

WACONIA PLANNING COMMISSION MEETING AGENDA



**Thursday, August 7, 2025
6:30 PM**

VISION STATEMENT

A thriving, connected community with deep roots: a great place to live for a lifetime.

MISSION STATEMENT

A city that leads, serves, and governs to enhance the quality of life for all community members.

CHAIR: CHAD GENZ
MEMBER: JOE POLUNC
MEMBER: BRUCE PAULSEN
MEMBER: DARYL PETERSON
MEMBER: JACOB WECKMAN
ALTERNATE: SIMON MALINSKI

**NOTE: TO ENSURE THAT YOU ARE PRESENT FOR ITEMS OF INTEREST,
PLEASE BE PRESENT AT 6:30 P.M.**

Those with items on the agenda should reach out to their staff contact. Others who wish to participate in the meeting, please contact the Community Development Director at 952-442-3106 or lbraaten@waconia.mn.gov to make certain that you are called upon during the meeting.

- 1. CALL MEETING TO ORDER AND ROLL CALL**
- 2. ADOPT AGENDA**
- 3. APPROVAL OF MINUTES**
 - 1) July 10, 2025, Planning Commission Meeting Minutes
- 4. NEW BUSINESS**
 - 1) **PUBLIC HEARING - Variance – 100 Scott Lane**

Motion to Close Public Hearing
Motion recommending either approval or denial of a variance for the construction of a 14-foot by 18.7-foot partially covered deck within the 30-foot rear yard setback and the improvement of a screen porch below that allows the maximum impervious surface of 33.8% versus the maximum 25% allowed in the Shoreland Overlay District for the property located at 100 Scott Lane.
 - 2) **PUBLIC HEARING - Elm Creek Ridge Preliminary Plat, PUD Zoning Request**

& Comprehensive Plan Amendment

Open the public hearing.

Motion to close the public hearing.

Recommend either approval or denial of the Preliminary Plat Application titled Elm Creek Ridge, which proposes subdivision of the subject properties into 56 single-family home parcels and 3 outlots.

3) Site Plan & Design Review - 830 Marketplace Drive

Provide a recommendation to the City Council regarding the Site Plan & Design Review application for the proposed 10,600 square foot automotive tire store and repair shop proposed to be located at 830 Marketplace Drive.

5. OLD BUSINESS

6. OTHER

1) Staff Update

7. ADJOURN



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date: August 7, 2025	
Item Name: 3.1. July 10, 2025, Planning Commission Meeting Minutes	
Originating Dept: Community Development	
Presented By: Brenda Stein	
Previous Council Action: None	
Item Type:	Consent
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED: Motion to Approve the July 10, 2025 Planning Commission Meeting Minutes	
EXPLANATION OF AGENDA ITEM: Approve the July 10, 2025, Planning Commission Meeting Minutes.	
ATTACHMENTS: 1. July 10, 2025 Planning Commission Meeting Minutes	
FINANCIAL IMPLICATIONS:	ADVISORY BOARD RECOMMENDATIONS:
Funding Sources & Uses:	Planning Commission:
Budget Information:	Park Board:
_____ Budgeted	Personnel Committee:
_____ Non-Budgeted	Other: More sample text.
_____ Amendment Required	

**CITY OF WACONIA
JULY 10, 2025**

1. CALL MEETING TO ORDER AND ROLL CALL

Pursuant to due call and notice thereof, the meeting of the Planning Commission of the City of Waconia was called to order by Commissioner Acting Chair Polunc at 6:30 PM.

The following Commissioners were present: Planning Commission Member Polunc, Planning Commission Member Paulsen, Planning Commission Member Peterson, Planning Commission Member Weckman, Planning Commission Member Malinski

The following Commissioners were absent: Planning Commission Member Genz

The following Commissioners were present but not voting:

2. ADOPT AGENDA

Braaten asked to amend the agenda under the new business heading and move item 2 to item number 1.

Motion to Approve Agenda Change made by Planning Commission Member Weckman, seconded by Planning Commission Member Paulsen.

MOTION CARRIED.

3. APPROVAL OF MINUTES

1) April 3rd, 2025 Planning Commission Meeting Minutes

Motion to Approve April 3rd Meeting Minutes made by Planning Commission Member Paulsen, seconded by Planning Commission Member Weckman.

MOTION CARRIED.

2) June 5th, 2025 Planning Commission Meeting Minutes

Motion to Approve June 5th Meeting Minutes made by Planning Commission Member Paulsen, seconded by Planning Commission Member Weckman.

MOTION CARRIED.

4. NEW BUSINESS

1) PUBLIC HEARING - Site Plan and Design Review, Variance & Conditional Use

Permit (CUP) - TMC Properties - 1370 Mill Lane

Braaten introduced the site plan and design review application, which also included a variance application and a conditional use permit application. He gave the background and location of the application. The variance request is for the proposed loading dock location on the front face of the building.

Paulsen asked about the loading dock location in the ordinance. Braaten answered that it was probably esthetics and noise mitigation reasons and followed up by talking about the parking requirements, which they are looking at. If approved, the applicant would have to enter into a proof of parking agreement with the City.

Braaten reviewed the hardcover, landscaping, and lighting proposed for the site.

Public hearing mailings were sent out and no comments were received.

Braaten asked the commission to review the criteria and the CUP standards prior to making any recommendations.

Nick Hanson president of TMC, went through the back history. He talked about the previous 2022 application and how they held a neighborhood meeting to address issues. More discussion followed with the past variance concerns. He informed the Commission that the project is dependent on his customer buying in and signing a multi-year contract. More discussion followed.

Braaten explained the timeline that Mr. Hansen was looking at. More discussion followed regarding the criteria for this approval. Which he felt wouldn't be a problem.

Polunc opened the public hearing.

There were no public hearing comments.

Polunc asked for a motion to close the public hearing

Paulsen made a motion to close the public hearing and it was 2nd by Weckman to close the public hearing.

Motion to approve the variance was made by Planning Commission Member Paulsen, along with discussion as to why he was in favor of it and including the recommended conditions in the staff report. Seconded by Planning Commission Member Weckman along with his comments as to why he is in favor of it.

MOTION CARRIED.

2) PUBLIC HEARING - Variance – 100 Scott Lane

Sahal, Assistant Planner, introduced the Variance. He stated it was submitted as a rear setback variance and that upon further review a hardcover variance would also be needed. The hardcover request has not been publicly noticed, so staff and the applicant are requesting the Planning Commission opened the public hearing and continue the item to the August 7th Planning Commission meeting.

Commissioner Polunc opened up the public hearing with a motion to continue the

public hearing at the August 7th meeting.

