OF GRAVEL ELEVATION
- 980.50 FG NEW FINISHED GRADE ELEVATION
- 980.50 EX EXISTING ELEVATION
- 984 PROPOSED CONTOUR
- PROPOSED SLOPE
- E.O.F. EMERGENCY OVERFLOW



## GRADING GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALES, ETC.).
4. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
5. TURF ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 6" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 5:1 SHALL BE HYDROSEED, EROSION CONTROL BLANKETED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.
6. PROPOSED SPOT ELEVATIONS ARE TO THE TOP OF CURB UNLESS NOTED OTHERWISE. ELEVATION OF FLOW LINE IS 6" BELOW TOP OF CURB UNLESS OTHERWISE SHOWN.
7. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
8. IT IS NOT INTENDED THAT EARTHWORK (CUT VS. FILL) BALANCE ON SITE. THE CONTRACTOR SHALL SUBMIT THE QUANTITY OF MATERIAL AND AMOUNT OF ANTICIPATED GRADE ADJUSTMENT FOR REVIEW BY THE ENGINEER A MINIMUM OF FOUR WEEKDAYS PRIOR TO MAKING ADJUSTMENTS. ALL GRADE ADJUSTMENTS MUST BE APPROVED BY THE ENGINEER. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR WORK ASSOCIATED WITH GRADING ADJUSTMENTS, INCLUDING, BUT NOT LIMITED TO, EARTHWORK OPERATIONS, STORM SEWER PIPING AND STRUCTURE ADJUSTMENTS, CONSTRUCTION SURVEYING FOR ADJUSTING FEATURE LOCATIONS ACCORDINGLY, SILT FENCE, ETC.
9. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED OR RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
10. ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINTILE, OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR)
11. CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER (INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC.) AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.

NOT FOR CONSTRUCTION

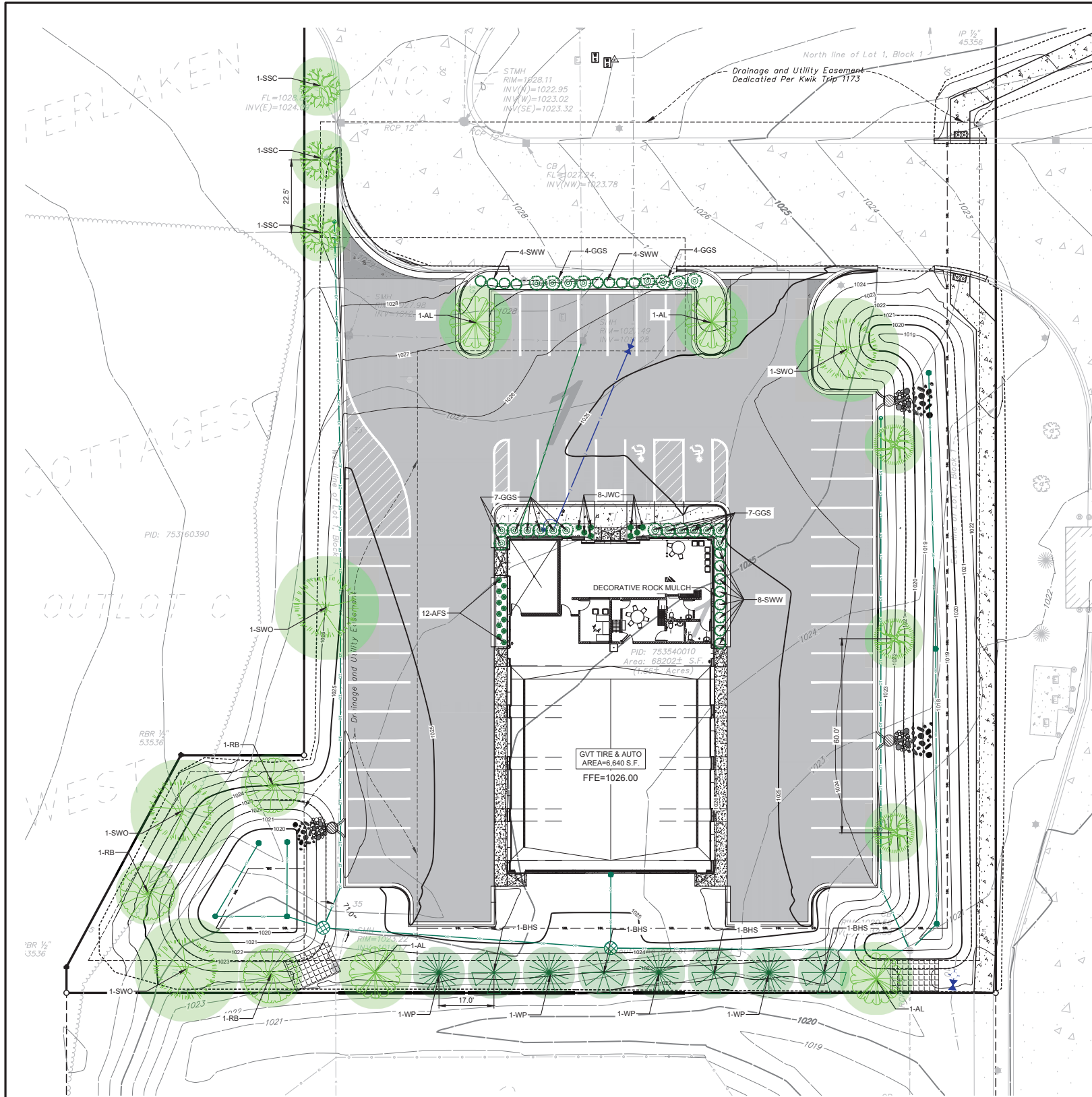
**BOGART, PEDERSON & ASSOCIATES, INC.**  
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 ENVIRONMENTAL SERVICES  
 13076 FIRST STREET, BECKER, MN 55305-9322  
 TEL: 763-262-8822 FAX: 763-262-8844

**GVT TIRE & AUTO AXYS CONSTRUCTION**  
 150 Sparrow Road  
 City of Waconia, Carver County, MN  
 GRADING PLAN

SHEET NO.

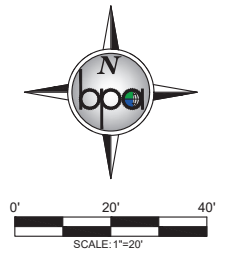
**C3**

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**LEGEND:**

- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED TURF ESTABLISHMENT
- PROPOSED DOUBLE SHREDDED BROWN MULCH
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUB



**LANDSCAPE REQUIREMENTS:**

PER CITY OF WACONIA ZONING ORDINANCE:  
ALL LANDSCAPING INCORPORATED IN SAID PLAN SHALL CONFORM TO THE FOLLOWING STANDARDS AND CRITERIA:

- A. ALL PLANTS MUST AT LEAST EQUAL THE FOLLOWING MINIMUM SIZE:
- |                          |  |
|--------------------------|--|
| SHADE TREES              | POTTED/BARE ROOT OR BALLED & BURLAPPED |
| HALF TREES               | 2-INCH DIAMETER                        |
| EVERGREEN                | 1-1/2 INCH DIAMETER                    |
| TALL SHRUBS & HEDGE MAT. | 6 FEET HIGH                            |
| LOW SHRUBS - DECIDUOUS   | 24 - 30 INCHES                         |
| -EVERGREEN               | 24 - 30 INCHES                         |
| -SPREADING EVERGREENS    | 18 - 24 INCHES                         |

- B. LANDSCAPE GUARANTEE: ALL NEW PLANTS SHALL BE GUARANTEED FOR TWO (2) FULL YEARS FROM THE TIME PLANTING HAS BEEN COMPLETED. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD OR BE REPLACED.
- C. CITY ORDINANCE REQUIRES ONE (1) TREE FOR EVERY ONE THOUSAND (1,000) SQUARE FEET OF TOTAL BUILDING FLOOR AREA OR ONE (1) TREE FOR EVERY FIFTY (50) FEET OF SITE PERIMETER, WHICHEVER IS GREATER.

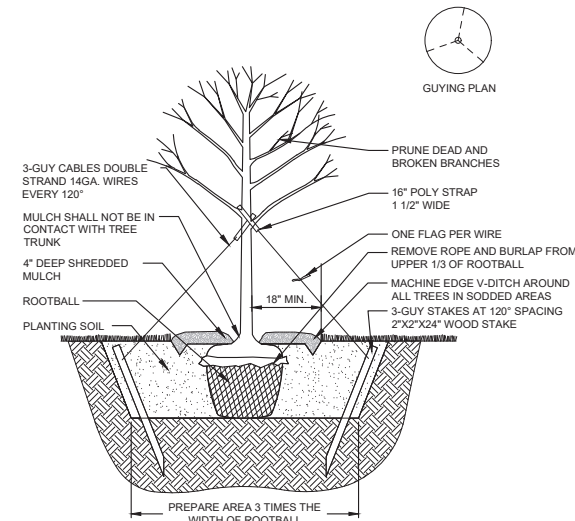
BUILDING AREA	6,640 S.F. (7 TREES REQ.)
SITE PERIMETER	1,146 FT (23 TREES REQ.)
<b>TREES PROVIDED</b>	<b>25 TREES</b>

(SEE CITY ORDINANCE FOR FULL REQUIREMENTS)

**LANDSCAPE NOTES:**

- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AND VEGETATED AS SOON AS POSSIBLE. ANY FINISHED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS AFTER FINISHED GRADING IS COMPLETED IN ACCORDANCE TO MN/DOT 2575.
- PLANTING SOIL SHALL CONSIST 1:1:1 CONSISTING OF 33% SELECT LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH MN/DOT SEED MIX, MULCHED, & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:

SOUTHERN BOULEVARD:	160 LB/AC.
WET DITCH:	20 LB/AC.
FERTILIZER 22-5-10:	350 LB/AC.
MULCH TYPE 3:	2 TONS/AC.

