

6:30 PM

A thriving, connected community with deep roots: a great place to live for a lifetime.

A city that leads, serves, and governs to enhance the quality of life for all community members.

NOTE: TO ENSURE THAT YOU ARE PRESENT FOR ITEMS OF INTEREST, PLEASE BE PRESENT AT 6:30 P.M.

Those with items on the agenda should reach out to their staff contact. Others who wish to participate in the meeting, please contact the Community Development Director at 952-442-3106 or lbraaten@waconia.org to make certain that you are called upon during the meeting.

- 1

Adjourn



REQUEST FOR CITY COUNCIL ACTION

Meeting Date:		December 1, 2022					
Item Name:		November 3rd, 2022 Planning Commission Meeting Minutes					
Originating Department:		Community Development					
Presented by:		Lane Braaten					
Previous Council Action (if any):							
Item Type (X only one):		Consent		Regular Session	X	Discussion Session	
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED <i>(Include motion in proper format.)</i>							
Motion to adopt the November 3rd, 2022 Planning Commission Meeting Minutes							
EXPLANATION OF AGENDA ITEM <i>(Include a description of background, benefits, and recommendations.)</i>							
Attachments: 1. November 3rd 2022 Planning Commission Meeting Minutes.pdf							
FINANCIAL IMPLICATIONS: Funding Sources & Uses:				ADVISORY BOARD RECOMMENDATIONS:			
Budget Information: ☐ Budgeted ☐ Non Budgeted ☐ Amendment Required				Planning Commission			
				Parks and Recreation Board			
				Safari Island Advisory Board			
				Other			

**CITY OF WACONIA
NOVEMBER 3, 2022**

1) [Call meeting to order and roll call](#)

Pursuant to due call and notice thereof, the regular meeting of the Planning Commission of the City of Waconia was called to order by Leshner at 6:30.

Member Present:	Sarcletti, Leshner and Ludford
Member Absent:	Grahamm, Sherman and Zellman
Alternate:	Ludford-Present
Staff Present:	Braaten, Nelson, Stein
City Liaison:	Sorensen-Present

2) [Adopt Agenda](#)

The Site Plan and Design Review for Laketown Storage – submitted by RAM General Contracting, will be the first item of business before the Public Hearing. This will give the applicant more time to arrive to the meeting.

Motion by Ludford, seconded by Sarcletti to approve and adopt the changed order of the agenda. MOTION CARRIED.

3) [Minutes Approval](#)

Motion by Ludford, seconded by Sarcletti to approve the October 6, 2022 Planning Commission Minutes. All present voted aye. MOTION CARRIED.

[October 6, 2022, Planning Commission Meeting Minutes.pdf](#)

4) New Business

4.1 [SITE PLAN & DESIGN REVIEW - Laketown Storage - submitted by RAM General Contracting, Inc.](#)

Nelson presented the location of Site Plan and Design review for Laketown Storage, 87 8th Street. This is one of the last undeveloped parcels in that Industrial Park. The project is to be used as warehouse and office use. The other three buildings are self-storage.

Hardcover and setback requirements have been met along with not having outside trash enclosures or mechanical equipment.

Site plan does meet the tree planting requirements. There is not a lighting plan submitted in the packet but it does appear to meet the lighting requirements by

having only downward facing lighting. No signage is proposed, this item will be a separate application and review.

Grading, drainage, and utilities need to be revised. Staff has provided comments regarding relocation of utilities and updates on the grading. The applicant is aware of the revisions that are needed to meet the requirements.

Nelson displayed the parking plan in which more discussion is needed before submittal to the City Council. Parking stalls need to be a minimum of 20' long. General vehicle access is off 8th Street on the east side of the property. The Commission members should discuss the parking plan with the applicants. Nelson pointed out the 5 parallel parking spaces on the east side of the property and a total of 10 parking spaces in front of the building. The proposed number of parking spaces do fall in the range of high/low parking requirement noted in the staff report. The parking stalls need to be a minimum of 20 feet which is half of the 40-foot drive aisle.

The only vehicular access is on the east side of the property. Pedestrian access includes a sidewalk along 8th Street, this will be a future improvement. Nelson described and pointed out the interior sections of the building. Overhead doors are proposed on the plan. The building is constructed of 21% LP Smart Siding and 79% Concrete Block. Modifications to the exterior building materials are required to be in conformance with City design standards.

Ludford questioned the location of the sidewalk and if the proposed tree locations would require some revisions. Nelson stated that the sidewalk will be located within the road right-of-way and the trees proposed are completely on private property. There are retaining walls required for installation of the sidewalk. The final design and details will be determined by the City Engineer and Public Services Director.

Jamie Cacka, RAM General Contracting, 592 Industrial Drive, Winsted, MN

Comments and Concerns:

- Outdoor trash enclosures will never be proposed for this site.
- Each business will be responsible for own trash service and will be a part of the lease agreement.
- In phase 1 the only building proposed is the one furthest to the east and is known to be only storage.
- The entire property is enclosed with a privacy fence.
- Gate to the storage units is secured by either a card or code entrance. The Fire Department will be given the code.
- Grading plan will be worked out.
- The lighting plan is in process.

Ludford and Leshar added they would like to see wider drive aisles and more space for vehicular movement. This would be added as a condition of approval.

Braaten stated that based on the Commission comments they may want to consider adding a condition requiring a 24 ft. drive aisle with the 90 degree parking.

Motion by Sarcletti, second by Ludford to approve the Site Plan and Design Review by Laketown storage submitted by RAM General Contraction, Inc. with the 10 recommended conditions of approval. All in favor voted aye. MOTION CARRIED.

[Location Map \(1 Page\).pdf](#)

[Application and Narrative \(4 Pages\).pdf](#)

[Staff Review Comments \(3 Pages\).pdf](#)

[Laketown Storage Site Plan \(15 Pages\).pdf](#)

[Laketown Storage Parking Plan \(1 Page\).pdf](#)

4.2 PUBLIC HEARING - Interim Use Permit - 241 Olive Street South

Braaten stated the applicants were not present to represent the interim use permit application. The Interim Use Permit is for to use the existing home located at 241 Olive Street South for a construction office while they are constructing the apartment building next door. The applicant has purchased the property for this purpose which is an interim use permit in the R-2 zoning district.

Braaten mentioned that the demolition of the Legion building will begin this month and construction of the apartment will be this year. Further, he indicated that the house at 241 Olive Street South has a shared driveway with the neighboring home to the south.

241 Olive Street South Proposal Summary:

- Jobsite Office for DDK Construction
- Two Individuals proposed to be officed
 - Project Manager
 - Superintendent
- Once a week project Meetings
 - 4-10 Individuals
 - Between 30 minutes and 1.5 hours in duration.
- Office Hours
 - 7 a.m. – 5 p.m. Monday thru Friday.
 - 8 a.m. – 5 p.m. Saturday
- No vehicles proposed to be parked in the driveway shard with 249 Olive Street South.
- Two current spots on the north side of the garage w/access from the apartment site would be the only parking allowed.
- Main entrance would be the back door located on the east side of the home.

-Job office signage as proposed. Location of signage by rear back door and north side of garage.

Braaten explained the above proposal summary.

Ludford wondered what ordinance would be in place for them using this location for storage. Braaten clarified there will be no materials stored at this location. Ludford also inquired about outside maintenance for the property such as keeping up with lawn mowing and snow removal.

Sarcletti asked about coordinating Sunday meetings with City Staff and Public Services.

Motion by Leshar to open the Public Hearing.

Dan Ackerson, 257 Olive Street South, Waconia, MN 55387

Comments and Concerns:

-Concern with the IUP going longer than to be expected and what will be done with the home after they are done with it. Braaten indicated that it would go back to a permitted use in the residential district.

John Laulainen, 249 Olive Street South, Waconia, MN 55387

Comments and Concerns:

- stated that based on his conversation with the applicant the house would be turned back to a single-family home after the interim use as a construction office.

Jeff Born, 300 Olive Street South, Waconia, MN 55387

Comments and concerns:

-Felt as though once we let them have the home for office use that it will continue as office use.
-Concerns that the applicant is not present at the meeting.
-There are other locations on the apartment property to allow for temporary office use.

Leshar corrected Born by saying this home will stay R-2 single family residential. The IUP permit we are talking about gives them the ability to use the home for office use until the project is completed.

Tammy Born, 300 Olive Street South, Waconia, MN 55387

Comments and concerns:

-This process is happening too fast.
-Applicants are not present and it seems they are making assumptions.

- Concerns about the outside appearance of the home and how much work needs to be done to it.
- The apartment construction is an intrusion already and now with the offices you're adding more to it.

Leshner stated that some of the comments raised are legitimate concerns regarding general maintenance of the property.

John Laulainen, 249 Olive Street South, Waconia, MN 55387

Comments and concerns:

- Laulainen stated that so far, they are great neighbors.
- The fence was taken down.
- Prefers seeing the house being used rather than empty.
- He has no issues with the proposed use.

Conversation followed regarding residential maintenance, including snow removal, tree removal, and yard work.

Tammy Born, 300 South Elm Street, Waconia, MN 55387.

Comments and concerns:

- Stated the trees removed were on the former Legion property.
- Temporary office use is not the appropriate use for this residential home.

Motion by Sarcletti, second by Ludford to close the public hearing. All in favor voted aye. MOTION CARRIED.

Sarcletti commented on possible needed improvements to, and maintenance of the house. Commission members and Braaten shared thoughts on the exterior of the house, a possible temporary construction trailer, hours, maintenance on the property, traffic, and parking.

Motion by Leshner, second by Sarcletti to approve the Interim Use Permit for 241 Olive Street South with the recommended conditions of approval and to add a condition requiring the maintenance of the property to include snow removal, lawn care and upkeep of the property. All in favor voted aye. MOTION CARRIED.

[Location Map - 241 Olive Street South.pdf](#)

[Public Hearing_IUP_241 Olive Street South.pdf](#)

[Applicant Statement.pdf](#)

[Applicant Interim Use Permit Plan.pdf](#)

5) Old Business

No old business.

6) Other

Staff Update:

- Casey's Site Plan was approved by the City Council.
- Kwik Trip on Sparrow Road – construction is moving along quickly.
- Bode Gray's remodel is coming along. Signage plan has not yet been submitted.
- Tidal Wave Auto Spa construction has started.
- Trails Edge Apartment had the grand opening on October 31st.
- Waconia Apartments at 601 Industrial Blvd Apartments is currently under construction.
- The building permit for the Waconia Regional Park Waterfront Service Building has been issued and construction of the building has commenced.
- December 1, 2022, Planning Commission Meeting will include the review of the TMC Industries Site and Plan Design application for their new building at 1370 Mill Lane.
- The CUP amendment a couple of years ago allowed Lola's to store their docks on the property if they were placed in a certain location and wrapped. To date the docks at Lola's have not been wrapped and staff will continue to work with the property owner on this.

Adjourn

Motion by Ludford , seconded by Leshner to adjourn. All in favor voted aye.

MOTION CARRIED.

Dan Leshner, Chair

ATTEST: _____

Brenda Stein, Office Assistant



REQUEST FOR CITY COUNCIL ACTION

Meeting Date:		December 1, 2022				
Item Name:		PUBLIC HEARING - SITE PLAN and DESIGN REVIEW, VARIANCE & CONDITIONAL USE PERMT (CUP) - TMC Properties, LLC				
Originating Department:		Community Development				
Presented by:		Lane Braaten				
Previous Council Action (if any):						
Item Type (X only one):	Consent		Regular Session	X	Discussion Session	

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED *(Include motion in proper format.)*

Open Public Hearing
Close the Public Hearing
Provide recommendation to the City Council regarding the Site Plan, Design Review, Variance and Conditional Use Permit applications submitted by TMC Properties, LLC for the property located at 1370 Mill Lane.