**MOTION MADE BY PLANNING COMMISSION MEMBER PAULSEN,
SECONDED BY PLANNING COMMISSION MEMBER WECKMAN. TO
CONTINUE THE AGENDA ITEM UNTIL THE AUGUST 7TH PLANNING
COMMISSION MEETING.**

MOTION CARRIED.

5. OLD BUSINESS

No old business

6. OTHER

Braaten updated the commission on the annexation of the Elm Creek Ridge property, which the Council approved. Also, a Site Plan application for 830 Marketplace Place Drive will be on next month's agenda. Additionally, the Holbrook development was approved and work has begun out at the property. The council approved the Norsq Comp Plan Amendment, but they decided to withdraw their request.

Also, Braaten went through the permits issued for re-roofs and new homes.

7. ADJOURN

Motion to Adjourn made by Planning Commission Member Weckman, seconded by Planning Commission Member Paulsen.

MOTION CARRIED.

**RESPECTIVELY SUBMITTED,
DAVID HAVLIK**

Chad Genz, Chair

ATTEST: _____
Brenda Stein, Administrative Specialist



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date:	August 7, 2025
Item Name:	4.1. PUBLIC HEARING - Variance – 100 Scott Lane
Originating Dept:	Community Development
Presented By:	Lane Braaten
Previous Council Action:	
Item Type:	Regular Session
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED: Motion to Close Public Hearing Motion recommending either approval or denial of a variance for the construction of a 14-foot by 18.7-foot partially covered deck within the 30-foot rear yard setback and the improvement of a screen porch below that allows the maximum impervious surface of 33.8% versus the maximum 25% allowed in the Shoreland Overlay District for the property located at 100 Scott Lane.	
EXPLANATION OF AGENDA ITEM:	
BACKGROUND Applicants/Owners: Don and Tracy Nemitz Address: 100 Scott Lane PID# 753010010 Zoning: R-2 Single-Family Residential District District: Shoreland Overlay District	
REQUEST: The property owner is requesting a variance to reconstruct an existing deck, construct a roof over a portion of the deck, and add a screen porch beneath it at their residence. The existing deck is located approximately 21.2 feet from the rear lot line versus the 30 ft. minimum setback requirement in the R-2, Single-Family Residential District. The proposed new partially covered deck, over an enclosed screen porch, is proposed to be located 19.2 feet from the rear lot line. The current hardcover for property is 33.7% and with the proposed improvement, the maximum hardcover would be 33.8%.	
APPLICABLE ORDINANCE PROVISIONS: 1. Section 900.05.3 – R-2 Single-Family Residential District, Subd. 7.e – Minimum yards 2. Section 900.06.7 – Shoreland Overlay District 3. Section 900.12- Administration, Enforcement and Procedures, Subd. 4 - Variances	
VARIANCE REVIEW CRITERIA: Waconia City Code Section 900.12 Subd. 4 and Minnesota State Statue 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a Variance in terms of “practical difficulty” as follows: “Variance shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the intent of the variances are consistent with the Comprehensive Plan.” So a City evaluating a Variance application should	

make findings as to:

1. Is the Variance in harmony with the purpose and intent of the ordinance
2. Is the Variance consistent with the Comprehensive Plan?
3. Does the proposal put the property to use in a reasonable manner?
4. Are there unique circumstances to the property not created by the landowner?
5. Will the Variance, if granted, alter the essential character of the locality?

State Statute specifically notes that economic considerations alone cannot create a practical difficulty. Whereas, practical difficulties exist only when the three statutory factors are met (1. Reasonableness, 2. Uniqueness, and 3. Essential character)

VARIANCE ANALYSIS:

The subject property at 100 Scott Lane contains an existing non-conforming deck that encroaches into the required 30-foot rear yard setback. The original deck, believed to have been built around 1990 without a permit, does not comply with current zoning standards. The current homeowners purchased the property in 2022 and were not aware of the deck's non-compliant status at the time of sale.

The applicants propose to remove the existing non-conforming deck and construct a new 14-foot by 18.7-foot deck with a screened porch below. The new structure would be set back 19.2 feet from the rear lot line, which requires a variance from the required 30-foot setback.

In addition, the proposed improvements would result in a total impervious surface of 33.8%, exceeding the maximum 25% allowed in the Shoreland Overlay District, thereby needing a second variance for impervious surface. The applicant is proposing to use stormwater mitigation in the form of a rain barrel indicated in the Variance Narrative.

PLANNING CONSIDERATIONS:

1. Minnesota State Statute Sec. 394.27 Subd. 7. states: " The board of adjustment may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance."
2. The reconstruction of a partially covered 14 ft. by 18.7 ft. deck with a screened porch below. Allowing the new deck to have a setback of 19.2.
3. The property is located within the Shoreland Overlay District which allows a maximum hardcover of 25%. The existing hardcover for the property, prior to any further improvements, is 33.7%. The proposed improvements would have a hardcover of 33.8%, which exceeds the 25% hardcover maximum. Due to the very small variation staff did not require the applicant to submit a stormwater mitigation plan for the 0.1% change. The staff's intent was to get feedback from the Planning Commission regarding mitigation of the 0.1% or if it was the expectation that they would need to mitigate everything above 25% hardcover.

PUBLIC NOTICE/COMMENT:

The notice was published in the WACONIA PATRIOT on July 24th, 2025, and posted at Waconia City Hall. Individual notices were mailed to all property owners within 350 feet of the

subject parcel. As of the date and time of this report, the City has received no public comment regarding the proposed variance.

RECOMMENDATION:

The Planning Commission should hold the required public hearing, review both of the Variances based upon the Variance Criteria stated above and the information provided and make a recommendation to the City Council.

Upon a formal recommendation by the Planning Commission, this application will be forwarded to the City Council for review at their upcoming meeting on August 18th, 2025.

If the Planning Commission chooses to recommend approval of the setback and hardcover surface variance submitted, staff would recommend the approval upon the following conditions:

1. All applicable permits are applied for by the applicant with all supporting documentation and issues prior to the start of construction.
2. The applicant shall follow the feedback from the Planning Commission regarding mitigation of the 0.1% or if it was the expectation that they would need to mitigate everything above 25% hardcover.