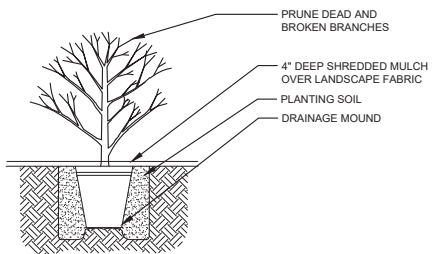


TREE PLANTING DETAIL  
N.T.S.

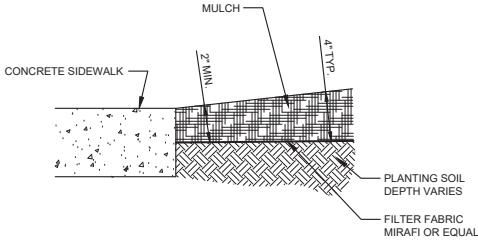
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TWIN CITY AREA 651-454-0002  
MINNESOTA TOLL FREE 1-800-252-1166

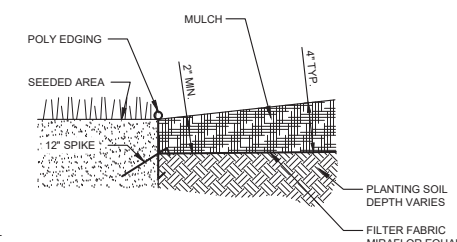
QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	AVG. HEIGHT (UMN)	NOTES
<b>DECIDUOUS TREES</b>						
4	SWO	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5\"	50+	STRAIGHT TRUNK, NO V-CROTCH
4	AL	AMERICAN LINDEN	TILIA AMERICANA	2.5\"	50+	STRAIGHT TRUNK, NO V-CROTCH
6	RB	RIVER BIRCH	BETULA NIGRA	6\"	40+	STRAIGHT TRUNK, NO V-CROTCH
3	SSC	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	2.5\"	10+	STRAIGHT TRUNK, NO V-CROTCH
17	<b>TOTAL</b>					
<b>CONIFEROUS TREES</b>						
4	BHS	BLACK HILLS SPRUCE	PICEA GLAUCA VAR. DENSATA	6\"	40+	
4	WP	WHITE PINE	PINUS STROBUS	6\"	40+	
8	<b>TOTAL</b>					
<b>SHRUBS</b>						
22	GGS	GLOW GIRL SPIREA	SPIRAEA BETULIFOLIA	POT	24\"	
16	SWW	SPILLED WINE WEIGELA	WEIGELA FLORIDA 'BOKRASPIWI'	POT	2\"	
12	AFS	AUTUMN FIRE SEDUM	HYLOTELEPHIUM SPECTABILE 'AUTUMN FIRE'	POT	18\"	
8	JWC	JUNIOR WALKER CATMINT	NEPETA X FAASSENII	POT	1\"	
58	<b>TOTAL</b>					
83	<b>COMBINED TOTAL</b>					



SHRUB PLANTING DETAIL  
N.T.S.



MULCH AT SIDEWALK DETAIL  
N.T.S.



MULCH AT SEEDED AREA DETAIL  
N.T.S.

REV. NO.	DATE	DESCRIPTION
1	01/28/2026	REVISION PER CITY REVIEW

**NOT FOR CONSTRUCTION**

**BOGART, PEDERSON & ASSOCIATES, INC.**  
LAND SURVEYING  
ENVIRONMENTAL SERVICES  
13076 FIRST STREET, BECKER, MN 55505-9322  
TEL: 763-262-8822 FAX: 763-262-8844



**GVT TIRE & AUTO AXYS CONSTRUCTION**  
150 Sparrow Road  
City of Waconia, Carver County, MN

SHEET NO.

**C10**

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



3 25026 GVT Waconia 12-15-25 - NW View - Aerial



2 25026 GVT Waconia 12-15-25 - SE View

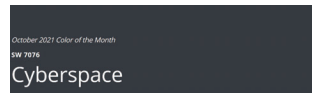


Matte Black

PREFIN MTL PARAPE CAP



Dynamic Blue



Cyberspace



FABCON PANEL - GRAY BRICK INLAY



FABCON STEEL FORM PANEL - PAINTED



Carbon Black\*\*

SECTIONAL, OVERHEAD GARAGE DOORS



BLAK ANODIZED ALUM STOREFRONT WINDOWS AND DOORS

PROJECT TEAM

ARCHITECT

Michael J. Thomas Architect, LLC  
4918 S. Tri Oak Circle NE  
East Bethel, MN 55092  
Phone: 651-245-2346  
Email: mjtalc2520@gmail.com  
Contact: Michael Thomas

CIVIL ENGINEER

Bogart, Pederson & Associates, Inc.  
13076 First Street  
Becker, MN 55308-9322  
Phone: 763-262-8844

STRUCTURAL ENGINEER

Innovative Structural Solutions (ISS), PA  
5279 Kiyler Ave.  
Albertville, MN 55301  
Phone: 763-425-9960  
Email: sparks@isseng.com  
Contact: Shawn Parks, PE

CONTRACTOR & OWNER

Axys Construction  
940 McKinley Parkway  
Unit 102  
Delano, MN 55328  
Phone: 952-220-1450  
Email: jamie@axys-construction.com  
Contact: Jamie Rosenlund



4 25026 GVT Waconia 12-15-25 - NE View



1 25026 GVT Waconia 12-15-25 - North Color Elevation



4918 S. Tri Oak Circle NE  
East Bethel, MN 55092  
Phone: 651-245-2346  
Email: mjtalc2520@gmail.com  
Web: michaeljthomasarchitect.com



Project No:  
25026

Date Last Revised:  
12-08-25, 12-13-25, 12-15-25,  
12-17-25  
75% Progress Set 12-26-25

File Name:  
25026 GVT Waconia 12-26-25.pln

Drawn By:  
MJT

Minnesota License No.:23592

Date Signed:  
00-00-00

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Signature

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75% PROGRESS SET PRELIMINARY - DO NOT USE FOR CONSTRUCTION

GVT Tire & Auto  
New Auto Service Building  
150 Sparrow Road  
Waconia, MN

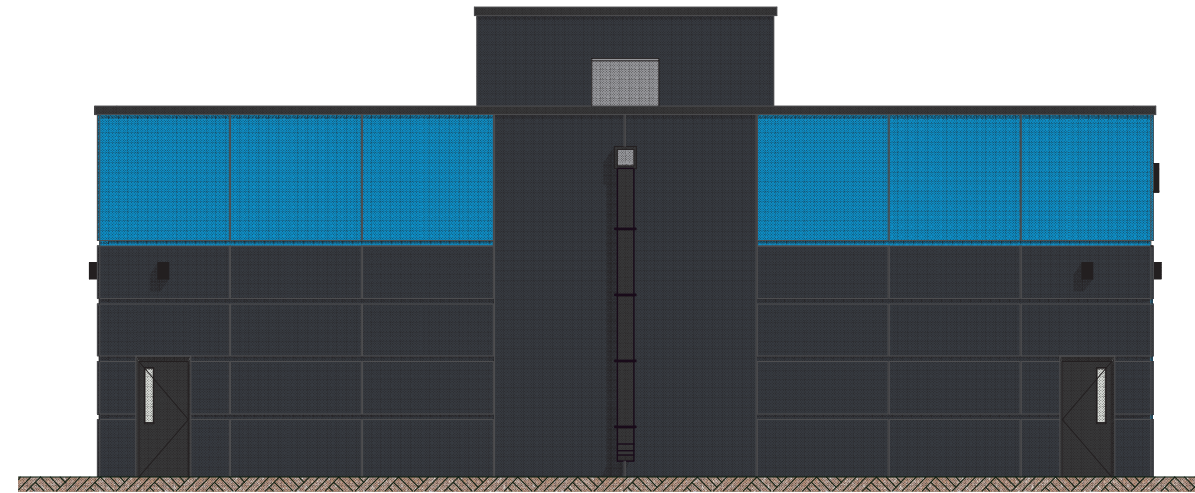
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SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



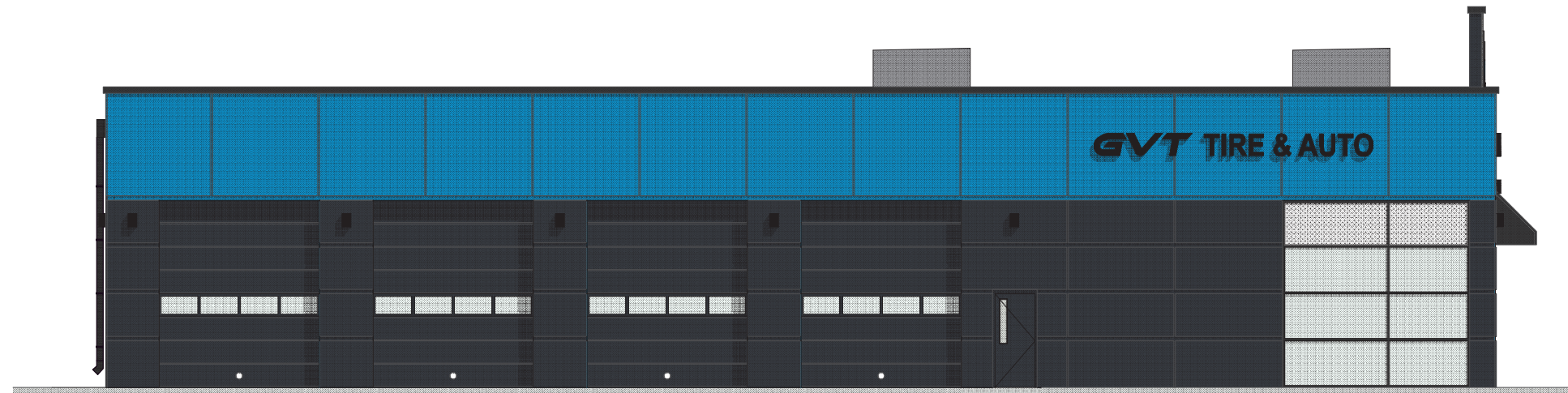
3 North Elevation - Materials & Colors

SCALE: 3/16" = 1'-0"