EXPLANATION OF AGENDA ITEM *(Include a description of background, benefits, and recommendations.)*

BACKGROUND

Applicant: Nick Hansen
Owner: TMC Properties, LLC
Address(es): 1370 Mill Lane
PID# 755160110
Existing Zoning: I-1, Industrial Park District
Design District: Industrial District

REQUEST

The applicant, Nick Hansen, TMC Properties, LLC, has submitted a Site Plan and Design Review application, along with Variance and Conditional Use Permit (CUP) applications, proposing a new 36,702 sq. ft. industrial building, which would include a mix of office, laboratory, manufacturing and warehousing.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05 - District Regulations, Subd. 2.J. - I-1, Industrial Park District
2. Section 900.06 - Supplementary Regulations, Subd. 9 - Architectural Design Standards
3. Section 900.06 - Supplementary Regulations, Subd. 8 - Environmental Protection Regulations
4. Section 900.07 - Landscaping and Fencing
5. Section 900.08 - Performance Standards
6. Section 900.09 - Off-Street Parking, Loading, and Access Regulations
7. Section 900.10 - Sign Regulations
8. Section 900.12 - Administration, Enforcement and Procedures
 - a. Subd. 4. Variances
 - b. Subd. 5. Conditional Use Permits
 - c. Subd. 10 - Site Plan Review

SITE PLAN REVIEW

City Ordinance requires Site Plan Review “in order to further promote the safe and efficient use of land and to further enhance the value of property in the City.” City Ordinance requires Site Plan Review for any construction for which a building permit is required, except for construction of detached, single-family residential structures or structures accessory thereto.

EXISTING USE

The industrially zoned subject parcel is currently unimproved.

ZONING

The subject parcel is zoned I-1, Industrial Park District. The proposed uses, including office, manufacturing and warehousing, are permitted uses in this district.

LOT REQUIREMENTS

The I-1, Industrial Park District section of the City Ordinance states “The purpose of this district is to provide for higher quality employment areas within the City where light manufacturing and related compatible uses can be accommodated in a value enhancing park-like setting.” The Lot Requirements for the Industrial Park District are indicated in Table 1-1 below.

Table 1-1.

	I-1 - Lot Requirements	Existing Site Improvements	Proposed Site Improvements
Lot Area	43,560 sq. ft. min. (1 Acre)	126,760 sq. ft. (2.91 Acres)	126,760 sq. ft. (2.91 Acres)
Lot Width	200 ft. min.	conforming	conforming
Maximum Hardcover Surface	85% max.	0%	55.7%*
Front Yard Setback	50 ft. min.	N/A	conforming
Interior Side Setback	20 ft. min.	N/A	conforming
Rear Yard Setback	50 ft. min.	N/A	50 ft.
Maximum Structure Height	50 ft.	N/A	conforming

* The hardcover calculation for the site if the proof of parking were improved would be 63.2%.

The proposed improvements on the site meet the lot requirements stated in Section 900.05, Subd. 2.J - Industrial Park District.

VEHICULAR ACCESS

The applicant is proposing a 24 ft. wide vehicle access via the Mill Lane cul-de-sac and a nearly 50 ft. wide truck access off of Mill Lane. The City Engineer reviewed the accesses and indicated, based on the truck turning movement provided, that the truck access shall be reduced to a 40 ft. width.

SCREENING OF EQUIPMENT

Mechanical equipment, such as furnaces, air conditioners, elevators, transformers, and utility equipment, shall be screened, whether on the roof or mounted on the ground, with a screening material similar to or compatible with material used on the main structure.

The plan set indicates a transformer pad in front of the building and a chiller/hot oil boiler concrete pad on the rear side of the building. The boiler concrete pad is proposed to be screened by an 8 ft. chain-link fence with vinyl slats and the only screening near the front side transformer pad is some landscape plantings (see attached landscape plan). The standard requires screening material similar to or compatible with material used on the main structure. The Planning Commission and City Council should further discuss if the landscaping and/or chain link fence with vinyl slats is consistent with this requirement.

The plan set does not identify any rooftop mechanical, but any future outdoor/rooftop mechanical equipment shall be screened per City Ordinance requirements.

OFF-STREET PARKING

The purpose of off-street parking regulation is to alleviate or prevent congestion of public streets, and to promote the safety and welfare of the public, by establishing minimum requirements for the off-street parking, loading and unloading of motor vehicles in accordance with the use to which the property is put.

City Ordinance requires the following parking requirements for a business office;

One (1) space per 200 square feet of gross floor area, but at least three (3) parking spaces.

- The applicant is proposing 3,603 square feet of office space $(3,603/200) = 18.015$ parking spaces

City Ordinance requires the following parking requirements for a manufacturing use:

One (1) space for each 400 square feet of floor area, plus one space for each company owned truck (if not stored inside the principal building).

- The applicant is proposing 12,909 square feet of manufacturing area $(12,909/400) = 32.2725$ parking spaces

City Ordinance requires the following parking requirements for a warehousing use:

One (1) space for each 1,000 square feet of floor area, plus one (1) space for each employee on maximum shift.

- The applicant is proposing 20,190 square feet of warehouse area and 0 employees on maximum shift $(20,190/1,000) + 0 = 20.19$ parking spaces

The calculations above, when totaled, indicate 70.48 parking spaces required. City Code indicates that "If, in the application of these provisions, a fractional number is obtained one parking space shall be provided for that fraction." As such, 71 parking spaces are required for the proposed project. The applicant has included 70 total parking spaces and requested a conditional use permit for proof of parking for twenty-four (24) of the stalls to be constructed at a later date if necessary. Any recommendation of approval should require a condition to revise the site plan to include one (1) additional parking space consistent with City Code requirements.

The applicant statement indicated that the 10-15 staff members at this location would be primarily in operations, manufacturing, and laboratory personnel. As such, staff did not include any warehousing employees in the overall parking calculation as they have been provided for in the office and manufacturing calculations.

Proof of Parking- Conditional Use Permit

The applicant has identified, and requested a Conditional Use Permit, to allow proof of parking for twenty-four (24) parking spaces associated with the proposed project. City Code states "If it can be demonstrated by the owner that the parking required exceeds demand, all parking need not be constructed initially but parking required to satisfy the ordinance shall be shown on the official site plan." Proof of parking requires the approval of a Conditional Use Permit per City Code requirements. Staff has included a condition of approval requiring the applicant enter into a recordable proof of parking agreement with the City obligating the property owner to construct the additional parking spaces at the City's request if the City deems such parking spaces necessary at any point in the future. The applicant shall be responsible for all costs associated with the drafting and recording of the proof of parking agreement.

The proposed facility would require a total of 71 parking spaces to be in conformance with City Ordinance requirements. The initial plans indicate 70 parking spaces and requires an additional parking space to be added to the plans. Based on a review of the Site Plan there appears to be enough space to add an additional parking space, meet all setback requirements and remain below the maximum hardcover requirements. Additionally, staff anticipates that this may cause the request of 24 proof of parking spaces to become 25, which shall be accounted for in the proof of parking agreement.

LOADING REGULATIONS

City Ordinance requires all industrial buildings to have at least one off-street loading berth. Buildings which are 10,000 square feet or more, shall have a minimum of two (2) berths. The plan indicates two conforming loading berths and the location of a possible third.

City code restricts placement of loading docks/berths to locations other than the front/front yard of proposed structures. The applicant has requested a variance from this standard due to the existing location of the parcel and site conditions. See attached applicant statement regarding the proposed variance request. The variance criteria have been included in this report for review and consideration when determining if the variance to allow loading

docks/berths on the front side of the building should be granted for this project.

LANDSCAPING

Section 900.07, Subd. 2.A of the City Ordinance requires one (1) tree for every one thousand (1,000) square feet of total building floor area.

The proposed structure is 36,702sq. ft., which would require the applicant to plant 36.7/37 trees on site. The plan indicates the planting of 37 trees, which is consistent with City Code requirements.

SIGNS

The applicant has not submitted a sign plan for the proposed project. The plan indicates a monument sign and a visitor entry sign along Mill Lane, along with a wall sign mounted on the front side of the building. Please note that additional sign details were not provided and that any final sign plan shall be submitted to staff for review and approval consistent with Section 900.10 of the City Code. Future signage requires a permit through the city and shall be formally reviewed at that time. Site Plan approval does not constitute approval of the signs indicated on the plan set.

LIGHTING

Section 900.08, Subd. 1.C provides standards for exterior lighting. The City Code indicates “The intent of this subsection is to minimize the adverse effect of light and glare on operators of motor vehicles, pedestrians, and on residential and other land uses in the vicinity of a light source, to promote traffic and personal safety, and to prevent the nuisance associated with the intrusion of spillover light and glare.”

The submitted TMC Industries Exterior Lighting plan dated 10.28.2022 conforms to City Ordinance requirements.

PEDESTRIAN ACCESS

There are no sidewalks planned for Mill Lane and an internal sidewalk system is not planned for the site due to the layout and location. There is an access sidewalk along the front of the building between the parking area and the main entrance.

TRASH

City Ordinance requires *“All trash and trash handling equipment to be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure.”*

Sheet No. P2 - Preliminary Exterior Elevations Site Plan - Option D indicates a “PC Dumpster Enclosure PC-1 @ Exterior”. The dumpster enclosure is located on the front side of the building near the loading berth/dock areas. Based on the description it appears that the enclosure will match the proposed building materials, which is consistent with City Code requirements. Additionally, the applicant shall be required to install a screening gate to fully enclose the dumpster location and totally screen the dumpsters from view consistent with City Code. The gate screening material shall be consistent with the design of the building and dumpster/trash enclosure.

GRADING, DRAINAGE & UTILITIES

The Public Services Director and City Engineer have reviewed the initial utility, grading and storm water plans dated October 28th, 2022. The review comments have been attached to this document and are dated November 21st, 2022. Any recommendation of approval should require the applicant to revise the plan set consistent with the Site Plan Review #1 comments dated November 21, 2022. The applicant shall work with the City Engineer to revise the utility information to the satisfaction of the City prior to any work commencing on site.

DESIGN REVIEW - INDUSTRIAL DISTRICT

City Ordinance requires Design Review with the understanding that “the visual character and historic resources of the City are important attributes of its quality of life.” City Ordinance requires Design Review to be conducted as part of the Site Plan Review process.

Based on a review of the plan set provided by the applicant for the TMC Industries project staff finds that the design requirements stated in the Industrial Design District have been met.

VARIANCE REVIEW CRITERIA:

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a Variance in terms of “practical difficulty” as follows: “Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the Variance are consistent with the Comprehensive Plan.” So a City evaluating a Variance application should make findings as to:

1. Is the Variance in harmony with the purposes and intent of the ordinance?
2. Is the Variance consistent with the Comprehensive Plan?
3. Does the proposal put the property to use in a reasonable manner?
4. Are there unique circumstances to the property not created by the landowner?
5. Will the Variance, if granted, alter the essential character of the locality?

State Statute specifically notes that economic considerations alone cannot create a practical difficulty. Whereas, practical difficulties exist only when the three statutory factors are met (1. Reasonableness, 2. Uniqueness, and 3. Essential character).

CONCLUSION / RECOMMENDATION

The Planning Commission should hold the public hearing, take all public comment and review the Site Plan, Variance and Conditional Use Permit applications based up on the City Code criteria stated earlier in this report and make a recommendation to the City Council regarding the TMC Industries project at 1370 Mill Lane. Upon a formal recommendation by the Planning Commission this application will be forwarded to the City Council for review at their upcoming meeting on December 19th, 2022.