ATTACHMENTS:

1. Location Map
2. Revised Applicant Narrative
3. Certificate of Survey REV
4. Deck and Screen Porch Plans
5. Existing Conditions Site Photos

FINANCIAL IMPLICATIONS:	ADVISORY BOARD RECOMMENDATIONS:
Funding Sources & Uses:	Planning Commission:
Budget Information:	Park Board:
_____ Budgeted	Personnel Committee:
_____ Non-Budgeted	Other: More sample text.
_____ Amendment Required	



Carver County GIS, City of Waconia

0 25 50 100 150 200 ft

Coordinate System:
WGS 1984 Web Mercator Auxiliary Sphere

N

June 2025

City of Waconia
201 Vine Street South, Waconia, MN 55387

Landscape_11x17

**City of Waconia – Zoning Department
Variance Request – 100 Scott Lane, Waconia, MN 55387**

6/3/25

To Whom It May Concern,

We are respectfully requesting a variance to allow for the reconstruction of an existing deck located at 100 Scott Lane, Waconia, MN 55387. The original deck, believed to have been constructed around 1990, appears to have been built without a permit. The current homeowners, Don and Tracy Nemitz, purchased the property in 2022, and the status of the deck was not raised as an issue at that time.

The homeowners are proposing to remove the existing deck and patio and rebuild within a similar footprint. The new structure will consist of a low-maintenance deck and an enclosed screen porch below.

We believe that both the existing deck and the proposed improvements are consistent with the character of the property, neighboring homes, and the surrounding neighborhood. The structure does not appear to visually encroach upon any setback requirements, and the proposed updates will enhance both the functionality and aesthetics of the backyard.

We appreciate your consideration of this request and are happy to provide any additional information as needed.

Sincerely,
Steve Follett – Homeland Builders -Contractor BC379948

Don Nemitz Owner

Tracy Hart Owner

City of Waconia – Zoning Department

Variance Request – 100 Scott Lane, Waconia, MN 55387

7/9/25

Subject: Request for Hard Cover Variance – Patio Replacement

Following my earlier request for a setback variance related to our planned deck rebuild, 6/3/25 it has come to our attention that a hard cover variance is also required for the replacement of the existing patio.

Both the current deck and patio are believed to have been in place since the early 1990s. The existing patio has a negative slope that directs water toward the home's foundation, which we are seeking to correct as part of this project.

The dimensions of the current patio are approximately 11'8" x 20'7". We are requesting approval for a new patio footprint measuring 13' x 18'7".

The current plan includes an under-deck water management system that will direct rainwater into a gutter. As part of our proposal, we plan to terminate this system into a rain barrel to help mitigate runoff and promote responsible water management on the property.

Please let me know the next steps and if any additional documentation is required.

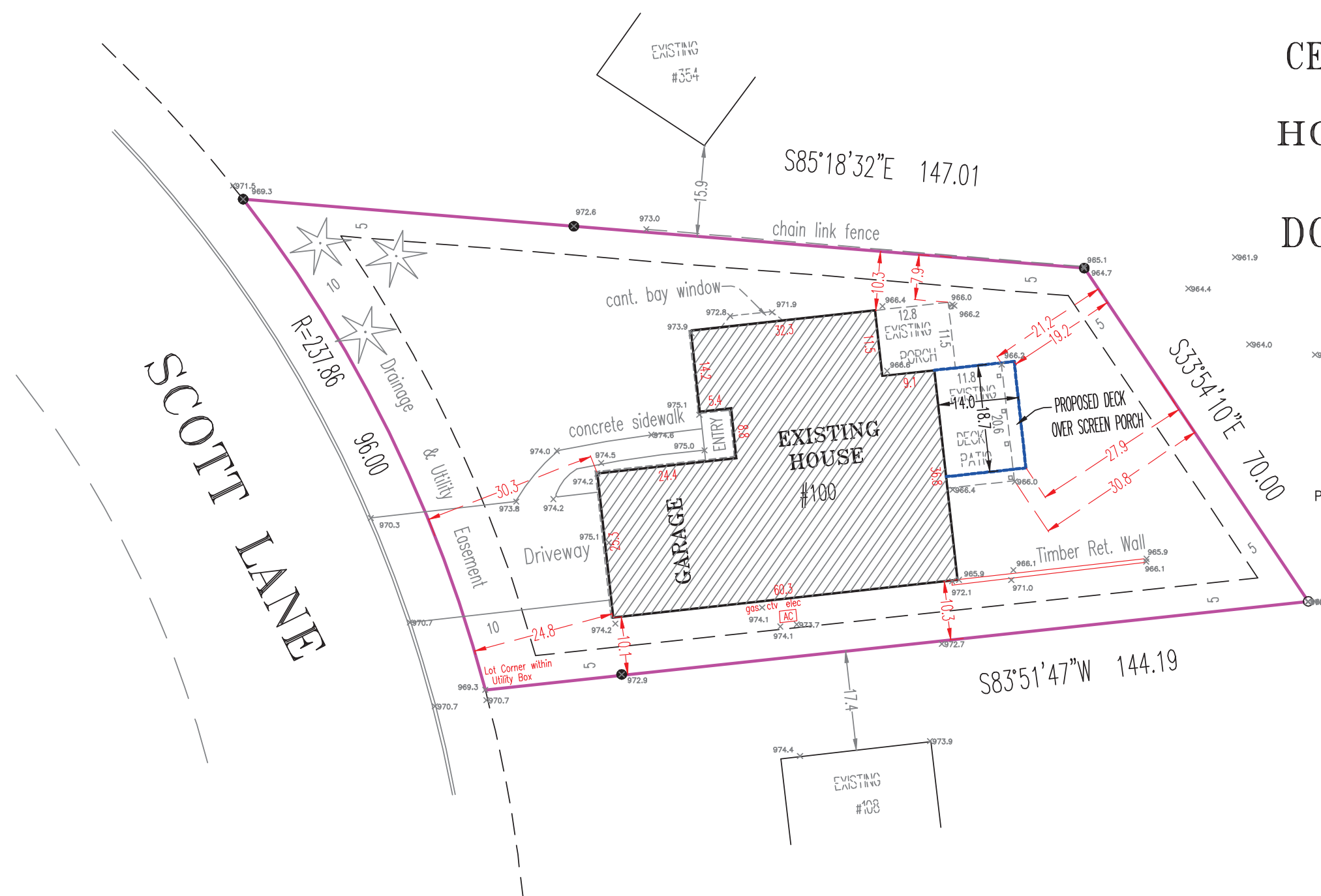
Thank you for your time and consideration.