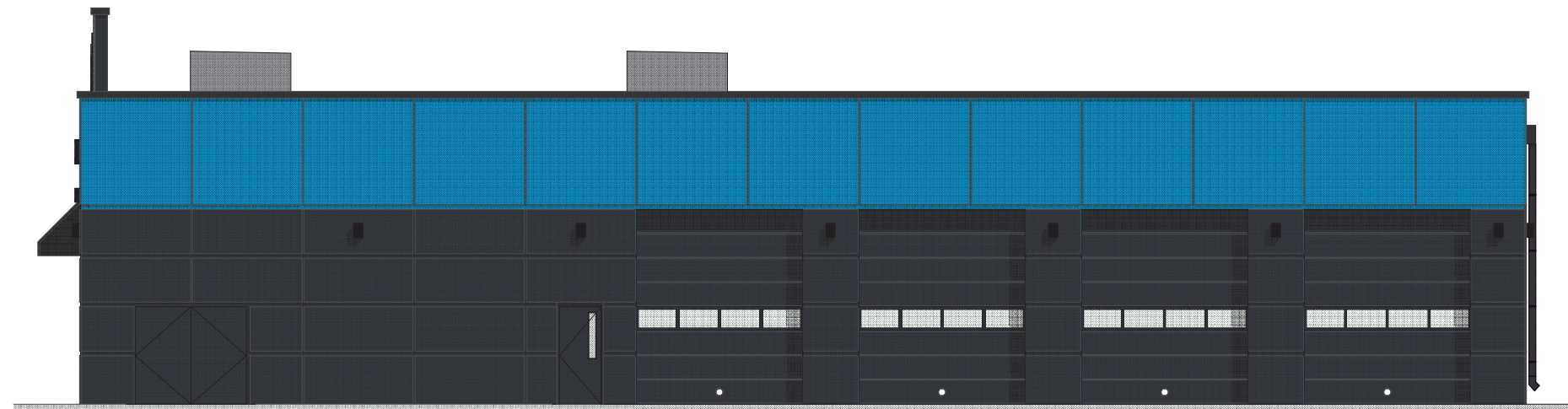
4 South Elevation - Materials & Colors

SCALE: 3/16" = 1'-0"



2 West Elevation - Materials & Colors

SCALE: 3/16" = 1'-0"



1 East Elevation - Materials & Colors

SCALE: 3/16" = 1'-0"



4918 S. Tri Oak Circle NE  
East Bethel, MN 55092  
Phone: 651-245-2346  
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Signature

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GVT Tire & Auto  
New Auto Service Building

150 Sparrow Road  
Waconia, MN

A0.1

# BUILDING CODE ANALYSIS

## 2020 Minnesota State Building Code

### Chapter 3 OCCUPANCY CLASSIFICATION AND USE

- Section 309  
Mercantile Group M. Sales Room
- Section 311  
Storage Group S-1. Motor Vehicle Repair Garage

First (only) Story  
Group M = 1,500 sf  
Group S = 5,140 sf  
Total Gross First Story/ Building Footprint = 6,640 sf

### Chapter 5 GENERAL BUILDING HEIGHTS AND AREAS

- Table 504.3 Allowable Building Height In Feet Above Grade Plane  
M & S, Sprinklered, Type IIB Construction. 75' Height Allowed. 28' Height Actual
- Table 504.4 Allowable Number of Stories Above Grade Plane  
M, Sprinklered, Type IIB Construction. 3 Stories Allowed. 1 Story Actual.  
S-1, Sprinklered, Type IIB Construction. 3 Stories Allowed. 1 Story Actual.
- Table 506.2 Allowable Area Factor in Square Feet (SF)  
M, 1-Story, Sprinklered, Type IIB Construction. 50,000 sf Allowed. 1,500 sf Actual  
S-1, 1-Story, Sprinklered, Type IIB Construction. 70,000 sf Allowed. 5,140 sf Actual
- Table 508.3 Nonseparated Occupancies.  
This is considered a nonseparated occupancy.  
Item 508.3.1 Occupancy Classification. The most restrictive provisions of Chapter 9 will be applied to the Group M Occupancy
- Table 508.4 Required Separation of Occupancies  
No Occupancy separations required.

### Chapter 6 TYPES OF CONSTRUCTION

- Table 601 Fire-Resistance Requirements for Building Elements  
Type II. Non-combustible, No fire rating required.
- Section 602.2. Type IIB:  
Structural Elements, Exterior Walls, and Interior Walls are non-combustible.
- Table 602 Fire-Resistance Rating Requirements For Exterior Walls Based On Fire Separation Distance.  
All sides are open over 10'. No rating required.

### Chapter 7 FIRE AND SMOKE PROTECTION FEATURES

No requirements based upon occupancy, construction type, and exterior wall separation distances.

### Chapter 8 INTERIOR FINISHES

- Table 803.13 Interior Wall and Ceiling Finish Requirements by Occupancy  
M Occupancy/ Sprinklered  
Interior exit stairways and ramps and exit passageways = Class B  
Corridors and enclosure for exit access stairway and ramps = Class C  
Rooms and enclosed space = Class C
- S Occupancy/ Sprinklered  
Interior exit stairways and ramps and exit passageways = Class C  
Corridors and enclosure for exit access stairway and ramps = Class C  
Rooms and enclosed space = Class C

### Chapter 9 FIRE PROTECTION AND LIFE SAFETY SYSTEMS

- Section 903 Automatic Sprinkler Systems  
Not required per 2020 MN Building Code  
Its understood the City of Waconia has adopted Minnesota Administrative Rules CHAPTER 1306, SPECIAL FIRE PROTECTION SYSTEMS.  
Therefore, the entire building will be equipped with an automatic fire suppression (sprinkler) system.

### Chapter 10 MEANS OF EGRESS

- Table 1004.5 Maximum Floor Area Allowances Per Occupant  
Mercentile = 60 sf gross. 1,500 sf / 60 = 25 occupants  
Mercentile (Storage, stock, shipping) = 300 sf gross.  
5,140 sf / 300 = 17.13, or round up to 18 occupants  
Total Calculated Occupant Load = 43 Occupants
- Table 1006.2.1 Space With One Exit or Exit Access Doorway  
M Occupancy  
Max Occupant Load of Space = 49  
Actual Occupant Load of the M Occupancy, Sales Room is 25.  
Max Common Path of Egress Travel Distance (Sprinklered)  
Allowed is 75'. Per Code Plan, this space complies.

### Chapter 29 PLUMBING SYSTEMS

- Section 2902.1.1 Fixture Calculation  
Calculated Occupant Load 43 / 2 = 22 male and 22 female
- Table 2902.1  
Business  
Water Closets 1/25 = 1 each sex required. 3 provided.  
Lavatories 1/40 = 1 each sex required. 3 provided.  
Drinking Fountain. Per footnote "h" note required with occupant load less than 50  
No drinking fountain, however a customer self-service beverage station is provided in the lobby.  
Service Sink = 1 required. 1 Provided (located in the service bay area).

## 2020 MINNESOTA PROVISIONS TO THE MINNESOTA STATE BUILDING CODE

- Section 1303.1500 Recycling Space  
Table 1-A Minimum Recycling Space Requirements  
"All Others" = .0025 x 6,640 sf = 16.6 sf required.  
See Code Plan. 20 sf of recycling space provided at interior trash area.

## 2020 Minnesota Energy Code

### Chapter 3 General Requirements

- Table C301 Climate Zone  
Delano, Wright County, Minnesota  
Climate Zone 6A

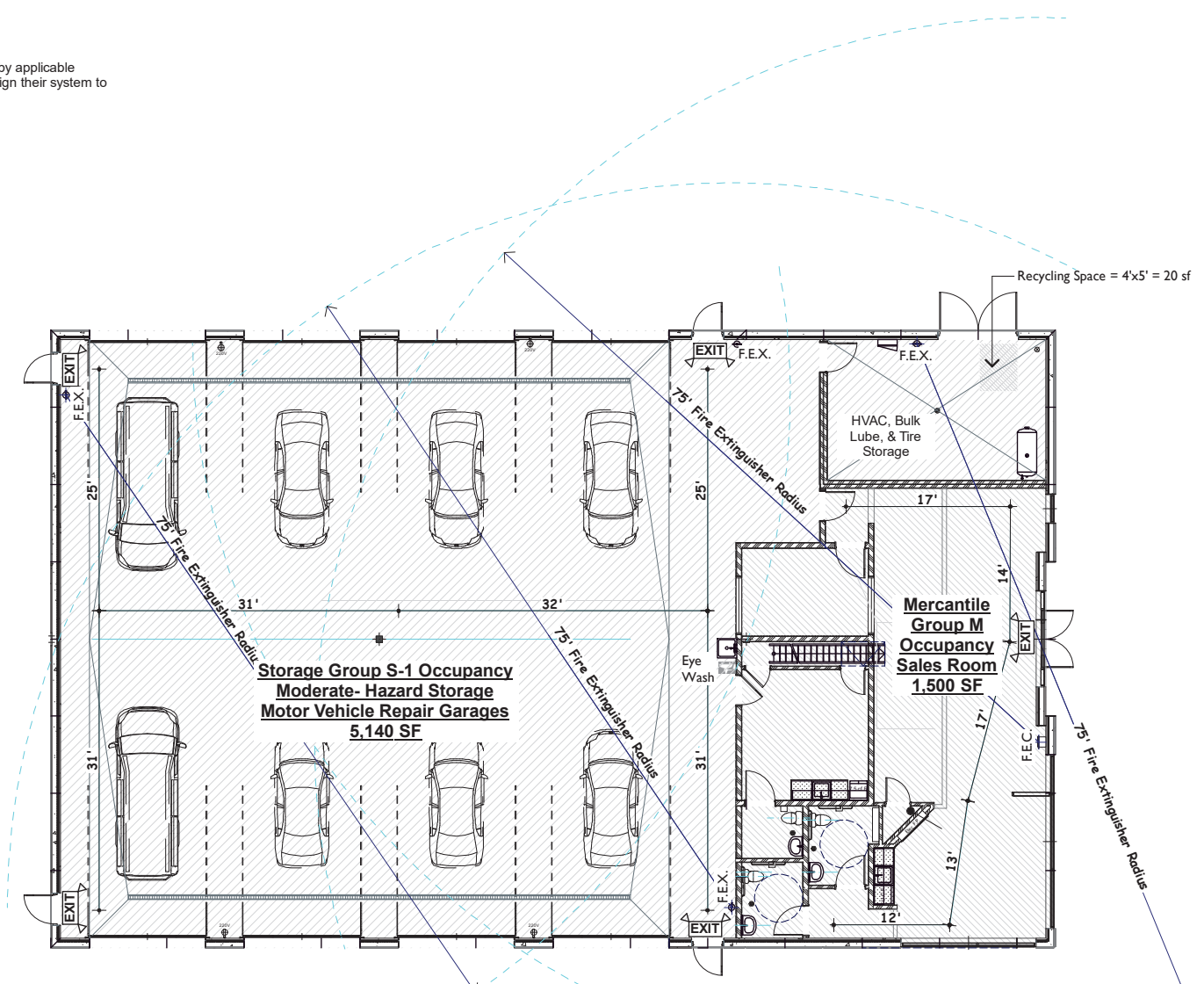
### Chapter 4 Commercial Energy Efficiency