If the Planning Commission chooses to recommend approval of the TMC Industries project, staff would recommend the approval upon the following conditions:

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall revise the plan set consistent with the Site Plan Review #1 comments dated November 21, 2022. All revisions shall be approved by the City Engineer prior to any work commencing on site.
4. The applicant shall provide the City with a letter of credit to guarantee the proper installation and growth of the approved landscape plan. The letter of credit shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The letter of credit shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
5. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
6. The trash enclosure shall be constructed of the same, or similar material, to the principal structure and shall include a gate fully screening the trash/dumpster area. The gate materials shall be submitted for review and approval prior to work commencing on site.
7. All future signage shall require a sign permit from the City of Waconia. The specific details regarding each sign shall be reviewed for conformance to City Ordinance requirements. Site Plan approval does not constitute approval of the signs indicated on the plan set.
8. The truck access off of Mill Lane shall be reduced to a 40 ft. width.
9. The Site Plan shall be revised to include 71 parking spaces. The revised plan shall be reviewed and approved by City staff prior to work commencing on site.
10. The applicant shall submit a mechanical screening plan to staff for review and approval. The transformer proposed on the front side of the building and the mechanical proposed on the rear side of the building shall be screened with materials similar to or compatible with material used on the main structure.

11. Any future outdoor mechanical equipment shall be screened per City Ordinance requirements. This statement includes both ground mounted and roof mounted mechanical equipment.
12. The applicant shall enter into a recordable proof of parking agreement with the City obligating the property owner to construct the additional parking spaces at the City's request if the City deems such parking spaces necessary at any point in the future. The applicant shall be responsible for all costs associated with the drafting and recording of the proof of parking agreement.
13. The applicant shall contact the City Community Development Department for a final site inspection when all conditions of approval regarding this application have been completed.

Attachments:

1. [1 Location Map_1370 Mill Lane.pdf](#)
2. [2 Applicant Statement of Use Letter.pdf](#)
3. [3 Public Hearing Notices.pdf](#)
4. [4 TMC Industries Project Plan Set.pdf](#)
5. [5 TMC Industries Floor Plan and Elevations.pdf](#)
6. [6 Site Plan Review #1 Engineer Comments dated Nov 21 2022.pdf](#)

FINANCIAL IMPLICATIONS:

Funding Sources & Uses:

Budget Information:

_____ Budgeted
 _____ Non Budgeted
 _____ Amendment Required

ADVISORY BOARD RECOMMENDATIONS:

Planning Commission

Parks and Recreation Board

Safari Island Advisory Board

Other



LOCATION MAP — 1370 MILL LANE

Project:



1370 Mill Lane
Waconia, MN 55387

Linner Morschen Architects
LMA
1370 Mill Lane, Suite 110
Waconia, MN 55387
Tel: 952-441-1000
E-Mail: linnermorschen@linnermorschen.com

REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors
2400 Oakdale Blvd., Suite 110
Waconia, MN 55387
Tel: 952-441-1000
E-Mail: rehder@rehder.com

PROJECT NO.: 221-2552.029
DRAWING FILE: 2552029.DWG
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name _____ Date _____
Reg. No. _____

CITY SUBMITTAL
NOT FOR CONSTRUCTION
10-28-22

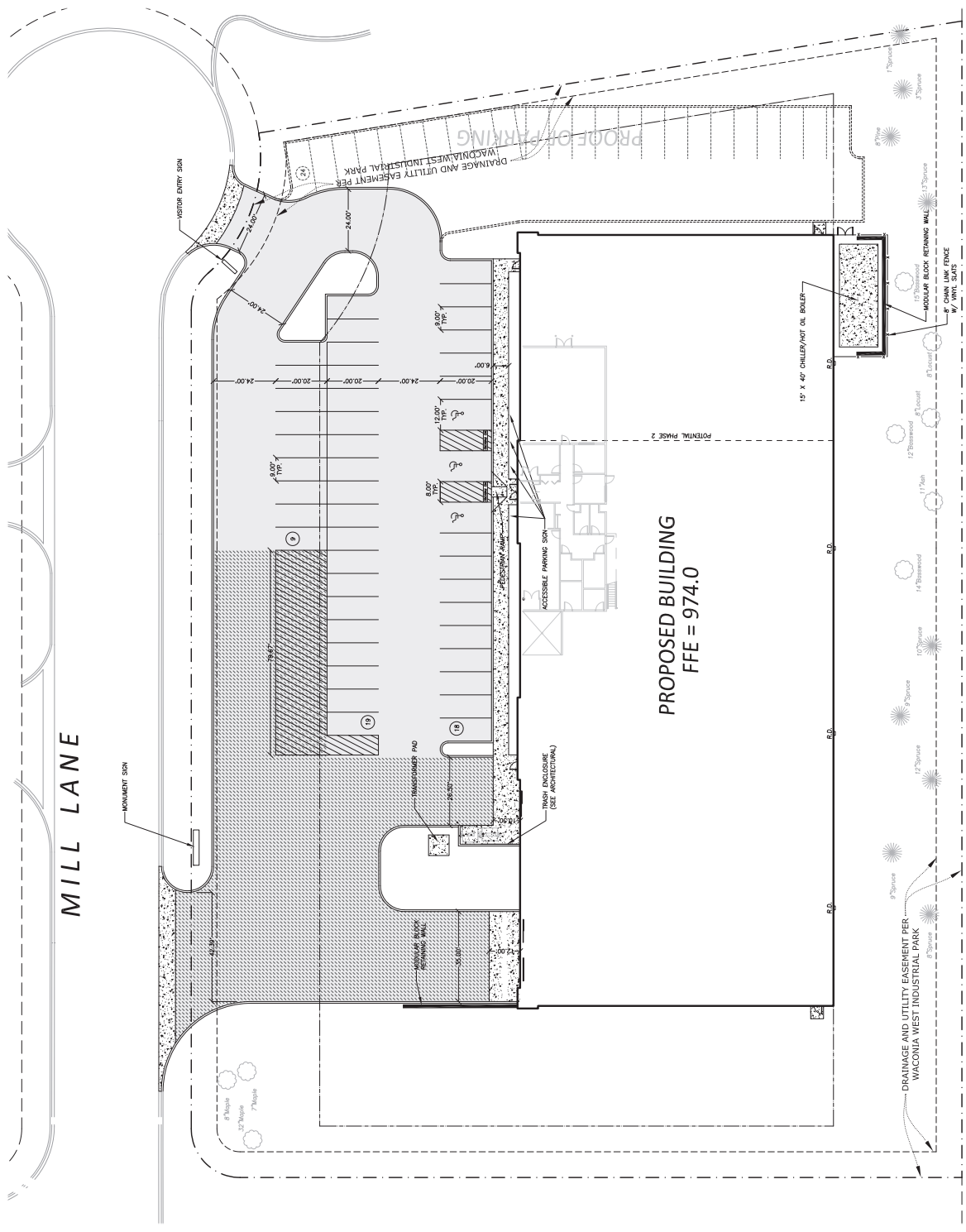
PROPOSED BY:
SHAW CONSTRUCTION
7065 Corporate Way
Eden Prairie, MN 5544-2021
952-937-8214
952-934-9933 Fax
www.shawconstruction.com

SHEET TITLE:
SITE DIMENSION PLAN

DATE: 10-28-22 REVISION NO.

DRAWN BY: NPA
SHEET NO.

C2



SITE SUMMARY
SITE AREA = 2.91 ACRES
EXISTING IMPERVIOUS AREA = 0.00 ACRES
POST CONSTRUCTION IMPERVIOUS AREA = 1.62 ACRES (55.7%)

- SITE NOTES**
- ① - All dimensions between curbing and to radius points are to face of curb.
 - ② - All dimensions starting curbs are to back of curb.
 - ③ - All dimensions starting curbs are to back of curb.
 - ④ - Constructed diked/entrances according to City of Waconia Site Plans.
 - ⑤ - All parking stall striping width is 9.00' unless otherwise noted.

CITY OF WACONIA, MN
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Waconia, MN, will hold a public hearing on December 1st, 2022, at 6:30 p.m., at the Waconia City Hall, 201 South Vine Street, Waconia, MN, to consider a Conditional Use Permit (CUP) for the property located at 1370 Mill Lane (PID# 755160110).

The applicant, Nick Hansen (on behalf of TMC Properties, LLC), is requesting a Conditional Use Permit to allow for proof of parking on the subject property. Specifically, the applicant is requesting allowance to construct twenty-four (24) of the required parking spaces at a later date if deemed necessary by the City of Waconia.

Pertinent information pertaining to this request is available at the City Hall. Interested persons may submit written or oral comments pertaining to this matter any time prior to the hearing, or at the hearing on Thursday, December 1st, 2022. Written comments will be distributed to the Planning Commission for review and consideration. Please submit written comments by mail, email or in person as follows:

Mail/in person: Attention: Lane L. Braaten, 201 South Vine Street, Waconia, MN 55387

Email: lbraaten@waconia.org

By: WACONIA PLANNING COMMISSION

ATTEST: Lane L. Braaten, Community Development Director

(Published in the November 17th, 2022, Waconia Patriot newspaper)

CITY OF WACONIA, MN
NOTICE OF PUBLIC HEARING

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ATTEST: Lane L. Braaten, Community Development Director

(Published in the November 17th, 2022, Waconia Patriot newspaper)



October 27, 2022

City of Waconia
201 South Vine Street
Waconia, MN 55387

Re: Statement of Use Letter
Waconia Site Plan and Design Review Application

Introduction

I would like to start by introducing myself. My name is Nick Hansen and I am the President of TMC Industries, Inc. at 1423 Mill Lane in Waconia, MN. TMC has been a proud member of the Waconia community since 1997. We currently have 31 full time employees, almost all of who are from this, and the surrounding communities. TMC is a family-owned business, started by our founder Gil Overson in 1979 and currently owned and operated by the 2nd generation of family.

TMC is provider of high-performance greases and solvents sold to the semiconductor and aerospace markets as well as a provider of custom molecular distillation services primarily in the food ingredient and supplement markets. We distill many types of oils at our facility, most of which are natural ingredients used in the food manufacturing industry. Our facility is certified as SQF (Safe Quality Food), along with current certifications through the US FDA, MN Department of Agriculture, GMP, Kosher, and Halal.

Through hard work and dedication from our great staff, TMC has experienced tremendous growth over the past 3 years, outgrowing our current facility. We purchased the vacant lot at 1370 Mill Lane approximately one year ago and are currently in the design phase to expand our operation to include a new facility across the street from our existing operation.

Statement of Use

It is our intention to add and additional 10-15 staff members at this location, primarily in operations, manufacturing, and laboratory personnel. The main corporate office (leadership and administration) would remain in the existing facility across the street. The entire facility would be included in our SQF comprehensive plan and would meet all regulatory requirements for the processing of food ingredient oils as stated above. We plan to remain in the same shift operation as our current facility – 2 shifts Mon-Thursday evening (24-hour operations from 6am Monday through Midnight Thursday)



Variance Proposal Discussion

We understand that the proposal for this building will require a variance, specifically regarding the direction of the loading docks (planned to face Mill Lane). We understand that the city code requires the loading docks to not face the main street of entrance. In this instance however, following this requirement would require the loading docks to face either the park and trail to the north and west of the property, or residential neighborhoods to the west and south of the property.

It is our request to seek a variance to this requirement to have the loading docks face Mill Lane. We feel that requesting this variance will better meet the harmony, consistency, unique circumstances, essential character, and reasonable use of an industrial facility by facing all daily operations, noise, and light towards the street and adjacent industrial neighborhood rather than the trail, park, or residential properties. As you will see in the propose site and landscape design plans, this theme is carried out throughout the design with natural barriers, trees, landscaping, etc. to provide as much shielding from the surrounding neighborhoods and park as possible.