Steve Follett – Homeland Builders -Contractor BC379948

Don Nemitz Owner

Tracy Hart Owner

CERTIFICATE OF SURVEY
 FOR:
HOMELAND BUILDERS
 OF THE:
DON & TRACY NEMITZ
RESIDENCE



EXISTING HARDCOVER:		PROPOSED HARDCOVER:	
HOUSE & ENTRY:	2,371 sq. ft.	HOUSE & ENTRY:	2,371 sq. ft.
REAR PORCH:	147 sq. ft.	REAR PORCH:	147 sq. ft.
PATIO:	242 sq. ft.	SCREEN PORCH UNDER DECK:	262 sq. ft.
DRIVEWAY:	530 sq. ft.	DRIVEWAY:	530 sq. ft.
SIDEWALK:	131 sq. ft.	SIDEWALK:	131 sq. ft.
TOTAL =	3,421 sq. ft.	TOTAL =	3,441 sq. ft.
PARCEL AREA =	10,165.64 sq. ft.	PARCEL AREA =	10,165.64 sq. ft.
HARDCOVER =	33.7%	HARDCOVER =	33.8%




LEGAL DESCRIPTION:
 Lot 1, Block 1,
 HARMS LAKEVIEW TERRACE 6TH ADDITION

100 SCOTT LANE
WACONIA, MN 55387

- Denotes iron monument
- Denotes found monument
- x 000.0 Denotes existing elev.

DEMARS-GABRIEL
LAND SURVEYORS, INC.
 2317 W. 93rd St.
 Bloomington, MN 55431
 763-559-0908
 612-751-6785
 dec@qwestoffice.net

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the Laws of the State of Minnesota.

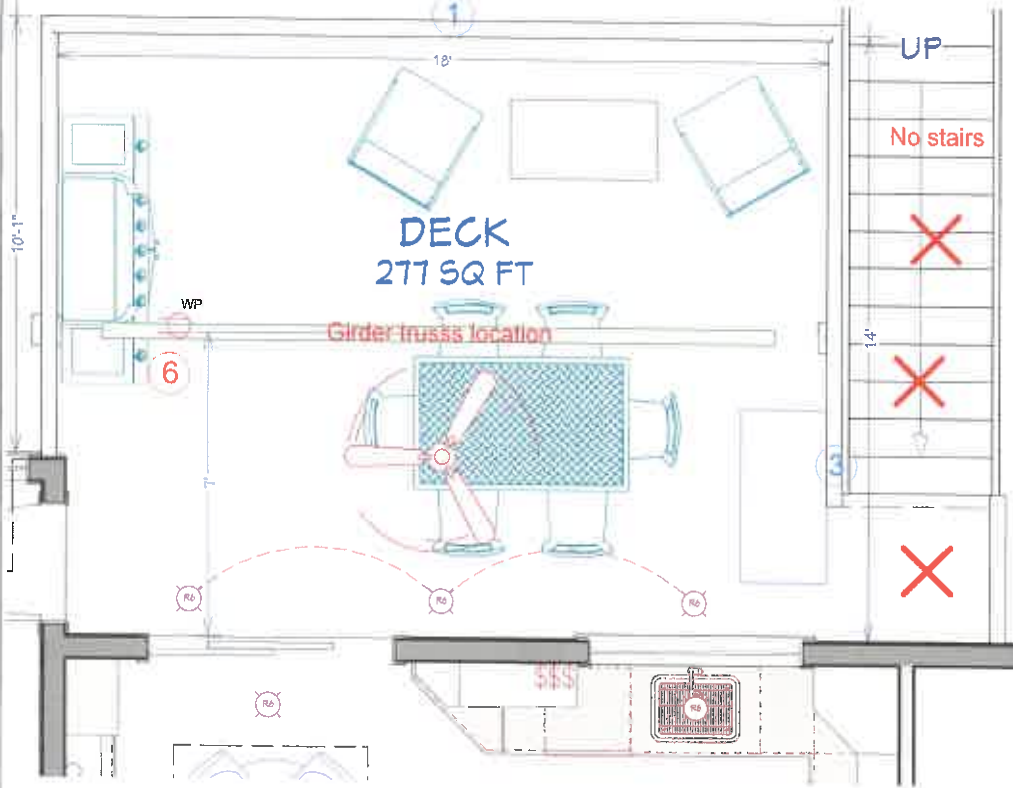

 6/02/2025

David E. Crook Minnesota License No. 22414

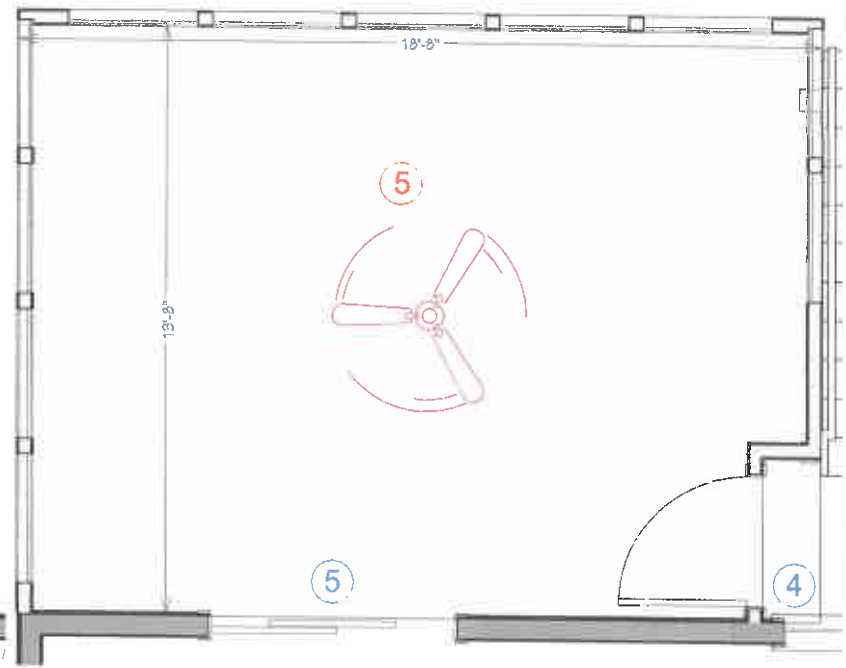
File No. 15264
Book-Page
Scale 1"=20'

REVISED: 6/25/25
 REVISED: 6/26/25

DECK



SCREENED PORCH



2 Ply engineered girder truss , hand frame vaulted ceiling with 1-3/4"x9-1/4" IVL ridge beam and 2x8 rafters

- 1) NEW FOOTINGS AND CONCRETE PAD BELOW, TO ALLOW FOR A 14' DECK
- 2) FRAME GABLE EXTENSION TO ALLOW PARTIAL COVERAGE OF DECK. SADDLE ROOF BETWEEN GABLES.
- 3) FUTURE STAIRS LOCATION SO NECESSARY FOOTINGS CAN BE MARKED AND INCLUCED AS NECESSARY
- 4) JOG IN FRAMING OF SCREENED PORCH TO AVOID LOWER LEVEL WINDOW
- 5) REPLACE SLIDING GLASS DOOR
- 6) ASSUME SOFFIT OUTLETS OR OUTLETS ALONG BEAMS FOR HOLIDAY LIGHTING
- 7) 24" KNEE WALL TO ALLOW FOR ELECTRICAL (& CAT DOOR?)



THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION BEGINS. ARE NOT VERIFIED BEFORE CONSTRUCTION BEGINS. JLC WILL NOT BE HELD LIABLE.

DATE: 12-27-2017
DESCRIPTION: JLC

SHEET TITLE: EXTERIOR AS BUILT & PROPOSED DEMO & CONSTRUCTION NOTES

PROJECT DESCRIPTION: NEMITZ, DON & TRACY 100 SCOTT LANE WACONIA, MN 55387



DRAWINGS PROVIDED BY: JLC

DATE: 12-27-24

SCALE: 3/4" = 1'

SHEET: A-1









REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date:	August 7, 2025
Item Name:	4.2. PUBLIC HEARING - Elm Creek Ridge Preliminary Plat, PUD Zoning Request & Comprehensive Plan Amendment
Originating Dept:	Community Development
Presented By:	Lane Braaten
Previous Council Action:	
Item Type:	Regular Session

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED: Open the public hearing.

Motion to close the public hearing.

Recommend either approval or denial of the Preliminary Plat Application titled Elm Creek Ridge, which proposes subdivision of the subject properties into 56 single-family home parcels and 3 outlots.

EXPLANATION OF AGENDA ITEM:

BACKGROUND:

Applicant(s):Magellan Land Development

PID#:	090261211	090261120	N/A Elm Creek Road
Property Owners	Song River Holdings LLC	Thomas Serbus	Waconia Township/City of Waconia

Existing Comprehensive Plan Guidance(s):

1. L. Low Density Residential
2. M, Medium Density Residential

REQUESTS:

1. The City has received a Preliminary Plat application titled ELM CREEK RIDGE, which proposes to plat portions of the subject properties identified above, and Elm Creek Road, into 56 single-family home parcels and 3 outlots.
2. The City has received an application to zone the subject property PUD, Planned Unit Development District, which would allow reduced lot sizing, reduced side yard setbacks and increased impervious surface allowance.
3. The City has received a Comprehensive Plan Amendment to reguide the easterly 10 acres of PID# 090261211 as L, Low Density Residential versus its current guidance of M, Medium Density Residential.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05, Subd. 2.A – R-1, Single-Family Residential District
2. Section 900.05, Subd. 2.B – R-2, Single-Family Residential District
3. Section 900.05, Subd. 2.C – R-3, Medium Density Residential District
4. Section 900.05, Subd. 2.O – PUD, Planned Unit Development District
5. Section 900.06, Subd. 6 – Flood Plain Overlay Regulations
6. Section 900.06, Subd. 7 – Shoreland Overlay District
7. Section 900.06, Subd. 8 – Environmental Protection Regulations
8. Section 900.07 – Landscaping and Fencing
9. Section 900.08 – Performance Standards
10. Section 900.09 – Off-Street Parking, Loading, and Access Regulations
11. Section 900.10 – Sign Regulations
12. Section 900.12 – Administration, Enforcement and Procedures
13. Section 1000 – Subdivision Ordinance

EXISTING CONDITIONS:

The subject parcels, which include approximately 29 acres, are generally undeveloped and remain primarily agricultural in nature. There are also natural features such as wetlands, wooded areas along the periphery of the agricultural use, and shoreland areas associated with the creek located on the western edge of the proposed project area.

PRELIMINARY PLAT REVIEW:

SUBDIVISION DESIGN FEATURES

The City of Waconia staff have reviewed the proposed Preliminary Plat application for the Elm Creek Ridge residential development drafted by Civil Engineering Site Design dated July 3rd, 2025, and provide the following review and comments:

Streets/Access

The applicant is proposing two accesses to the development, which include the use of the Elm Creek Road alignment accessing off of Hwy. 284 and a connection to the Waterford residential development to the north.

All of the streets are proposed to be public, and the street and right-of-way widths appear to be consistent with City standards. Access to Hwy. 284 shall be coordinated with MnDOT.

Easements

Section 1000.06, Subd. 4 of the City Ordinance requires drainage and utility easements at least 10 feet wide, centered on the rear and side lot lines of abutting lots and shall have continuity from block to block and lot to lot. The applicant is proposing drainage and utility easements which conform to City standards. Any additional easements required by the City Engineer shall be incorporated into the plat documents prior to recording.

There is an existing gas line easement that divides the property. The applicant shall coordinate with and comply with the gas line owner requirements and restrictions regarding working over,

under, and around the gas main facilities that bisect the property.

Blocks

The blocks proposed in the Elm Creek Ridge development are in conformance with the standards set forth in City Ordinance.

Lots

The applicable portions of the subject properties are guided L, Low Density Residential and M, Medium Density Residential. The submitted applications include a re-guidance of the entire property to L, Low Density Residential, so the review comments throughout this report will assume the re-guidance requested. City Ordinance indicates that areas annexed into the City Limits shall be placed in a zoning district consistent with the Comprehensive Plan. The Low-Density Residential designation will result in property being placed in the R-1, Single Family Residential District or R-2, Single-Family Residential District when annexed into the City Limits. The typical lot sizing required for the R-1, and R-2 are listed below for review.

<p><u>R-1, Single-Family Residential – Lot Requirements:</u> Lot Area = 10,500 sq. ft. minimum Lot Width = 75 ft. Maximum Hardcover Surface = 35% Setbacks – Principal Structure</p> <ul style="list-style-type: none"> <input type="checkbox"/> Front = 25 ft. <input type="checkbox"/> Side (street) = 25 ft. <input type="checkbox"/> Side (interior) = 10 ft. <input type="checkbox"/> Rear = 30 ft. 	<p><u>R-2, Single-Family Residential – Lot Requirements:</u> Lot Area = 7,850 sq. ft. minimum Lot Width = 50 ft. Maximum Hardcover Surface = 35% Setbacks – Principal Structure</p> <ul style="list-style-type: none"> <input type="checkbox"/> Front = 25 ft. <input type="checkbox"/> Side (street) = 15 ft. <input type="checkbox"/> Side (interior) = 10 ft. <input type="checkbox"/> Rear = 30 ft.
<p><u>Shoreland Overlay District – Lot Requirements for Tributary Watercourse</u> Lot Width = 75 feet Setback from OHWL/Edge of bank channel = 50 feet Maximum Hardcover Surface = 25%</p>	

The applicant is requesting the property be zoned PUD, Planned Unit Development District to allow reduced lot sizing, reduced side yard setback and an increased hardcover standard. The proposed PUD details are discussed later in this document and compared to the typical zoning required by the Comprehensive Plan.