- Table C402.1.3 Opaque Thermal Envelope Requirements  
Roof, Insulation entirely above deck  
R-30 Continuous Insulation  
Walls, Above Grade, Mass (Versa+ Fabcon Precast Concrete )  
R-13.3 Continuous Insulation  
Walls, Wood-framed and others (steel studs)  
R-19 + R-5 Continuous Insulation
- Below Grade  
R-7.5 Continuous Insulation  
Slabs-on-Grade Floors, Unheated slabs  
R-10 for 24" below
- Table C402.4 Building Envelope Requirements: Fenestration  
U-factor  
Fixed Fenestration = 0.36  
Operable Fenestration = 0.43  
Entrances = 0.77
- SHGC  
All = 0.40
- Skylights  
U-factor = 0.50  
SHGC = 0.40

Mechanical, Electrical, and Plumbing  
Building Mechanical and Electrical Systems will be Design/ Build by applicable subcontractor. It shall be said subcontractor's responsibility to design their system to meet all applicable energy code (and other code) requirements.

## 2020 Minnesota Accessibility Code

This project is subject to and must follow all requirements of the 2020 Minnesota Accessibility Code, 2020 MN Building Code Chapter 1341, and the ICC/ANSI A117.1-2009.



F.E.C. = Fire Extinguisher Within Cabinet  
F.E.X. = Wall-hung Fire Extinguisher

75% PROGRESS SET PRELIMINARY - DO NOT USE FOR CONSTRUCTION



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East Bethel, MN 55092  
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Celebrating  
**20**  
Years  
2005-2025

**Project No.:**  
25026

**Date Last Revised:**  
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**Drawn By:**  
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**Minnesota License No.:**  
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**Date Signed:**  
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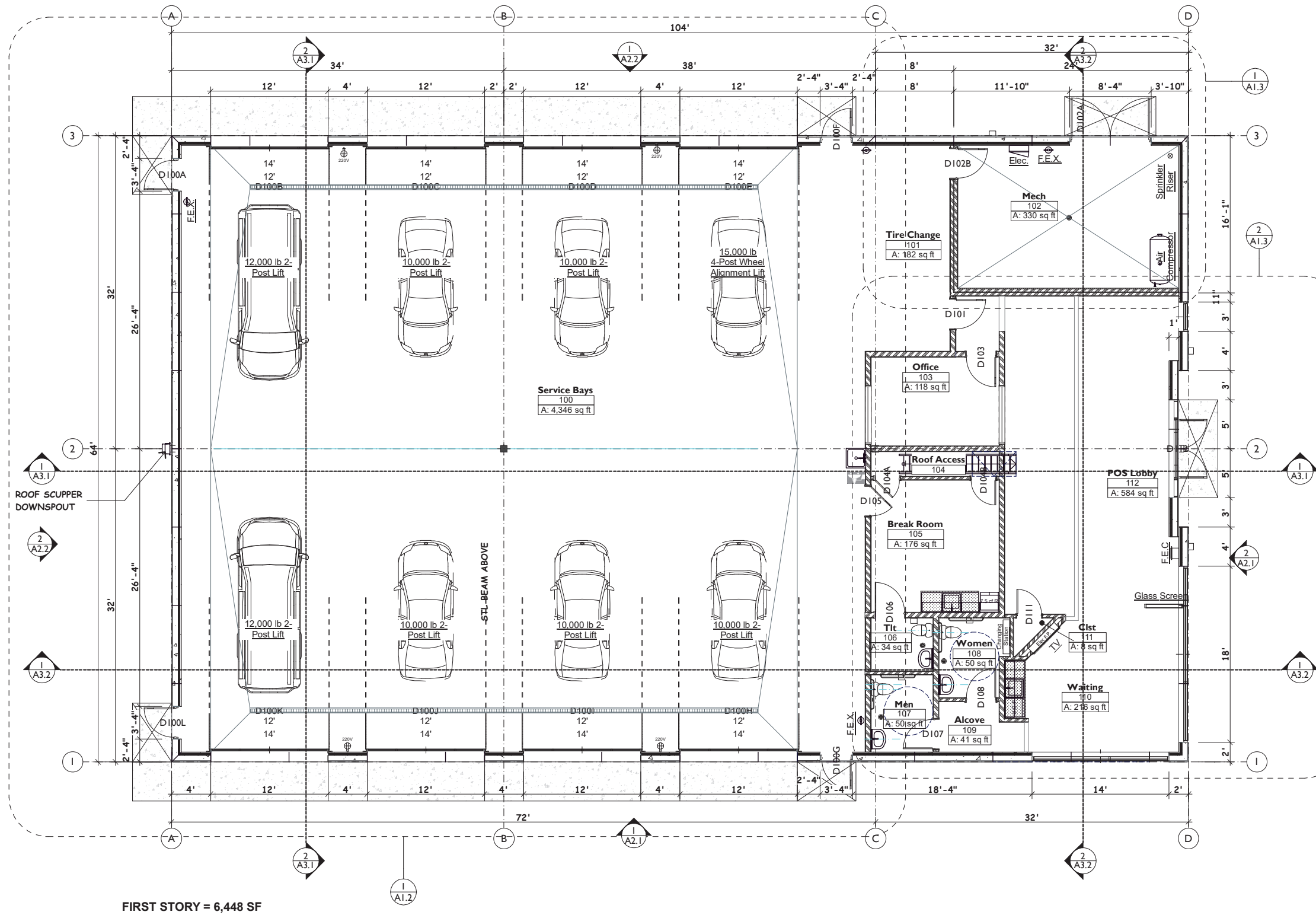
**A0.2**

1 First Story - Code & Life Safety Plan  
SCALE: 1/8" = 1'-0"



SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



FIRST STORY = 6,448 SF

1 First Story Plan - Overall  
 SCALE: 3/16" = 1'-0"



75% PROGRESS SET PRELIMINARY - DO NOT USE FOR CONSTRUCTION

**GVT Tire & Auto**  
**New Auto Service Building**  
 150 Sparrow Road  
 Waconia, MN

AI.1



4918 S. Tri Oak Circle NE  
 East Bethel, MN 55092  
 Phone: 651-245-2346  
 Email: mjtal@2520@gmail.com  
 Web: michaeljthomasarchitect.com