Prior to this application, TMC along with our team from Shaw Construction held a neighborhood meeting on September 20, 2022 by inviting all neighbors within the surrounding radius. The purpose of the meeting was to engage our neighbors with the proposed development of the site and our intention to request this variance. Several of the closest residential homeowners attended the meeting and in general were inquisitive about the project, hours of operations, use, number of trucks and employees, etc. All guests in attendance were verbally in favor of the loading dock placement towards the street over doors facing the walking path or residential properties.

We take great pride in our commitment, not just as an active resident and member of the Waconia community, but also of our role as a good neighbor. We look forward to your feedback and this proposed project.

Regards,

A handwritten signature in blue ink, appearing to read "Nick Hansen", is written over a light blue horizontal line.

Nick Hansen
President
TMC Industries Inc.

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(Published in the November 17th, 2022, Waconia Patriot newspaper)

Boundary and Topographic Survey for:
SHAW CONSTRUCTION
at 1370 Mill Lane — Waconia, Minnesota

PROPERTY DESCRIPTION

Lots 6 and 7, Block 3, WACONIA WEST INDUSTRIAL PARK, according to the recorded plat thereof.
Carver County, Minnesota

SURVEYOR'S NOTES

- Bearings shown are based on WACONIA WEST INDUSTRIAL PARK.
- As shown on this survey map, underground utility lines and structures are shown in an approximate way only, according to information provided by others. Excavations were not made during the process of this survey to locate underground utilities and/or structures. A request that utilities be marked/located for this survey was made through Gopher State One Call (Ticket Nos. 222092764 & 222092765). The underground utility lines and structures shown on this map represent the information provided to Rehder & Associates as a result of that request. The surveyor does not guarantee that the information provided was either complete or accurate or that there are no other underground utility lines and structures, active or abandoned, on or adjacent to the subject property. Contact Gopher State One Call for utility locations before any construction shall begin. Phone 651-454-0002.
- Area = 126,599 square feet or 2.91 acres as surveyed.

LEGEND

- Iron Monument Found
- S — Sanitary Sewer
- ST — Storm Sewer
- W — Watermain
- Hyd-Ø- Hydrant
- GV • Gate Valve
- MHO Manhole
- CB □ Catch Basin
- Flared End
- Invert Elevation
- CD Communications Pedestal
- Concrete Surface
- Bituminous Surface
- C — Buried Communications
- E — Buried Electric
- CS • Curb Stop

BENCHMARK

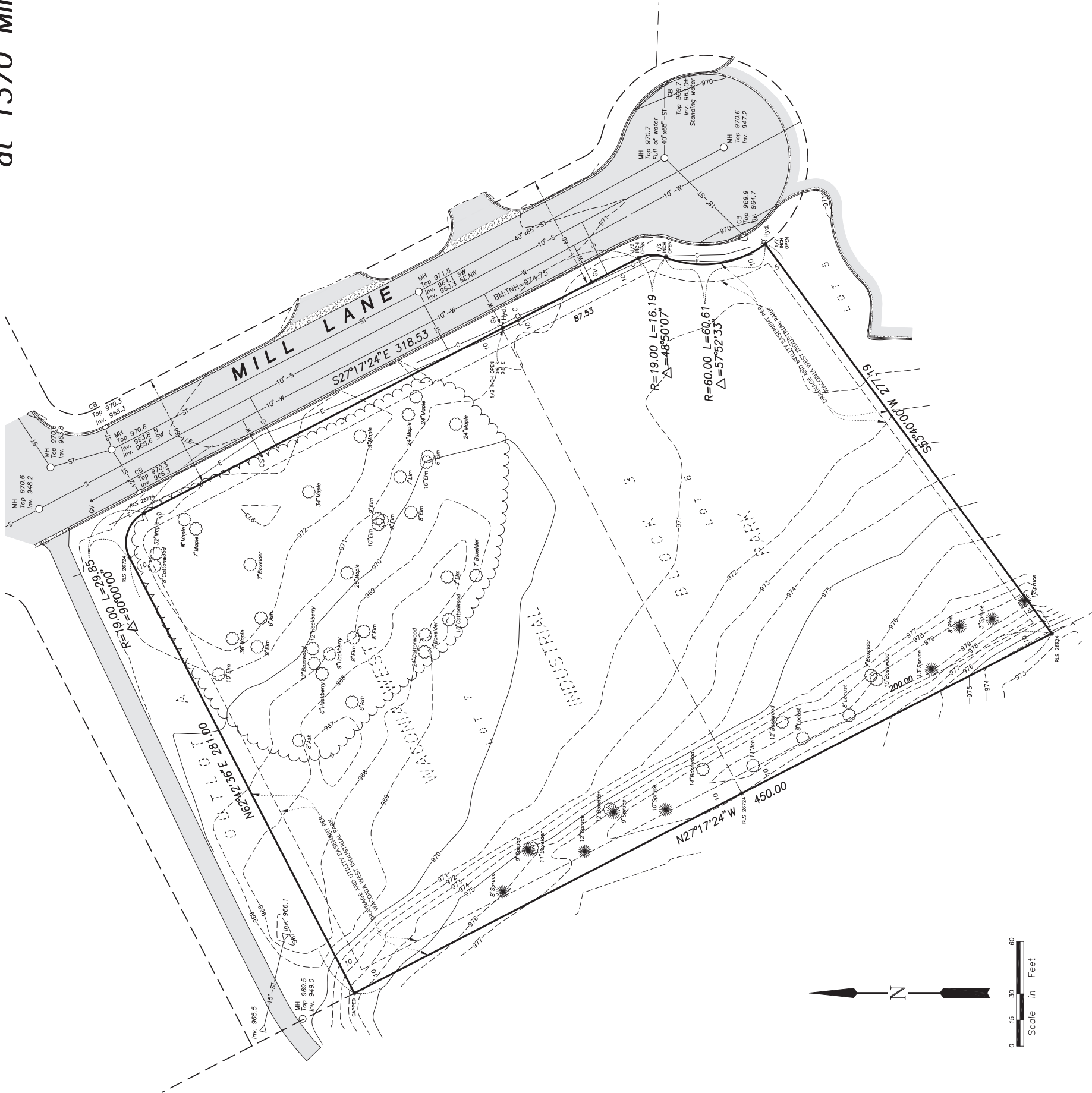
BM: Top of top nut of hydrant located at the most northeasterly corner of Lots 6 & 7.
Elevation = 974.75
Vertical Datum: NAVD 88

CERTIFICATION

I hereby certify that this survey was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 25th day of October, 2022
REHDER & ASSOCIATES, INC.

Gary C. Huber
Gary C. Huber, Land Surveyor
Minnesota License No. 22036



Project:



1370 Mill Lane
Waconia, MN 55387



PROJECT NO.: 221-2552.029
DRAWING FILE: 2552029.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name _____ Date _____
Reg. No. _____

CITY SUBMITTAL
NOT FOR CONSTRUCTION
10-28-22

PROPOSED BY:



7685 Corporate Way
Eden Prairie, MN 55344-2021
952-937-8214
952-934-9433 Fax
www.shawconstruct.com

SHEET TITLE:

SITE DEMOLITION PLAN

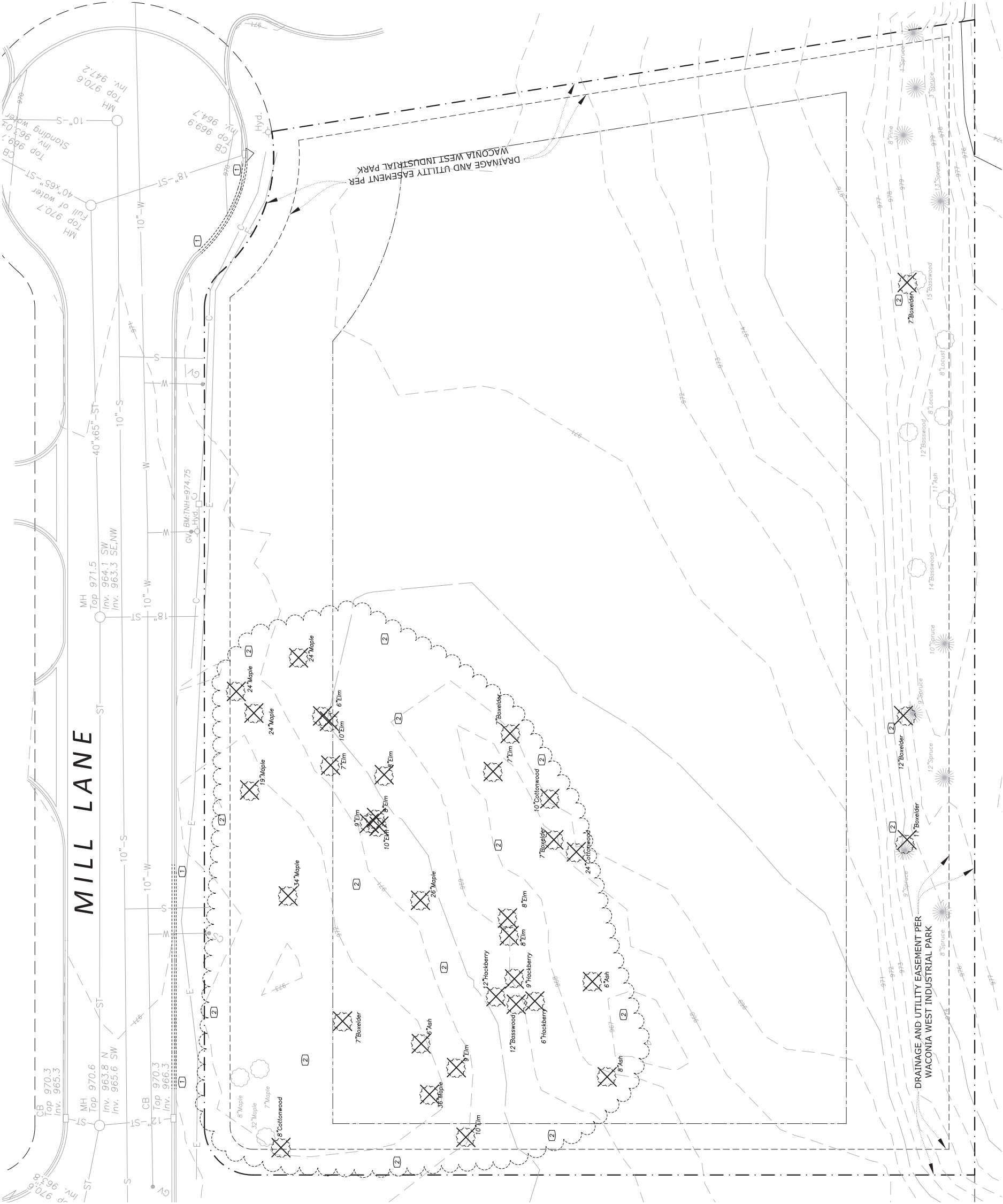
DATE: 10-28-22

REVISION NO.

DRAWN BY: NPA
SHEET NO.

C1

NOTE: WORK WITHIN THE PUBLIC ROW OR CONNECTIONS TO PUBLIC UTILITIES MUST BE COORDINATED WITH THE WACONIA PUBLIC SERVICES DEPARTMENT. CONTRACTOR MUST PROVIDE A MINIMUM 48-HOUR NOTICE PRIOR TO ANY WORK BEING PERFORMED. EXTENT OF REMOVALS MUST BE VERIFIED WITH THE CITY PRIOR TO DEMOLITION. BITUMINOUS PAVEMENT MUST BE SAW-CUT AND CONCRETE REMOVED TO THE NEAREST JOINT.