Outlots

Below is a listing of the proposed outlots, the intended use/designation of each, the size, and the proposed ownership.

Outlot	Use/Designation	Gross Area	Proposed Ownership
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A	Stormwater/Green Space & Trails	4.25 Acres	City
B	Stormwater/Utilities/Future Transportation & Trails	3.18 Acres	City
C	Future Development	0.18 Acres	Thomas Serbus – Adjacent Property Owner

Signs

The applicant has not proposed any signage as part of this application. If the applicant is requesting signage that varies from what the Ordinance typically allows the sign plan should be reviewed and approved as part of the PUD process. Additionally and if applicable, any neighborhood monument signage should be placed in an outlot, which would be owned and maintained by the neighborhood homeowners association.

Public Land Dedication, Open Space

City Ordinance requires at least 10% of the gross land in a subdivision shall be dedicated for parks, schools, playgrounds and open space. The City, upon consideration of the particular type of development proposed in the subdivision, may require larger or lesser amounts of lands for such purposes or payment in lieu of land if deemed appropriate.

The Park & Recreation Board initially reviewed the Elm Creek Ridge Sketch Plan at their regular meeting on February 20th, 2025. The Park Board recommended cash in lieu of land for this development, which included the approximate dedication below.

Net Developable Acres = 23.54 acres*

\$65,000/acre (fair market value) x 2.354 acres (10% of developable acres) = approx.

\$153,010.00 park dedication fee

The park dedication fee shall be paid prior to the city executing the final plat documents.

Pedestrian Ways and Trails

City Ordinance states “Subdividers shall define and construct a meaningful pedestrian circulation system subject to City approval which connects to the major trail system and to schools, parks and shopping areas and shall provide easements to accommodate such movement. Said pedestrian ways shall be coordinated with those of adjacent subdivisions and the Comprehensive Plan.”

Sidewalks

The applicant is proposing sidewalks on one side of each street throughout the development with the exception of the east block of Elm Creek Road. The plans should be revised to include a 6-foot wide sidewalk on the north side of Elm Creek Road between the north-south roadway and Hwy. 284. Additionally, this should include a crosswalk across Elm Creek Road to the west of the intersection with Hwy. 284 and an ADA compliant concrete landing shall be included at the southwest corner of Elm Creek Road and Hwy. 284.

Preservation of Natural Features and Amenities

Section 1000.06, Subd. 7.G states “Existing features which would add value to residential development or to the local government as a whole, such as trees, as herein defined, watercourses and falls, beaches, historic spots, and similar irreplaceable assets, shall be preserved in the design of the subdivision.”

The subject parcels generally include agricultural uses, driveway accesses, and Elm Creek Road. There are a number of wetland areas identified in the plan set, the majority of which are protected in outlots which are planned to be dedicated to the city. Additionally, the plan identifies the shoreland overlay district, which includes all property within 300 feet of the creek edge.

Landscaping and Tree Preservation

Landscaping

City Ordinance requires the following landscaping for properties zoned R-1, Single-Family Residential, R-2, Single-Family Residential and R-3, Medium Density Residential:

1. A planting strip and/or earth berm, not exceeding a slope of 3:1, shall be placed in all newly platted residential developments that abut an arterial road as identified in the City’s Comprehensive Plan.
2. Each newly platted lot in the R-1 and R-2 zoning districts shall have two (2) trees.
3. Landscaping for PUD districts shall be consistent with the landscaping requirements applicable to the R-1, R-2, and possibly the R-3 districts.
4. Lights from automobiles shall be screened whenever it may be directed onto residential windows to the extent that it will cause an unreasonable disturbance.
5. Shade trees shall be planted every forty (40) feet to sixty (60) feet within the right-of-way on both sides of any portion of road within the subdivision.
6. Unless otherwise directed by the Planning Commission, all plantings shall be placed on the private property on which the development is taking place.
7. All areas not otherwise improved in accordance with approved site plans or subdivisions shall be sodded, seeded, or otherwise established with vegetation approved by the City, and maintained in accordance with this subdivision. All grass and vegetative plantings shall occur over a minimum of six (6) inches of topsoil borrow meeting Minnesota Department of Transportation Specification 3877, Table 3877-1. 100% of the material including soil clumps must pass a 1” sieve. Prior to sod installation, all topsoil borrow material must be approved by the City. The grading shall consist of a uniform and smooth surface. Any sags or rises shall be corrected prior to the placement of sod or seed. Further, all grass and vegetative plantings shall be completed no later than six (6) months from the date of issuance of a Certificate of Occupancy. Grass shall be clean and free of noxious weeds and pests or diseases and shall be of a species normally grown as permanent lawns and suitable to this climate.
8. The owner shall provide the City with cash, corporate surety bond, approved letter of credit or other surety satisfactory to the City to guarantee the proper installation and growth of the approved landscape plan.
9. The landscape plantings shall be consistent with the minimum planting size stated in

Section 900.07, Subd. 2.F, which are identified below.

Minimum Size of Plantings

1. Deciduous trees = 2.5 inches in diameter as measured six inches above the ground.
2. Coniferous = 6 feet in height
10. All trees used in site development shall be indigenous to the appropriate hardiness zone and physical characteristics of the site.
11. The deciduous trees proposed to satisfy the minimum requirements of this policy shall be not less than 25% deciduous and not less than 33% coniferous.

The landscape plan shall be revised to include the following:

1. Additional coniferous plantings along Outlot C near the intersection of Gorham Drive and Huntington Drive to screen automobile lights.
2. The applicant should identify possible areas where additional screening plantings may be located to further screen the property owners to the south.

The proposed landscape plan generally conforms to City Ordinance requirements.

Environmental Protection Regulations

Tree Preservation

City Ordinance allows developments in residential districts to remove or disturb up to thirty (30) percent of the total tree inches of significant trees. Any removal or disturbance beyond this threshold shall require reforestation or restitution.

Reforestation/Restitution Requirement. – If a development exceeds the allowable removal or disturbance threshold specified above, the subdivider shall either reforest appropriate areas within the site (or outside the site if appropriate locations within the site are not available) or pay restitution, or provide a combination thereof. For each one (1.0) tree inch that is removed or disturbed beyond the threshold, the subdivider shall replant one and one-quarter (1.25) inches of new trees or provide the City with one hundred and twenty five dollars (\$125.00) in restitution, per inch removed beyond the threshold.