Celebrating  
**20**  
 Years  
 2005-2025

**Project No.:**  
25026

**Date Last Revised:**  
12-08-25, 12-13-25, 12-15-25,  
12-17-25  
75% Progress Set 12-26-25

**File Name:**  
25026 GVT Waconia 12-26-25.pln

**Drawn By:**  
MJT

**Minnesota License No.:**  
23592

**Date Signed:**  
00-00-00

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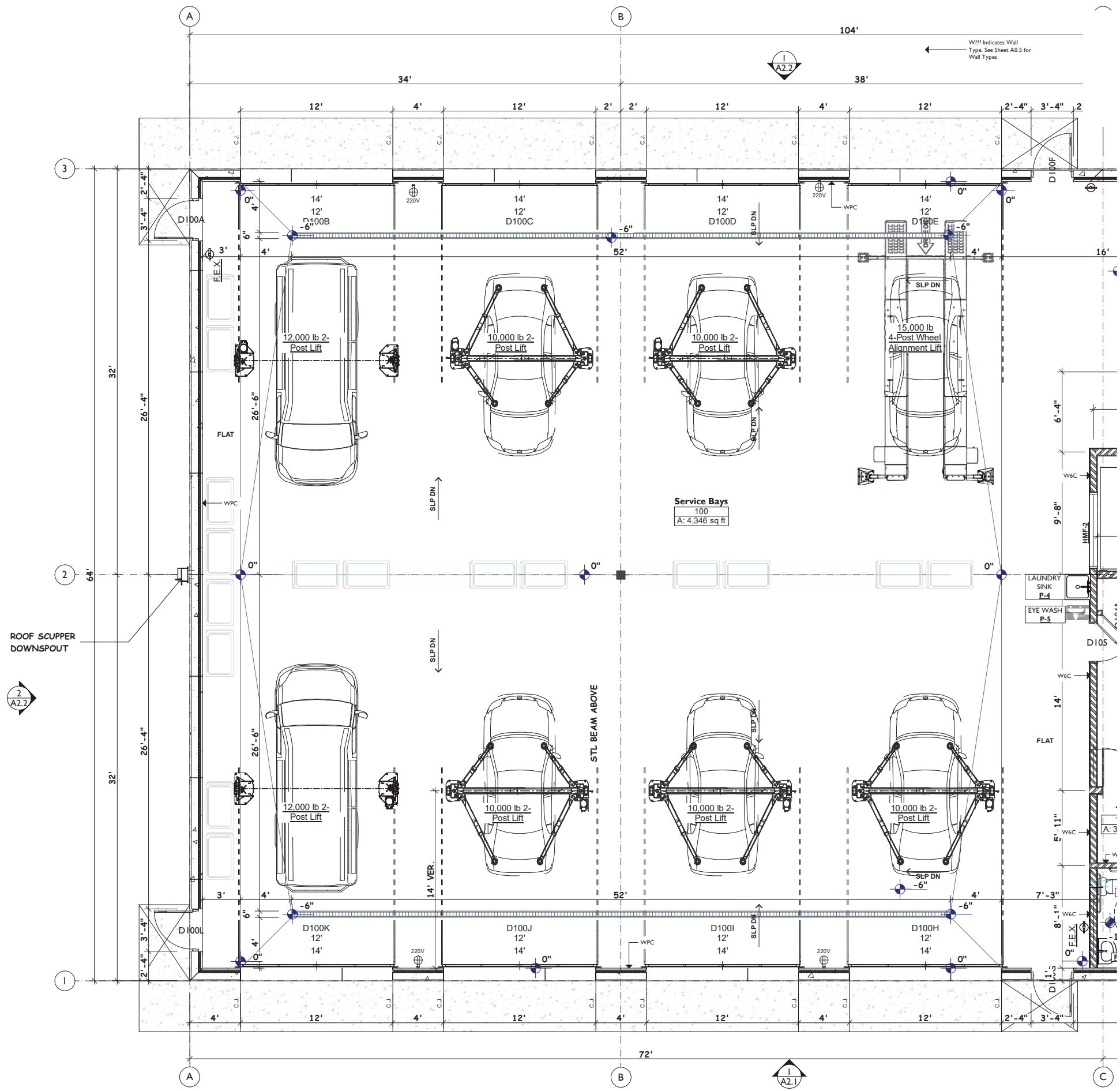
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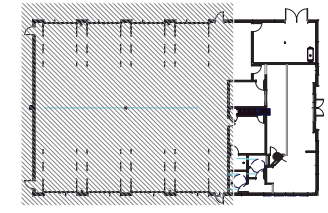
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1 Enlarged Partial Plan - Service Bays  
SCALE: 1/4" = 1'-0"



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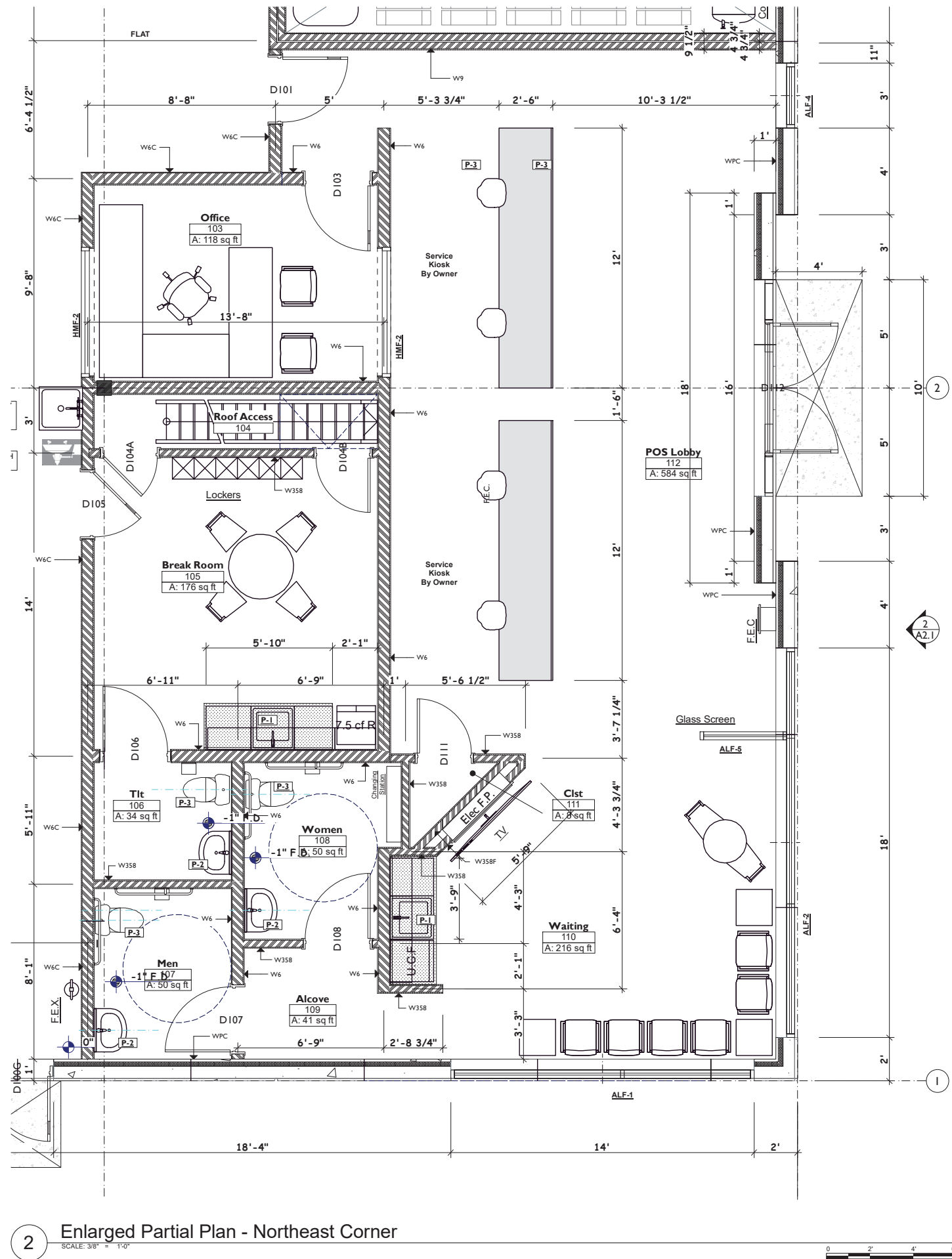
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**GVT Tire & Auto  
New Auto Service Building**