DEMOLITION NOTES

- 1 - Remove curb & gutter
- 2 - Remove brush/tree(s)

LEGEND

- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE
- W --- EXISTING WATERMAIN
- S --- EXISTING SANITARY SEWER
- ST --- EXISTING STORM SEWER
- G --- EXISTING BURIED GAS LINE
- E --- EXISTING BURIED ELECTRIC LINE
- C --- EXISTING BURIED COMMUNICATION LINE
- 980--- EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION

Project:



1370 Mill Lane
Waconia, MN 55387



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SHEET TITLE:

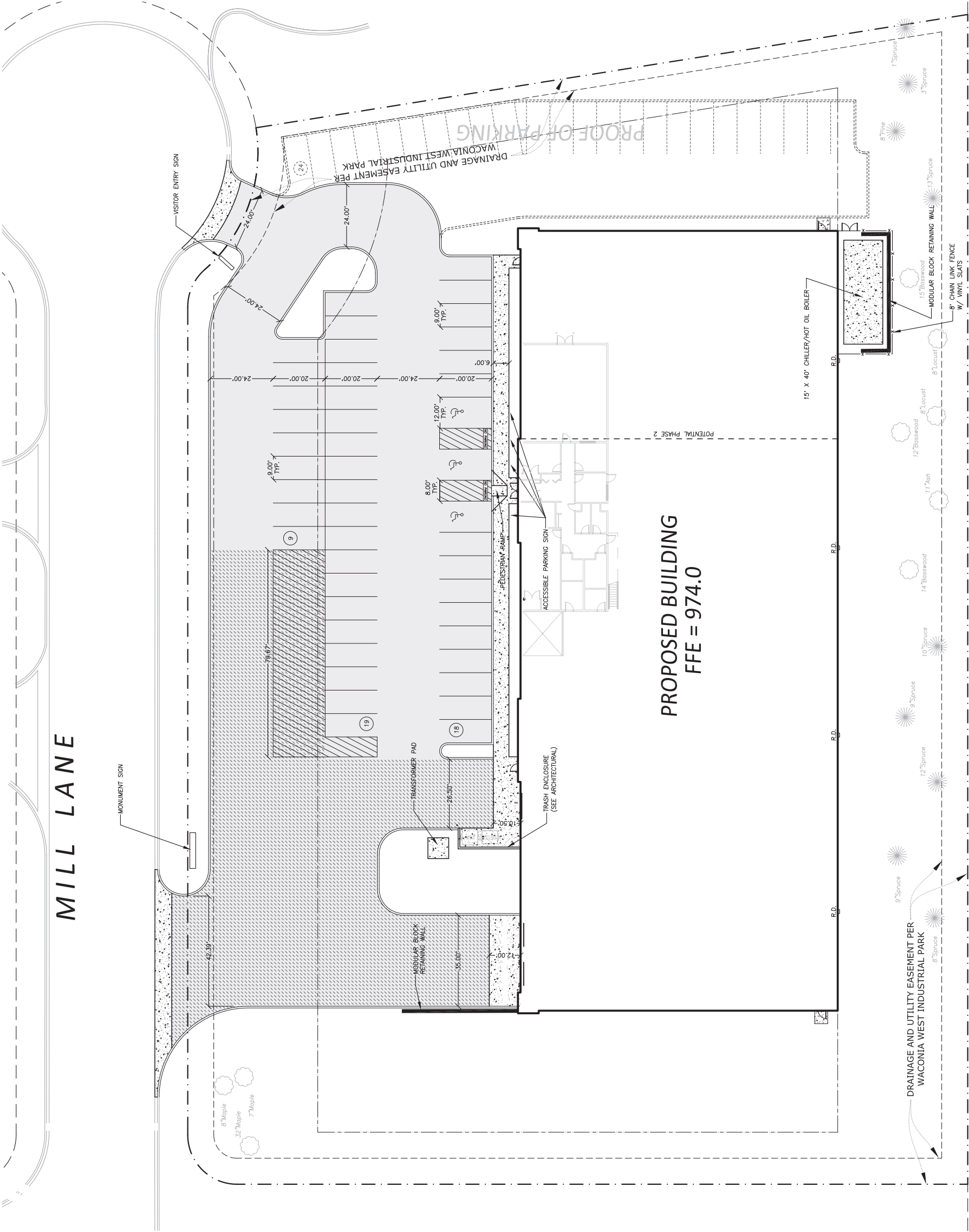
SITE DIMENSION PLAN

DATE: 10-28-22

REVISION NO.

DRAWN BY: NPA
SHEET NO.

C2



LEGEND

- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE
- PROPOSED CONCRETE
- PROPOSED STD. DUTY BITUMINOUS
- PROPOSED HEAVY DUTY BITUMINOUS

SITE SUMMARY

SITE AREA = 2.91 ACRES
DISTURBED AREA = 2.60 ACRES
EXISTING IMPERVIOUS AREA = 0.00 ACRES
POST CONSTRUCTION IMPERVIOUS AREA = 1.62 ACRES (55.7%)
POST CONSTRUCTION IMPERVIOUS AREA INCLUDING PROOF OF PARKING = 1.84 ACRES (63.2%)

SITE NOTES

- All dimensions between curbing and to radius points are to face of curb.
- All dimensions abutting curbs are to back of curb.
- All curb and gutter on private property shall be type B-612 unless otherwise noted.
- Construct drives/entrances according to City of Waconia Std. Plates.
- All parking stall striping width is 9.00' unless otherwise noted.

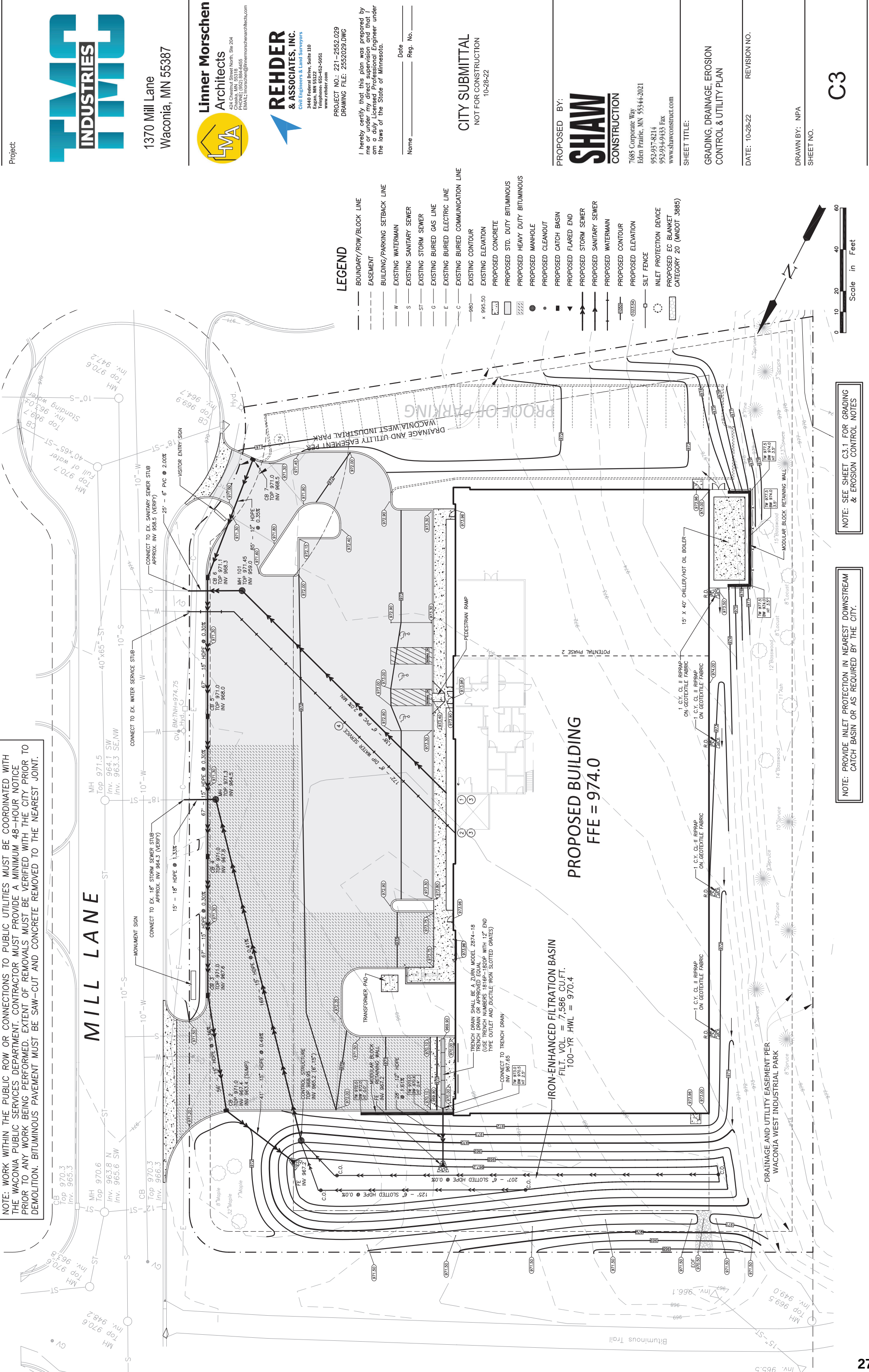
PARKING STALLS PROVIDED

STANDARD STALLS	ACCESSIBLE STALLS	PROOF OF PARKING STALLS	TOTAL
43	3	24	70

PARKING STALLS REQUIRED

	SQ. FT.	STALLS
OFFICE	3,603 X 1 STALL/200 SQ. FT. = 18	18
MANUFACTURING	12,909 X 1 STALL/400 SQ. FT. = 32	32
WAREHOUSE	20,190 X 1 STALL/1,000 SQ. FT. = 20	20
TOTAL		70

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MILL LANE

PROPOSED BUILDING
FFE = 974.0

IRON-ENHANCED FILTRATION BASIN
FILT. VOL. = 7,586 CU.FT.
100-YR HWL = 970.4

LEGEND

- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING BURIED GAS LINE
- EXISTING BURIED ELECTRIC LINE
- EXISTING BURIED COMMUNICATION LINE
- EXISTING CONTOUR
- EXISTING ELEVATION
- PROPOSED CONCRETE
- PROPOSED STD. DUTY BITUMINOUS
- PROPOSED HEAVY DUTY BITUMINOUS
- PROPOSED MANHOLE
- PROPOSED CLEANOUT
- PROPOSED CATCH BASIN
- PROPOSED FLARED END
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- PROPOSED EC BLANKET
- CATEGORY 20 (MNDOT 3885)

CITY SUBMITTAL
NOT FOR CONSTRUCTION
10-28-22

PROPOSED BY:
SHAW
CONSTRUCTION

7685 Corporate Way
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952-937-8214
952-934-9433 Fax
www.shawconstruct.com

SHEET TITLE:

GRADING, DRAINAGE, EROSION
CONTROL & UTILITY PLAN

DATE: 10-28-22

REVISION NO.

DRAWN BY: NPA
SHEET NO.

C3

NOTE: SEE SHEET C3.1 FOR GRADING
& EROSION CONTROL NOTES

NOTE: PROVIDE INLET PROTECTION IN NEAREST DOWNSTREAM
CATCH BASIN OR AS REQUIRED BY THE CITY.