Tree Survey/Preservation Plan. – A tree survey and tree preservation plan shall be submitted with all preliminary plat applications, and with all lot division applications involving the creation of one or more new development parcels. The tree survey and tree preservation plan shall be prepared and signed by a registered surveyor or forester at the developers expense.....

The applicant has provided an Overall Tree Preservation Plan consistent with City Ordinance requirements. The tree inventory, preservation and replacement details are included below.

Total Significant Trees/Caliper Inches on Site	858 caliper inches	100% of Significant Trees
Total Caliper Inches Saved	359 caliper inches	41.8% Saved
Total Caliper Inches Removed	499 caliper inches	58.2% Removed

30% Allowed Tree Removal	257 caliper inches	
Excess Caliper Inches Removed Above Allowed	242 caliper inches	
Required Replacement (Excess x 1.25)	302.5 replacement caliper inches/121 trees	

Previous subdivision approvals associated with a Planned Unit Development have allowed up to 15% of the required tree plantings to be ornamental. Ornamental trees proposed to be planted are 1.5 caliper inches, while ordinance identifies a minimum of 2.5 caliper inches for all deciduous trees. The landscape plan should be revised by reducing the number of ornamental trees to 15% or less of the proposed tree plantings needed to meet City Code requirements.

The landscape plan appears to meet City Ordinance requirements.

Wetland Protection

City Code identifies wetlands as a valuable resource that receive surface water runoff and provide possible contact with groundwater. Further, it is the intent of the City Code to establish a program of sound management through regulations that strive toward zero degradation of the wetlands by conserving, protecting and enhancing these environmentally sensitive resources.

Wetland Protection Analysis

1. A significant portion of the wetland areas will be located within outlots to be dedicated to the City and they will not be altered.

Shoreland Overlay District Regulations

The Shoreland area shall include all land within 1,000 feet of the ordinary high water mark of a protected water of ten (10) acres or more, within 300 feet of a river or stream, or the landward extent of a floodplain on such a river or stream, whichever is greater.

Shoreland Overlay District Analysis

1. A portion of the proposed development is located within 300 feet of the creek, which is identified in the City Code as a Tributary Watercourse.
2. City Code requires a 75 ft. minimum lot width, and a maximum impervious surface of 25% for non-riparian single-family parcels, which are sewered and located within 300 of the creek.
3. The applicant has submitted a rezoning application to allow the property to be developed as a Planned Unit Development District to allow reduced lot sizing, reduced setbacks and increased impervious surface. The City incorporates Part 6120.3800, titled Planned Unit Development, into the Shoreland Overlay District ordinance language.

Floodplain Overlay District Regulations

The purpose of these regulations is to promote public health, safety, and general welfare by

preserving the natural characteristics and functions of watercourses and floodplains in order to moderate flood and storm water impacts, minimize losses and disruptions caused by flooding, improve water quality, reduce soil erosion, protect aquatic and riparian habitat, provide recreational opportunities, provide aesthetic benefits and enhance community and economic development.

Floodplain Overlay District Analysis

1. Based on a review of the DNR floodplain information, it appears that the only portion of the property located in the floodplain are areas within very close proximity to the creek. It does not appear that any of the proposed residential parcels would be located in floodplain areas.

Grading, Drainage & Utilities

The City Engineer and Public Services Director have conducted an initial review of the grading, drainage and utility plans. Any recommendation by the Planning Commission should include a condition requiring the applicant to work with the City Engineer to revise the utility, grading, drainage, plans to the satisfaction of the City Engineer and Public Services Director.

Stormwater Management

An initial review of the site’s stormwater management has been completed by the Public Services Director and City Engineer. Any recommendation of approval should include a condition requiring the applicant revise the stormwater plans to the satisfaction of the City Engineer, the Public Services Director and the Carver County Water Management Organization (CCWMO).

ZONING REQUEST – PUD, PLANNED UNIT DEVELOPMENT DISTRICT:

The 2040 Comprehensive Plan identifies portions of the subject properties as the categories shown in the table below. The lot requirements for each of the residential districts were described earlier in this report.

Category	Land Uses	Zoning Districts
Low-Density Residential	Single-family, detached housing on parcels with a minimum size of 10,500 square feet. The density range should be from 2 to 4 units per acre.	R-1, Single-Family District R-2, Single-Family District
Medium-Density Residential	Single-family and two-family dwellings, townhouses and other forms of housing having an individual outdoor entrance for each housing unit. The density range should	R-2, Single Family District R-3, Medium Density District R-4, Mixed Residential District

	be from 4 to 10 units per acre.	
--	---------------------------------	--

City Ordinance states a PUD is intended to be used to achieve the following as summarized by staff:

1. Protection of natural and historic resources,
2. Flexibility in site planning,
3. Mixing and clustering of land uses and housing types,
4. Higher level of amenity,
5. Affordable housing,
6. A more efficient use of land,
7. Conservation of energy resources, 8. Creation of a sense of community.

Required Development Standards: A PUD shall comply with all of the requirements of this ordinance except for Sections 900.05, District Regulations. In addition the following shall apply:

- a. The minimum building and parking setback from any exterior PUD property line or abutting street shall be 40 feet. Refer to Section 900.06, Subd. 3 for required yard expansion adjacent to arterial streets.
- b. The maximum height of structures shall not exceed 45 feet except as provided for by Section 900.06, Subd. 2 of this ordinance.
- c. Overall gross residential PUD densities shall be in the range specified for the site by the Comprehensive Plan.
- d. Maximum hardcover surface shall be as follows for the following classes of use:
 1. Low and Low/Medium Density Residential 0-4 U/A 50%
 2. Medium Density Residential 5-12 U/A 60%
- e. Where the PUD site is designated by the Comprehensive Plan for more than one land use, the approximate same ratio of land area shall be reflected in the PUD for each use as exists in the Comprehensive Plan.
- f. Signage variances may be approved by PUD provided a sign plan is approved with the Development Plan. Generally, Section 900.10, Sign Regulations, will be used as a guide in evaluating the signage plan.
- g. Subdivision review shall be carried out simultaneously with the review of the PUD. The plans required by this Section shall be submitted in a form which will satisfy the requirements of the Subdivision Ordinance for the preliminary and final plat.

Findings. The Planning Commission and City Council shall not approve a PUD unless they shall find as follows:

- a. The proposed development is not inconsistent with the City's Comprehensive Plan,
- b. The development satisfies most, if not all, of the objectives of this District, and
- c. The PUD will not be detrimental to surrounding neighborhoods.