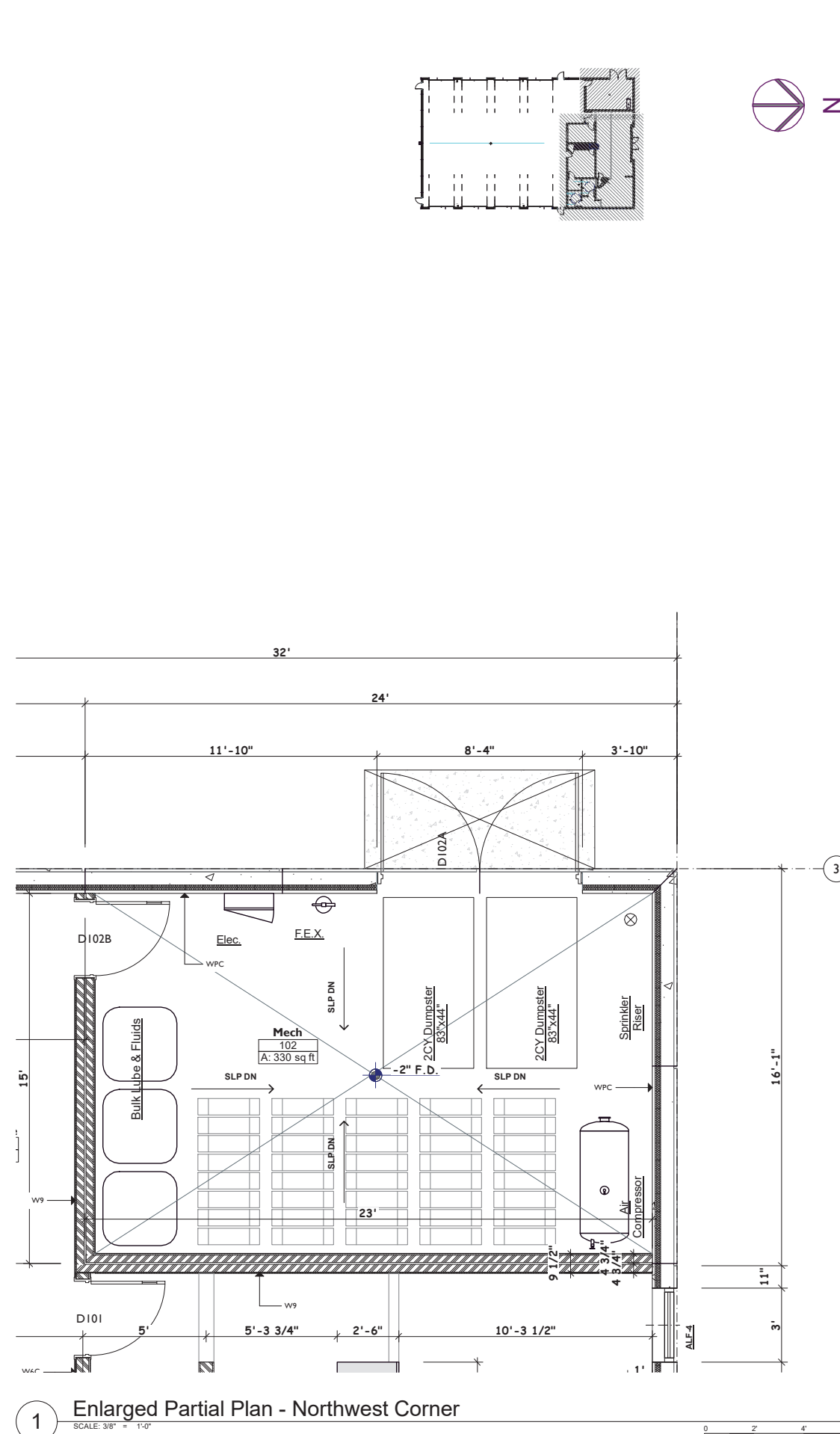
150 Sparrow Road  
Waconia, MN

**A1.2**

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



2 Enlarged Partial Plan - Northeast Corner  
SCALE: 3/8" = 1'-0"



1 Enlarged Partial Plan - Northwest Corner  
SCALE: 3/8" = 1'-0"



75% PROGRESS SET PRELIMINARY - DO NOT USE FOR CONSTRUCTION

**GVT Tire & Auto  
New Auto Service Building**

150 Sparrow Road  
Waconia, MN

**AI.3**



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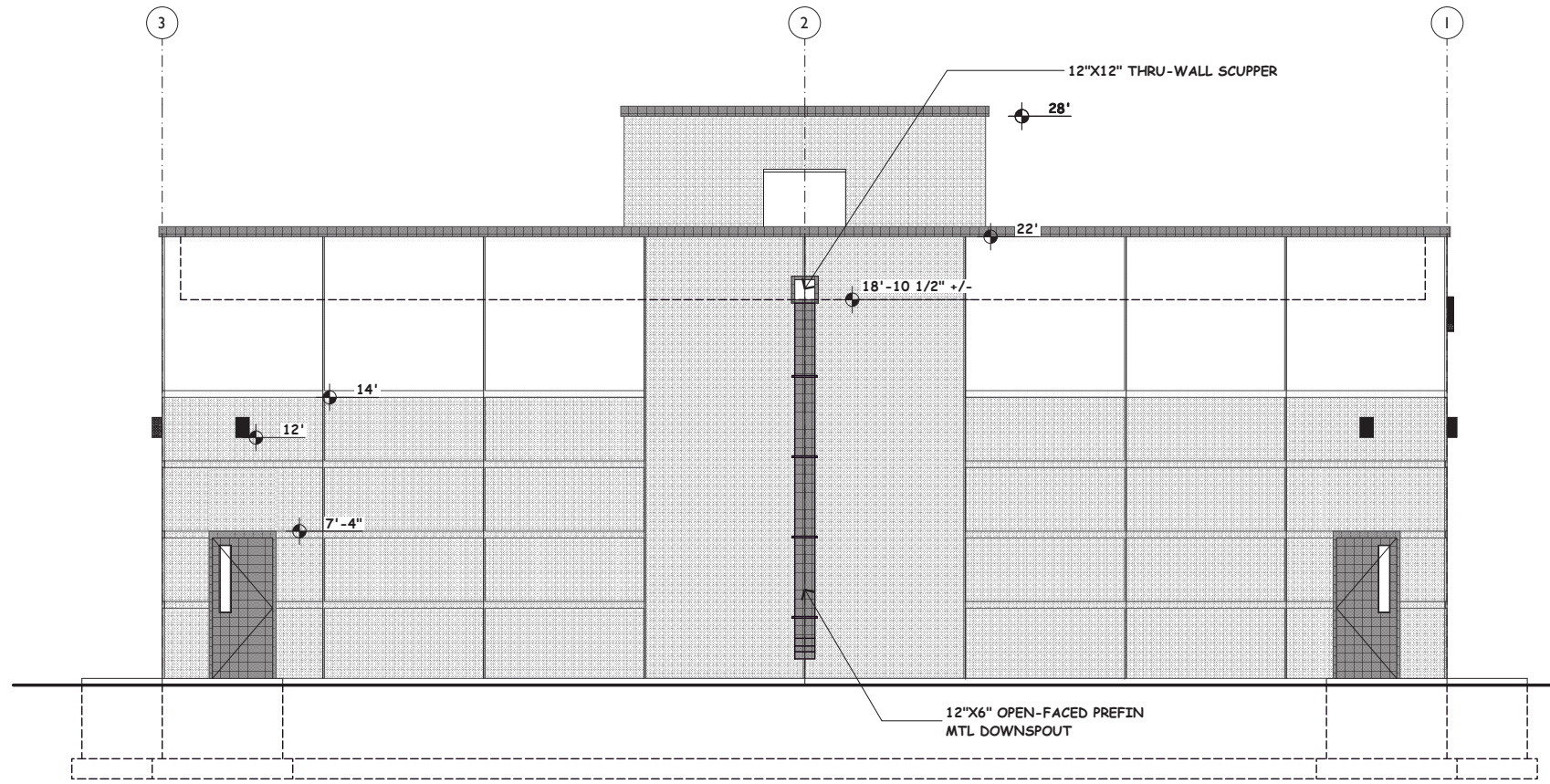
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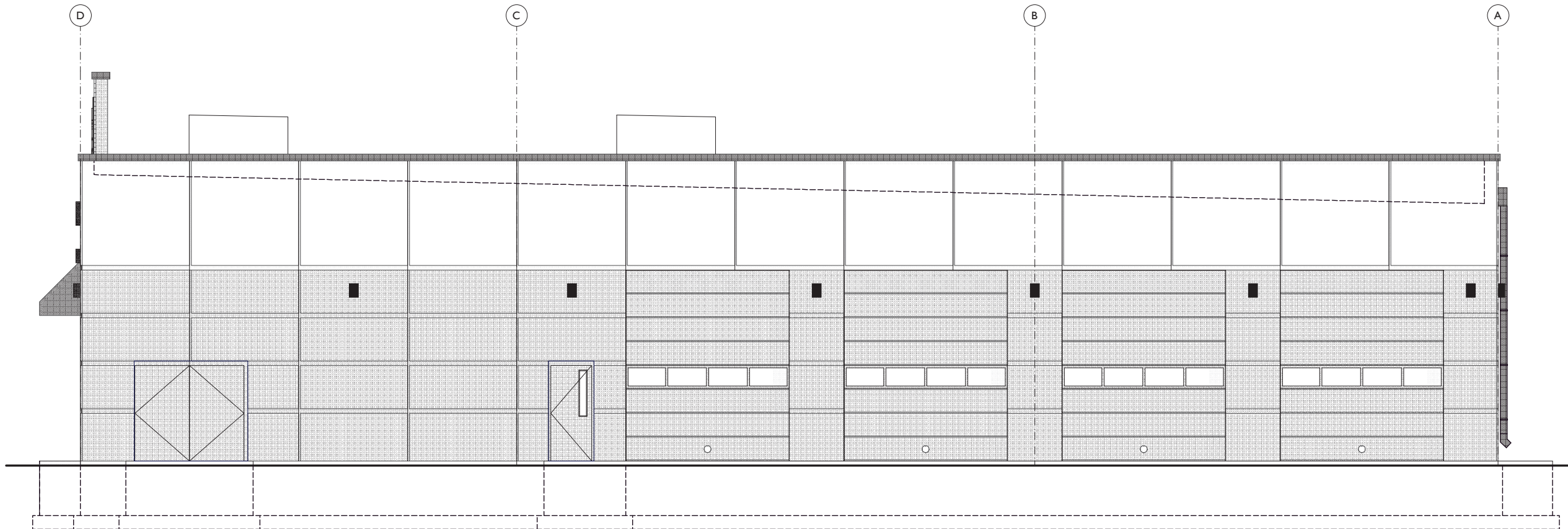




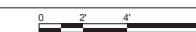
SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



2 South Exterior Elevation  
SCALE: 1/4" = 1'-0"



1 West Exterior Elevation  
SCALE: 1/4" = 1'-0"



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12-17-25  
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GVT Tire & Auto  
New Auto Service Building