Project:



1370 Mill Lane
Waconia, MN 55387



Linner Morschen
Architects
424 Chestnut Street North, Ste 204
Chaska, MN 55318
PHONE: (952) 884-4455
EMAIL: linnermorschenarchitects.com



REHDER
& ASSOCIATES, INC.
Civil Engineers & Land Surveyors
3440 Federal Drive, Suite 110
Eagan, MN 55122
Telephone: 952-452-5051
www.rehder.com

PROJECT NO.: 221-2552.029
DRAWING FILE: 2552029.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

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C3.1

GRADING NOTES

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

EROSION CONTROL NOTES

- 1 - Perimeter erosion control measures must be installed by the Contractor and inspected by the City prior to any other work. Contractor must provide 24-hour notice prior to inspection.
- 2 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- 3 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- 4 - Sweep paved public streets as necessary where construction sediment has been deposited.
- 5 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- 6 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- 7 - The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water.
- 8 - All pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours of connection to a surface water.
- 9 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.

INSPECTION AND MAINTENANCE

- The site must be inspected once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
- All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
- Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced to once per month.
- All silt fence must be repaired, replaced, or supplemented within 24 hours when they become nonfunctional or the sediment reaches 1/3 of the height of the fence.
- Temporary and permanent sedimentation basins must be drained and the sediment removed when the depth of the sediment reaches 1/2 the storage volume. Removal must be completed within 72 hours of discovery.
- Surface waters and conveyance systems must be inspected for evidence of sediment being deposited. Removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints.
- Construction site vehicle exit locations must have sediment removed from off-site paved surfaces within 24 hours of discovery.

POLLUTION PREVENTION MANAGEMENT

- All solid waste must be disposed of off-site per the MPCA disposal requirements.
- All hazardous waste must be properly stored with restricted access to storage areas to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA Regulations.

UTILITY NOTES

- 1 - All sewer services to extend to a point 5' from proposed building.
- 2 - Bring water main into proposed building and cap at the floor.
- 3 - Verify all service locations and inverts with mechanical engineer before construction.
- 4 - All watermain to have a minimum of 7.5' of cover.

CATCH BASIN/MANHOLE SCHEDULE

STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
MH 1	48"	R-1642B
CB 2	48"	R-3067V
CB 3	48"	R-3067V
CB 4	48"	R-3067V
CB 5	48"	R-3067V
CB 6	48"	R-3067V
CB 7	24" X 36"	R-3067V

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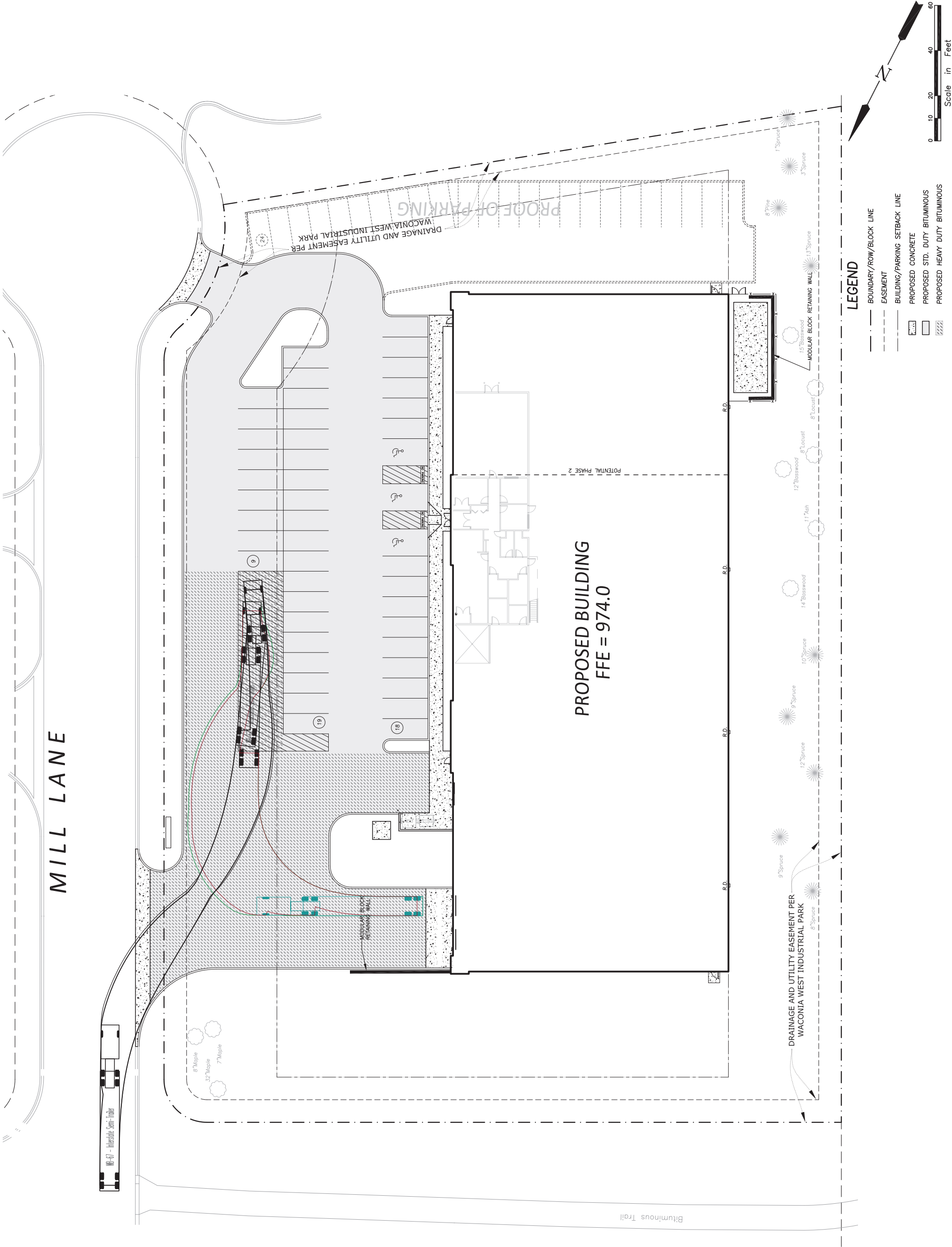
SHEET TITLE:

TRUCK TURNING EXHIBIT

DATE: 10-28-22 REVISION NO.

DRAWN BY: NPA
SHEET NO.

C6



TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	AX	7	Acer x Freemanii 'Sanna' / Sierra Glen Maple	3' BB
	AX2	3	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry Ht 15' w 12'	7' Clump
	BR	8	Betula nigra / River Birch Ht 40' w 30'	8' Clump
	CO	5	Celtis occidentalis / Common Hackberry	3' BB
	PA3	2	Picea abies / Norway Spruce	10' BB
	PG	6	Picea glauca 'Denicata' / Black Hills Spruce	10' BB
	PN	1	Pinus nigra / Austrian Pine	8' BB
	TG	2	Thuja cordata 'Greenspire' / Greenspire Littleleaf Linden	3' BB
	UF	3	Ulmus parvifolia 'Frontier' / Frontier Elm Ht 30' w 40'	3' BB
	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	C8	13	Cornus sericea 'Rakadevine' / Firedance Dogwood	#10 Cont.
	D8	45	Diervilla sessilifolia 'Butterfly' / Southern Bush honeysuckle	45 Cont.
	ST	31	Spirea betulifolia 'Tor' / White Frost™ Birchleaf Spirea	#5 Cont.
	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	CK	36	Ceanothus x acutiflorus 'Karl Foerster' / Feather Reed Grass Ht 36" w 18"	#3 Cont.
	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	SEED 2	7,555 sf	MIX-DOT 32-61 Seed Mix Stormwater South and West / w/ Category 3 Erosion Blanket	seed
	SEED 1	20,209 sf	MIX-DOT Mix 35-61 Mesic Prairie / w/ Category 3 Erosion Blanket	seed
	PP	27,628 sf	Proa pratenis / Kentucky Bluegrass	seed
				
				
				
				

soils notes

- ALL PLANTING BEDS SHALL RECEIVE 6" PULVERIZED LOAM TOPSOIL BORROW MN DOT SPEC. 3877-2B ENHANCE WITH AGED AND SCREEN COMPOST

key notes

- IRRIGATION:** PROVIDE IRRIGATION FOR SOD AND PLANTING AREAS WITHIN THE PROJECT BOUNDARIES FOR 100 % COVERAGE. REFER TO DESIGN IRRIGATION SPECIFICATION, PROVIDE SHOP DRAWING FOR IRRIGATION SYSTEM INCLUDING HEAD LAYOUT, SPACING, TYPE, BACKFLOW PREVENTER LOCATIONS, POINT OF CONNECTION, SLEEVES, CONTROL VALVE BOX LOCATIONS, ZONE INDICATIONS AND PIPE SIZING. PROVIDE ON-SITE OPERATION TUTORIAL FOR OWNER AN INCLUDE ALL MANUALS AND INFORMATION ON THE SYSTEM.

- 2** PROVIDE AND INSTALL 1½" TRAP ROCK MULCH TO A 4" DEPTH ON NON-WOVEN LANDSCAPE FABRIC.

planting notes

1. CONFIRM ALL QUANTITIES, SHAPES AND LOCATIONS OF BEDS, AND ADJUST AS REQUIRED TO CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT.
2. LOCATE ALL UTILITIES, NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH ANY PLANTING. CONSTRUCTION.
3. ALL PLANTING BEDS SHALL RECEIVE A 6" MIN. OF PLANTING SOIL. REFER TO SOIL NOTES FOR PLANTING SOIL MIX REQUIREMENTS.
4. ALL PLANTING BEDS SHALL RECEIVE A 4" OF TOP SOIL, REFER TO SOIL NOTES FOR TOP SOIL MIX REQUIREMENTS.
5. ALL PLANTING AREAS SHALL RECEIVE HARDWOOD SHEEPED MULCH APPLIED TO 3" DEPTH WITH PELLET WEEED PREVENTER UNDER ALL MULCH BEDS. INNESS INDICATED AS OTHER MULCH ON PLANS.
6. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL SOD/URUG WHICH HAS BEEN REMOVED FOR NEW PLANT INSTALLATION. PLANTS NOT MAINTAINED ON DAY OF DELIVERY SHALL BE HEeled IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THE MANNER WILL BE REJECTED.
7. THE CONTRACTOR SHALL REMOVE FROM THE PLANT SCHEDULE F 1 DISCREPANCIES DIST. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
8. THE CONTRACTOR SHALL AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES.
9. THE CONTRACTOR SHALL KEEP PAVEMENTS, UTILITIES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE PROJECT SITE SHALL BE KEPT CLEAR OF CONSTRUCTION WASTE AND DEBRIS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. MULCH, PLANTING SOIL AND OTHER MISCELLANEOUS PLANTING COMPONENTS SHALL BE PROVIDED INCIDENTAL TO THE RELATED PLANT. VERIFY ALL QUANTITIES.
11. CONTRACTOR IS RESPONSIBLE FOR WATERING AND ALL PLANT CARE UNTIL FINAL ACCEPTANCE BY THE OWNER.
12. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF PLANTINGS IS COMPLETE. PROTECTION HAS BEEN AFFRANING AND ACCEPTED EXCLUSIVE OF THE GUARANTEE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MULCHING AND PROTECTING THE PLANTS UNTIL REMOVAL OF DEAD WATRIAL PRIOR TO GROWING SEASON, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
14. WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL SUFFICIENTLY WATER EVERY OTHER DAY UNTIL ACCEPTANCE BY THE OWNER. IN EXTREME HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

calculations



client

SHAW CONSTRUCTION
77685 CORPORATE WAY
EDEN PRAIRIE, MN 55344

Project

TMC INDUSTRIES
1370 MILL LANE
WACONIA, MN 55387

PROJECT NUMBER: 220017

certification

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of New York.