150 Sparrow Road  
Waconia, MN

A2.2

**Project No:**  
25026

**Date Last Revised:**  
12-08-25, 12-13-25, 12-15-25,  
12-17-25  
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**File Name:**  
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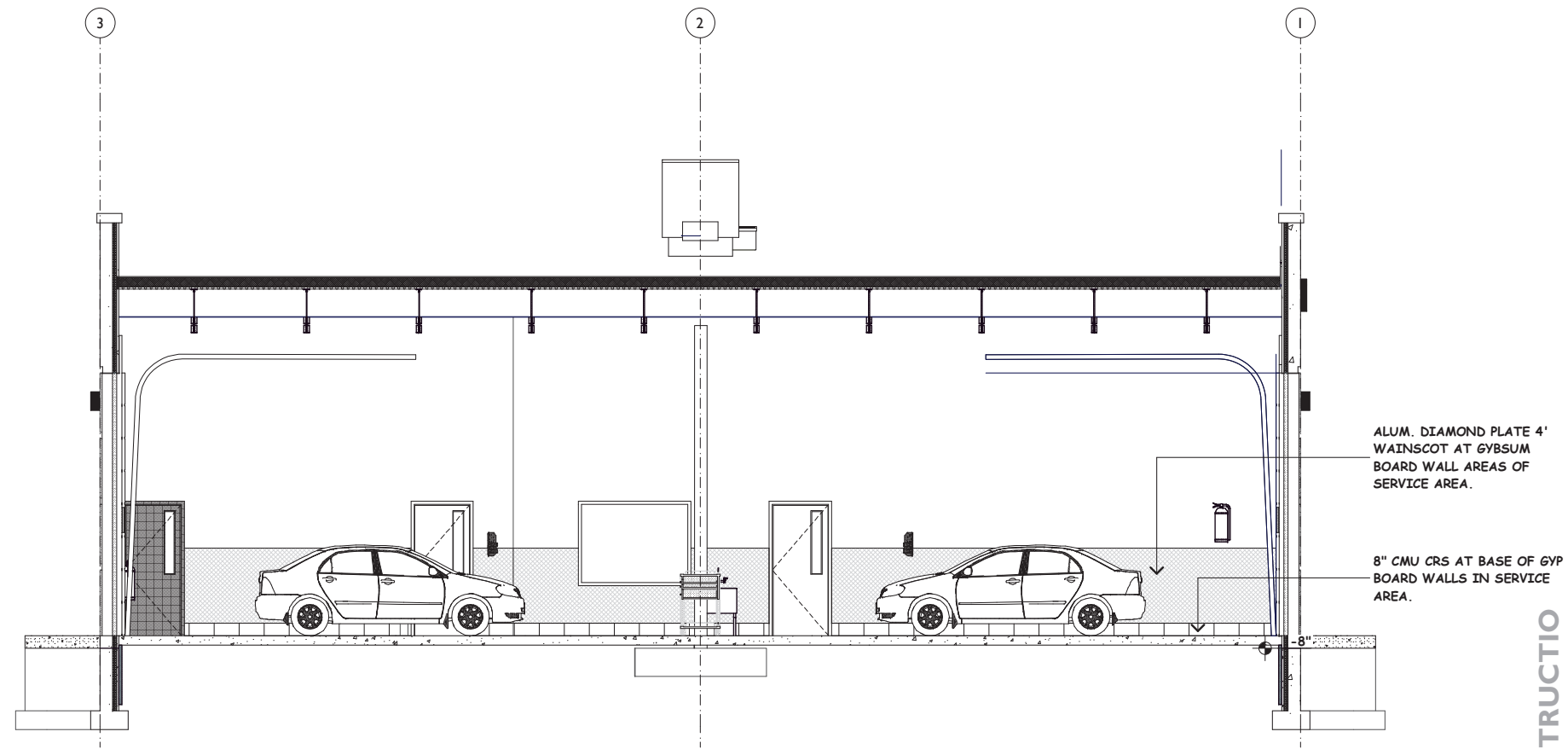
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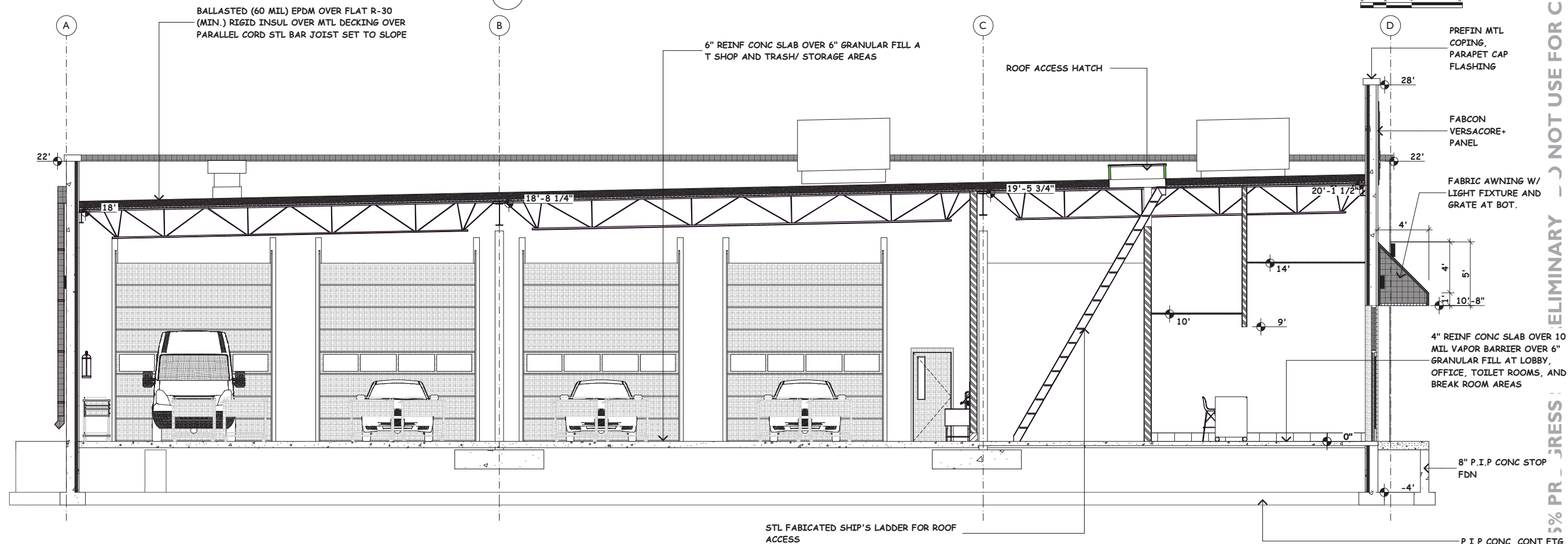


**GVT Tire & Auto  
New Auto Service Building**  
150 Sparrow Road  
Waconia, MN

**A3.1**



**2 Building Section - West East Shop**  
SCALE: 1/4" = 1'-0"

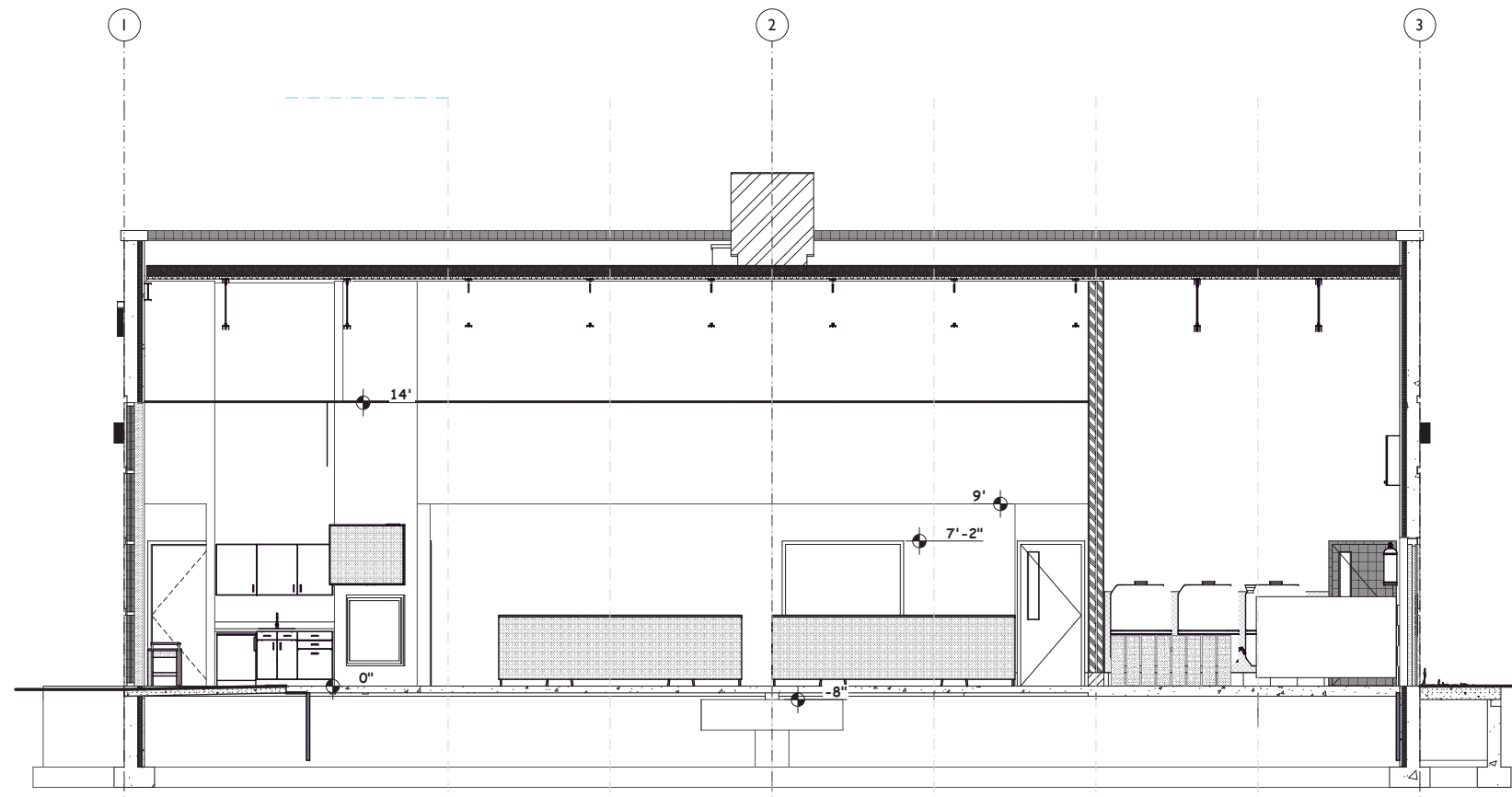


**1 Building Section - South North Office & Shop**  
SCALE: 1/4" = 1'-0"

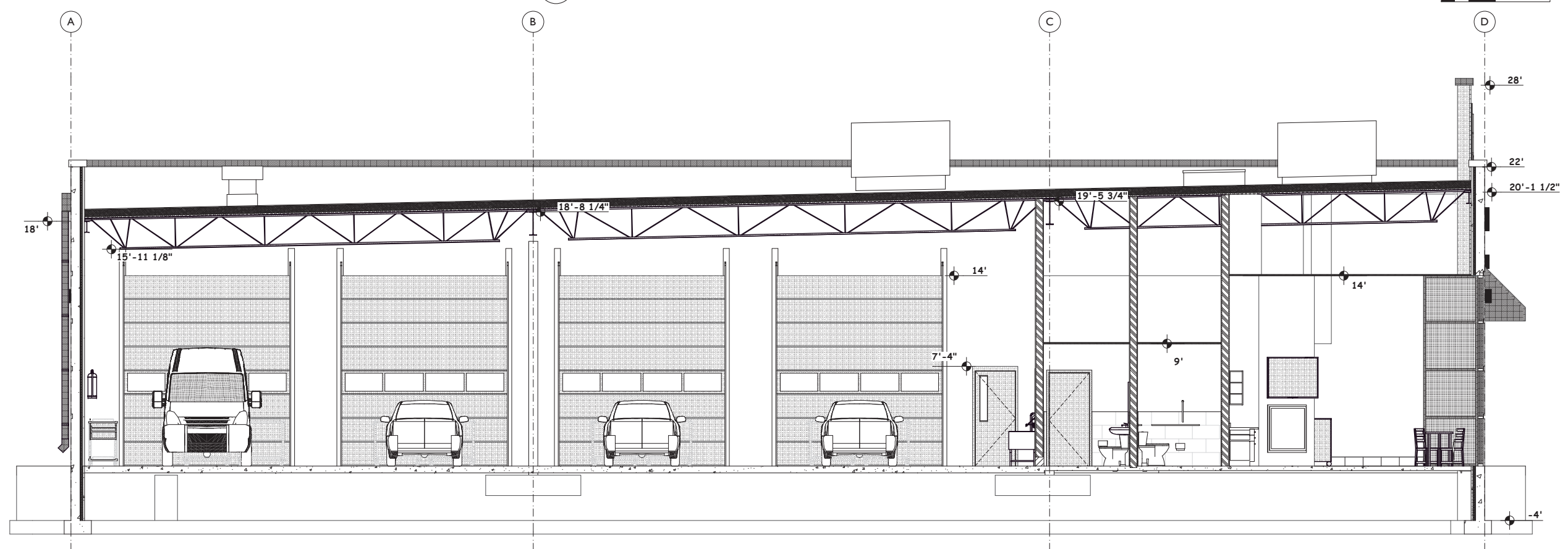
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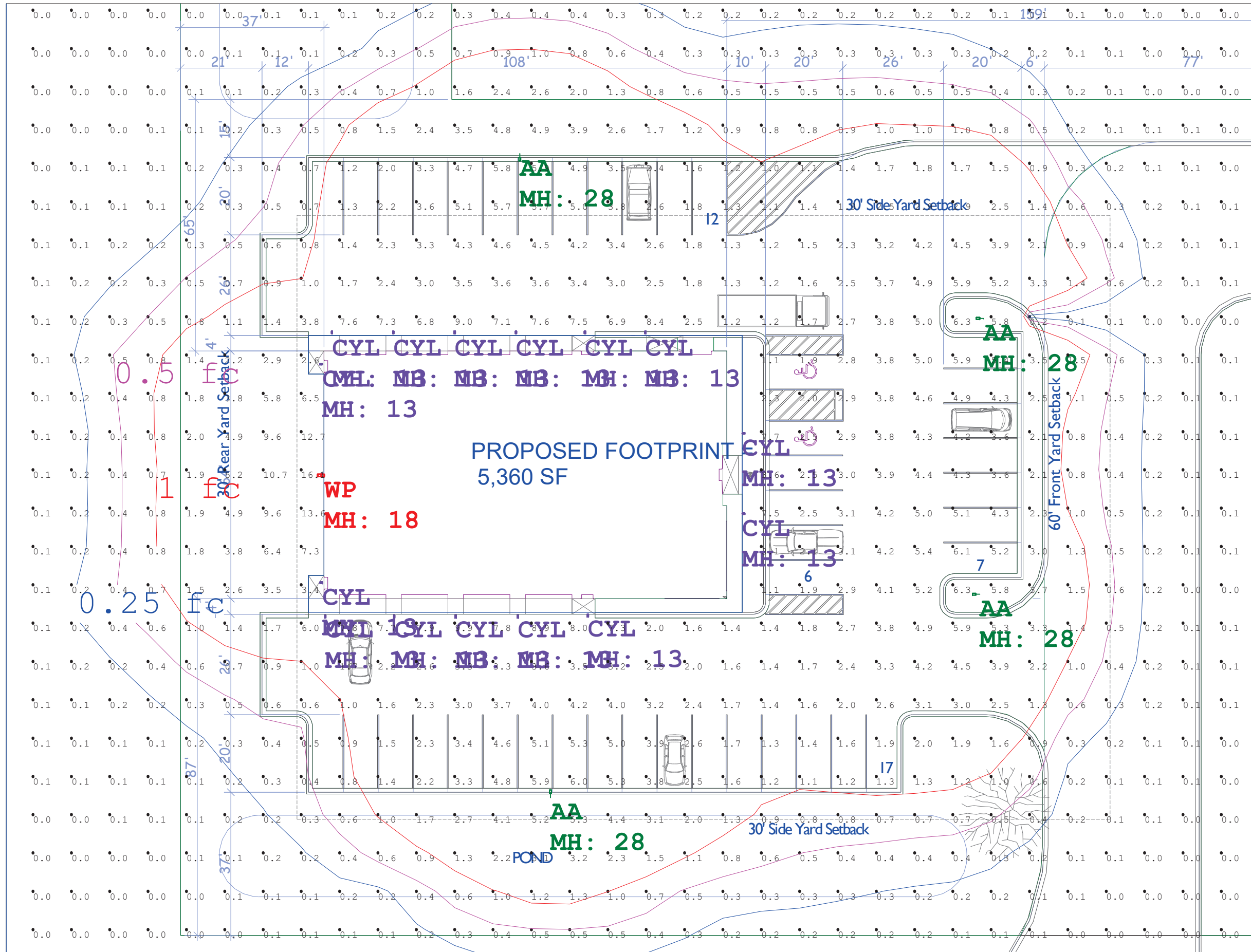


**2 Building Section - West East Waiting**  
 SCALE: 1/4" = 1'-0"




**1 Building Section - South North Waiting & Shop**  
 SCALE: 1/4" = 1'-0"

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



Calculation Summary		Units	Avg	Max	Min	Avg/Min	Max/Min
Label	Ground Planar	CalcType	0.99	16.1	0.0	N.A.	N.A.
Luminaire Schedule		Units					
Symbol	Label	Qty	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts
	AA	4	Single	ALF LS250 T4 G2 FSK-25000Lm-40K	0.910	25598	158.3
	CYL	15	Single	LCH 4R LS34 D70 G2 FSK-3460Lm-40K-Full	0.910	3484	36
	WP	1	Single	ALF LS250 T4 G2 FSK-25000Lm-40K	0.910	25598	158.3
						Total Lumens	Total Watts
						25598	633.2
						3484	540
						25598	158.3



**VIKING electric**  
A Sonapar Company

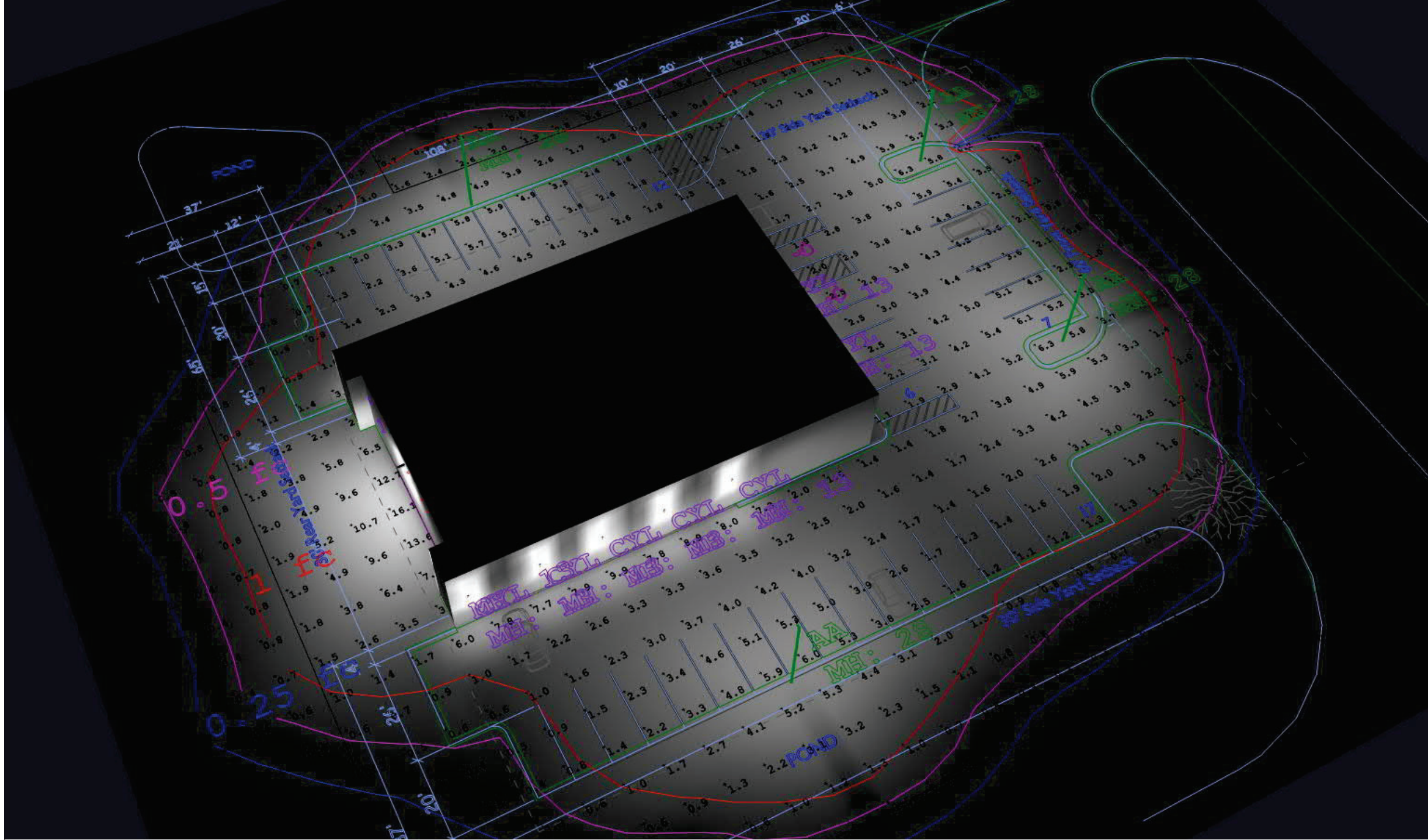
#	Date	Comments

Drawn By: Daniel Budke  
Checked By:  
Date: 12/23/2025

Scale:

## Golden Valley Tire & Auto

Page M of 1



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Ground Planar	Illuminance	Fc	0.99	16.1	0.0	N.A.	N.A.	
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	4	AA	Single	ALF LS250 T4 G2 FSK-25000Lm-40K	0.910	25598	158.3	633.2
	15	CYL	Single	LCH 4R LS34 D70 G2 FSK-3460Lm-40K-Full	0.910	3484	36	540
	1	WP	Single	ALF LS250 T4 G2 FSK-25000Lm-40K	0.910	25598	158.3	158.3

**Golden Valley Tire & Auto**

Drawn By: Daniel Budke  
 Checked By:  
 Date: 12/23/2025  
 Scale:

#	Date	Comments