PRELIMINARY

DO NOT USE FOR CONSTRUCTION

TYPED NAME: Jason P. June
 DATE: 10-29-2022
 PROJECT NO.: 42162

issue / revision

		CITY SUBMITTAL
		ISSUE / REVISION
	NO	DATE
	1	10-29-2022

sheet title

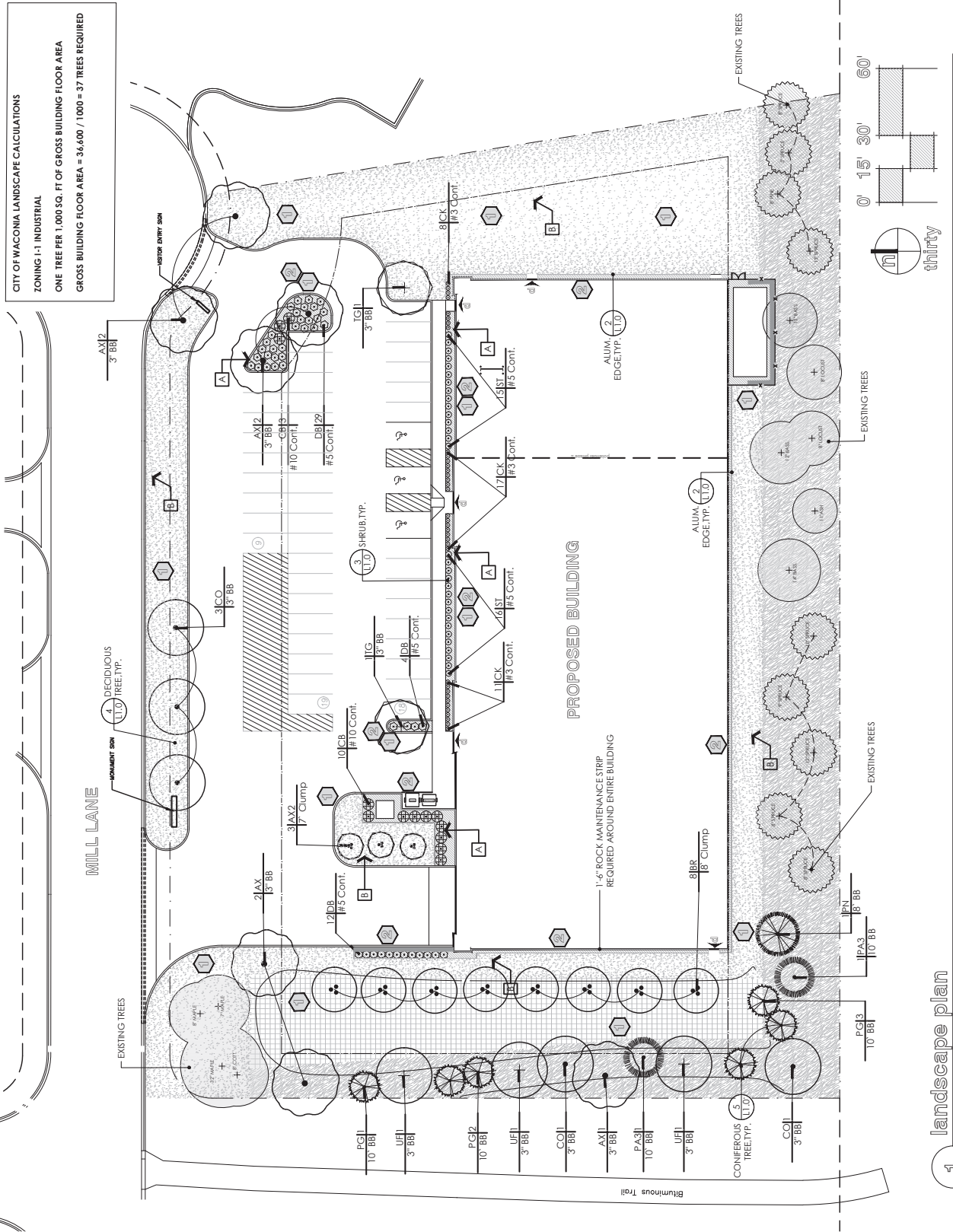
LANDSCAPE PLAN

THIS SQUARE APPEARS 1 1/2" x 1 1/2"
ON FULL SIZE SHEETS.

DRAWN BY:
CHECKED BY:

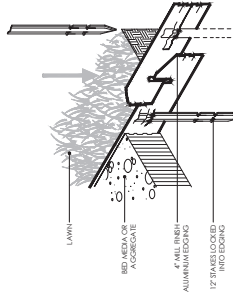
1.0

33



landscape plan

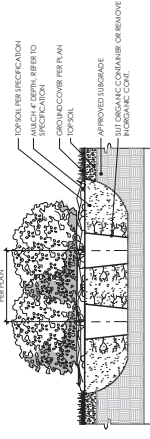
scale: 1"=30'-0"



aluminum edge

scale: nts

- NOTES:
1. HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYPICAL)
 2. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 3. SHRUBS TO SIT ON SUBGRADE.
 4. APPLY PELLET WEED PREVENTER PRIOR TO MULCHING.



drugs

scale: 100

1. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
2. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
3. DO NOT PLANT TOO DEEP; EXPOSE TOP OF ROOT FLARE AND PULL MULCH AWAY FROM TRUNK.

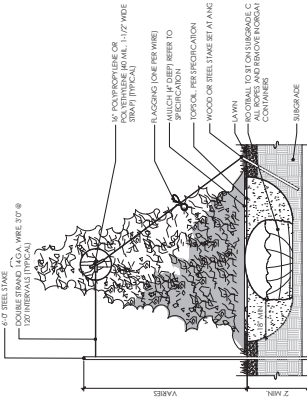


-

deciduous tree

ଉତ୍ତର: ନାହିଁ

1. CONFER TO HAVE SHREDDED HARDWOOD MULCH (INLESS NOTED OTHERWISE, NO MULCH TO BE IN CONTACT WITH TRUNK).
2. SCARPY BOTTOM AND SIDES OF HOLE PROOF TO PLANTING.
3. TWO ALTERNATE METHODS OF "TREE STAKING" ARE ILLUSTRATED.
4. IT IS THE CONTRACTORS OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB THROUGHOUT THE GUARANTEE PERIOD.
5. DO NOT PLANT TOO DEEP; EXPOSE TOP OF ROOT FLARE AND PULL AWAY FROM TRUNK.



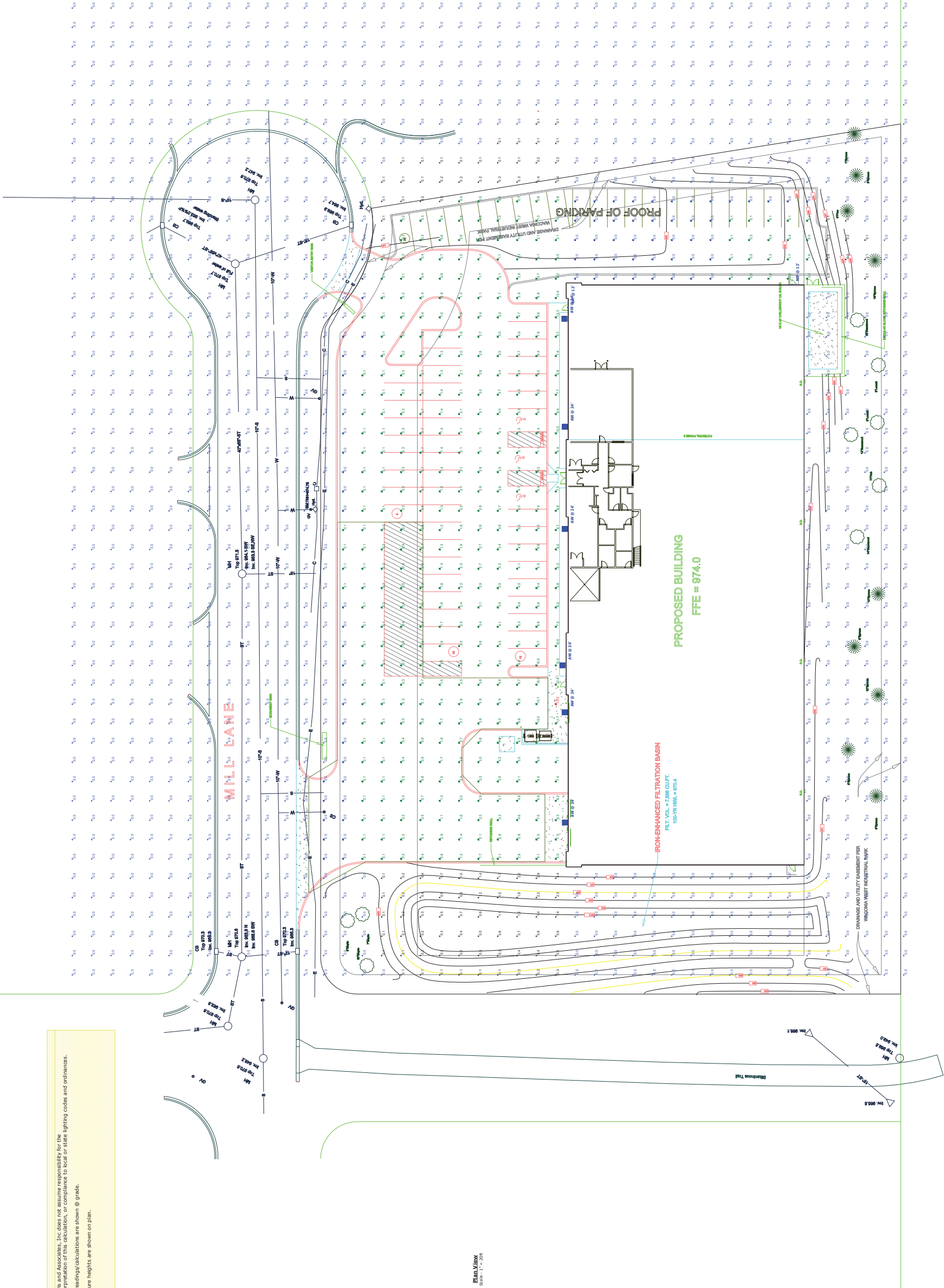
coniferous tree

scale: rts

Schedule		Image	QTY	Manufacturer	Casting	Description	Number Lamps	Lamp Output	LCF	Mount Power	Pole Fts
AW			6	Luminaire Lighting	WMA	LED P4 40K 4ft	1	2310	0.9	180.74	
						4000K CCT Type R4 Distribution					
WP			2	Luminaire Lighting	WPS1	LED P2 40K 6000K	1	2913	0.9	24.42	
						4000K CCT Type R4 Distribution					

Statistics		Symbol	Avg	Max	Min	Max/Min	Avg/Min
Foot Area Calculated @ Grade		+	0.6 E	13.0 E	0.0 E	N/A	N/A
			2.2 E	13.0 E	0.0 E	N/A	N/A

- Note**
- Davis and Associates, Inc. does not assume responsibility for the interpretation of these calculations, or compliance to them, of state lighting codes and ordinances.
 - All readings/calculations are shown @ grade.
 - Fixture heights are shown on plan.





Linner Morschen
Architects

424 Chestnut Street North, Ste 204
Chaska, MN 55318
PHONE: (952) 884-6455
EMAIL: lmorschen@linnermorschenarchitects.com



SHAW
CONSTRUCTION

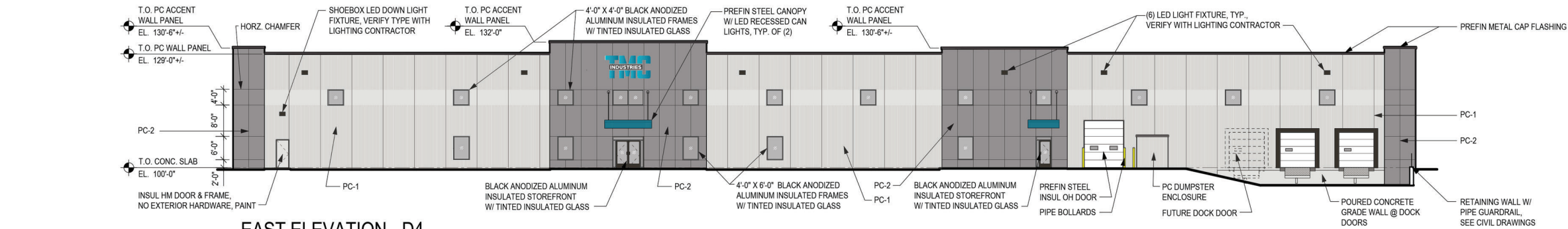
P1-D4



BUILDING AREA: 36,702 SF

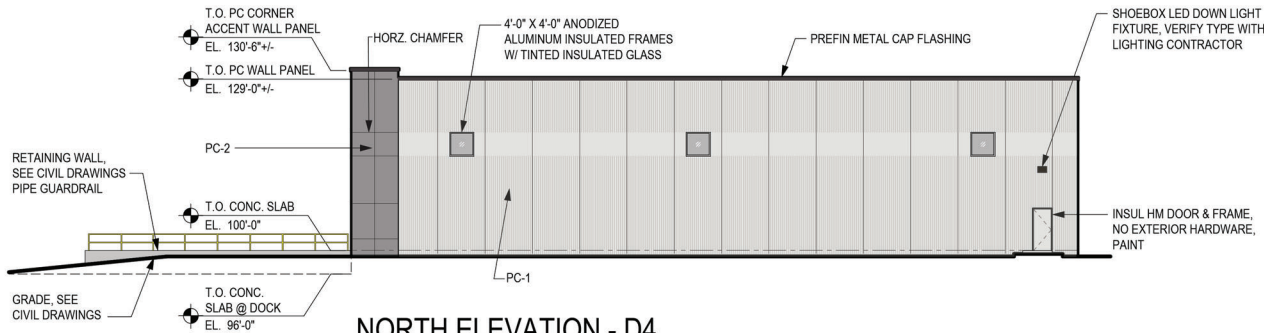


1370 Mill Lane
Waconia, MN 55387



EAST ELEVATION - D4

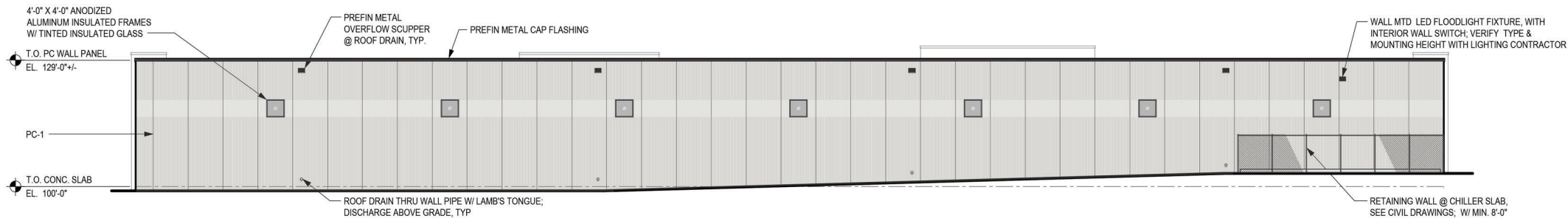
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NORTH ELEVATION - D4

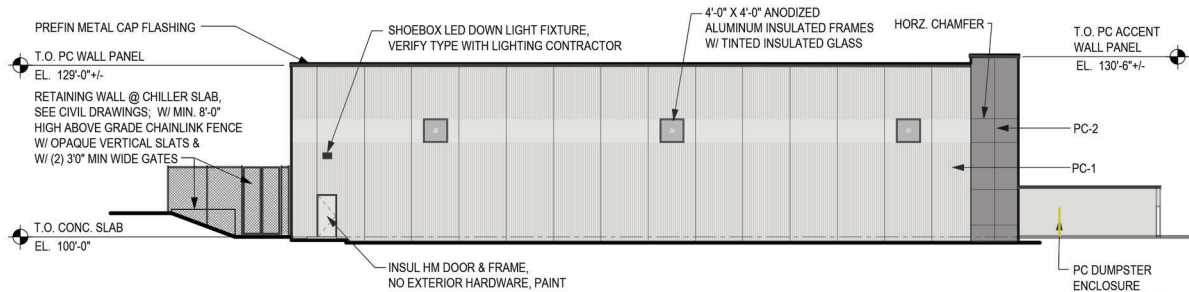
Scale: 1/16" = 1'-0"

PRECAST CONCRETE WALL PANEL FINISH LEGEND	
PC-1	PRECAST CONCRETE WALL PANELS EXPOSED AGGREGATE, UNIFORM LOW RIB LIGHT GREY TONE WITH 4'-0" HIGH TROWELED SMOOTH BAND
PC-2	PRECAST CONCRETE WALL PANELS EXPOSED AGGREGATE DARK GREY TONE



WEST ELEVATION - D4

Scale: 1/16" = 1'-0"



SOUTH ELEVATION - D4

Scale: 1/16" = 1'-0"

PROPOSED BY:



7685 Corporate Way
Eden Prairie, MN 55344-2021
952-937-8214
952-934-9433 Fax
www.shawconstruct.com

SHEET TITLE:

PRELIMINARY
EXTERIOR ELEVATIONS
SITE PLAN - OPTION D

DATE: 10-28-22 REVISION NO.

DRAWN BY: C.A.W. 2236
SHEET NO.

TMC Industries
Site Plan Review #1
November 21, 2022

This review is based on the site plans dated 10/28/22.

General Comments

1. Stormwater management for the original Waconia West Industrial Park development is provided by a two-cell wet retention pond system directly east of Mill Lane constructed in 1995. This system was designed to provide peak runoff rate control and nominal water quality treatment. The following should be considered regarding current stormwater management:
 - a. To meet the current MS4 requirements for permanent stormwater management, the applicant will also need to treat the water quality volume from on-site improvements as over 1 acre of new and/or reconstructed impervious surface is proposed. The water quality volume must be calculated as one (1) inch times the sum of the new and the fully reconstructed impervious surface.
 - b. Due to tight soils and proximity to the water table (as indicated in the Geotechnical Report), infiltration is not required. Therefore, the applicant has proposed filtration to treat the water quality volume, and it is sized more than adequately to meet NPDES requirements.
 - c. The location of the Iron Enhanced Sand Filter (IESF) and bioretention basin should be indicated on the plan with hatching to show where specific sections are to be installed. A profile should be provided for the length of the basin through the outlet structure to verify design and ensure system is constructed as proposed. The IESF detail provided does not match the Carver County Water Management Organization (CCWMO) and a detail for the bioretention filter area shall be added. Details shall be coordinated with the CCWMO.
 - d. The 40 mil liner should be removed from the detail. Even though infiltration may be hindered by the tight soils, the liner is unnecessary.
 - e. Calculations for reduction in TSS and TP should be submitted for City records. These reductions can be included in the overall Waste Load Reductions required by local TMDLs and should be recorded in the City's SWPPP as well.
2. The applicant will be required to obtain Carver County Watershed Management Organization (CCWMO) approval and permitting. A copy of any approvals or permits required should be submitted conditional to Final Plat approval.
3. The applicant will be required to obtain a General Construction Permit for Stormwater associated with Construction Activity (NPDES). A copy of the permit should be submitted conditional to Final Plat approval.
4. A Stormwater Pollution Prevention Plan (SWPPP) meeting NPDES requirements must be included for review and approval. For plan requirements, refer to the following link:
<https://www.pca.state.mn.us/business-with-us/2020-ms4-general-permit>
5. Retaining walls 4' or greater in height must be designed by a licensed Professional Engineer. Wall plans must be provided for review and approval prior to construction. A building permit from the City is also required.

6. Work within public right-of-way or connection to public utilities must be coordinated with the Waconia Public Services Department. Contractor must provide a minimum 48-hour notice prior to any work being performed. Extent of removals must be verified with the City prior to demolition. Bituminous pavement must be saw-cut and concrete removed to the nearest joint. Notes should be included accordingly.
7. Record drawings must be submitted upon completion of the project. Two hard copies and an electronic copy are required.
8. The applicant shall submit a Maintenance Agreement for the private stormwater management structures and facilities installed to meet governmental requirements. The agreement must define maintenance responsibilities following completion of project, specific types and frequencies of inspection and maintenance activities, designate who will conduct inspection and maintenance activities, and outline reporting requirements. The City of Waconia must be listed as party to the agreement.
9. Perimeter erosion control measures must be installed by the contractor and inspected by the City prior to any other work. Contractor must provide 24-hour notice prior to inspection.
10. Construction of the entrances will require removal of pavement, as well as curb. The extent of expected pavement removal and restoration should be indicated on the necessary plans, and pavement restoration should be indicated as 6.5 inches of bituminous pavement (3 lifts) and 14 inches of aggregate base.
11. The northerly proposed entrance is approximately 50 feet wide. The provided truck turning exhibit shows this is much larger than required for the site's design vehicle. This entrance width should be reduced to approximately 40 feet.
12. The northerly existing water services shall be removed to the main in the street, and the main shall be plugged to avoid future issues since it will not be utilized. Impacted areas in the street and street patch shall include 6.5 inches of bituminous pavement (3 lifts) and 14 inches of aggregate base.
13. A New gate valve is recommended for the water service since it will serve as the "Curb Stop" for the site development. Results of any work in the street; a street patch shall include 6.5 inches of bituminous pavement (3 lifts) and 14 inches of aggregate base.
14. Hydrant locations and fire connections shall be approved by the Fire Chief.
15. Storm sewer connections to the proposed filtration basin are recommended to be constructed with RCP to minimize potential for floating of storm sewer pipe ends.
16. A sump manhole is recommended to be provided downstream of the trench drain to provide pre-treatment prior to discharge to the filtration basin.
17. The proposed pavement is private. The Standard Duty Section includes 3.5 inches of pavement with 8 inches of aggregate base, and the Heavy Duty Section includes 4" pavement with 8" aggregate base. Due to the heavy clay soils in this area, the minimum recommended pavement section includes 4" of bituminous, 8" of aggregate base, and daintile stubbed out of the low point catchbasins.
18. The hatching for the IESF should be added to the Landscaping Plan. Seed mix MNDOT 32-261 should only be applied over the bioretention filter bottom (not the IESF).
19. Erosion control blanket should be indicated with a separate hatch and only applied to the areas of steep slopes and swales.



REQUEST FOR CITY COUNCIL ACTION

Meeting Date:		December 1, 2022					
Item Name:		10th Street Small Area Plan - Kim Lindquist, WSB					
Originating Department:		Community Development					
Presented by:		Lane Braaten					
Previous Council Action (if any):							
Item Type (X only one):		Consent		Regular Session	X	Discussion Session	
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED <i>(Include motion in proper format.)</i>							
Motion to recommend approval of the 10th Street Small Area Plan.							
EXPLANATION OF AGENDA ITEM <i>(Include a description of background, benefits, and recommendations.)</i>							
The small area plan will be presented by Kim Lindquist at the Planning Commission meeting on December 1st, 2022.							
<u>Attachments:</u>							
FINANCIAL IMPLICATIONS:				ADVISORY BOARD RECOMMENDATIONS:			
Funding Sources & Uses:							
Budget Information: _____ Budgeted _____ Non Budgeted _____ Amendment Required				Planning Commission			
				Parks and Recreation Board			
				Safari Island Advisory Board			
				Other			