The applicant is requesting one (1) parcel type with the identified lot requirements for Elm

Creek Ridge, which staff has compared to the typical lot requirements for the R-1 and R-2 zoning Districts and the Shoreland Overlay District:

Lot Requirements	R-1	R-2	Shoreland Overlay District	65' Single-Family
Lot Area	10,500 sq. ft. min.	7,850 sq. ft. min.	Per DNR no min. lot size referenced in State Statute	7,850 sq. ft. min.
Lot Width	75 ft. min.	50 ft. min.	75 ft. min.	65 ft. min.
Max. Hardcover	35% max.	35% max.	25% max.	50% max.
Front Yard Setback	25 ft. min.	25 ft. min.	50 ft. min. from the creek bank channel	25 ft. min.
Side Street Setback	25 ft. min.	15 ft. min.	Underlying zoning district	15 ft. min.
Side Interior Setback	10 ft. min.	10 ft. min.	Underlying zoning district	7.5 ft/7.5 ft. min. 15 ft. total
Rear Yard Setback	30 ft. min.	30 ft. min.	Underlying zoning district	30 ft. min.
Building Height*	35 ft. min.	35 ft. min.	25 ft. to midpoint of the highest peak	35 ft. max.*

*No mention of building height was indicated in the plan set. The developers shall review building height requirements prior to the meeting to ensure the 35 ft. height maximum is consistent with their proposed development.

Note: Decks attached to the principal structure are considered part of the principal structure and shall be required to meet all principal structure setbacks indicated in the table above. Additionally, driveways are required to meet all side yard setbacks indicated in the underlying zoning district and shall not exceed 24 feet in width at the right of way/curb line.

PUD, Planned Unit Development Review

1. The Planning Commission should determine if the proposed development is consistent with the City’s Comprehensive Plan; if it satisfies most, if not all, of the objectives of the districts (summarized above); and the PUD will not be detrimental to surrounding neighborhoods.
2. The comprehensive plan indicates a density range of 2 to 4 units per acre for low density residential. This comment assumes the comp plan amendment is approved in association with this submittal. The applicant should provide the proposed density at

- the meeting to ensure the proposal is consistent with the low density guidance.
3. The Comprehensive Plan considers housing goals and needs that discuss housing diversity, life-cycle housing and allowing the market to build a wide variety of housing types. The Planning Commission and Council should consider if the proposed Planned Unit Development is consistent with these goals and the stated vision of the community.
 4. The development summary anticipates two phases of the project, which would allow fifty-six (56) 65 ft. wide single family home parcels. The setbacks, while slightly altered, appear to be generally consistent with the underlying zoning districts. The requested additional hardcover will allow flexibility in the homes to be constructed on the subject parcels, and the request is consistent with the maximum hardcover identified in the City's PUD ordinance.

COMPREHENSIVE PLAN AMENDMENT:

The applicant has requested the City of Waconia amend the City's Future Land Use Plan in association with the Elm Cree Ridge preliminary plat. Approximately 10 acres of the subject property is guided M, Medium Density Residential and the applicant is requesting guidance of L, Low Density Residential.

PUBLIC NOTICE/COMMENT

The notices were published in the WACONIA PATRIOT on July 24th, 2025 and posted at Waconia City Hall. Individual notices were mailed to all property owners within 350 feet of the subject parcel. To date no public comments have been received regarding this application.

CONCLUSION/RECOMMENDATION

The Planning Commission should hold a public hearing, take all public comment and make a recommendation to the City Council regarding the Preliminary Plat application, the Rezoning request, and the Comp Plan Amendment for the Elm Creek Ridge residential development.

Upon recommendation by the Planning Commission, this item will be forwarded to the City Council for review at their upcoming meeting scheduled for August 18th, 2025.

If the Planning Commission chooses to recommend approval of the Elm Creek Ridge Preliminary Plat, staff would recommend the consideration of the following conditions:

1. The Elm Creek Ridge Preliminary Plat shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall obtain Carver County Watershed Management Organization (CCWMO) approval and permitting for erosion control and stormwater management. A copy of any approvals or permits shall be submitted prior to any land disturbing activities.
4. The applicant shall obtain a General Construction Stormwater Permit (NPDES) from the Minnesota Pollution Control Agency and submit a copy to the City prior to any land disturbing activities.

5. All indirect costs related to the permitting, review, and plans associated with engineering and administrative costs shall be paid by the applicant/owner.
6. The City shall provide the necessary street signage. The applicant shall provide the necessary escrow funds to cover all street signage and installation costs.
7. The plans should be revised to include a 6-foot wide sidewalk on the north side of Elm Creek Road between the north-south roadway and Hwy. 284. Additionally, this should include a crosswalk across Elm Creek Road to the west of the intersection with Hwy. 284 and an ADA compliant concrete landing shall be included at the southwest corner of Elm Creek Road and Hwy. 284. All sidewalks within the development shall be 6 feet wide.
8. The watermain, sanitary sewer, grading, and stormwater issues shall be resolved to the satisfaction of the City Engineer and Public Services Director prior to commencement of construction activities for the Elm Creek Ridge residential development.
9. Compliance with applicable items contained in Chapter 1000 of the City of Waconia Subdivision Ordinance.
10. Compliance with applicable items contained in Section 900.06, Subd. 6. Flood Plain Overlay Regulations.
11. The landscape plan shall be revised to include additional oversized coniferous plantings along Outlot C near the intersection of Gorham Drive and Huntington Drive to screen automobile headlights and additional screening plantings should be considered to help further screen properties to the south of Elm Creek Road.
12. Ornamental tree caliper inches in excess of 15% shall not be counted in the overall tree restitution and planting requirements. The landscape plan shall be revised accordingly and submitted to staff for review and approval.
13. The applicant shall coordinate with and comply with the gas line owner requirements and restrictions regarding working over, under, and around the gas main facilities that bisect the property.
14. Execution of a Developer's Agreement prior to execution of the Final Plat.
15. The applicant shall pay cash in lieu of land to satisfy the park dedication requirements for the proposed project. The park dedication fee based on developable acreage is in the range of approx. \$153,010.00. The final fee will be reviewed and approved by staff upon final design and the construction plan set. The park dedication fee shall be paid prior to the city executing the final plat documents.
16. Outlot C shall be deeded to Thomas Serbus, the adjacent property owner to the west. The future development agreement shall restrict development on this property until such time as the adjacent property to the west is annexed into the City Limits.
17. The applicant shall submit a phasing plan for review by City staff.
18. The applicant shall file an application of final plat approval within six (6) months following the approval of the Elm Cree Ridge Preliminary Plat, unless an extension of time is requested in writing by the subdivider and granted by the Council prior to the six (6) month expiration date.

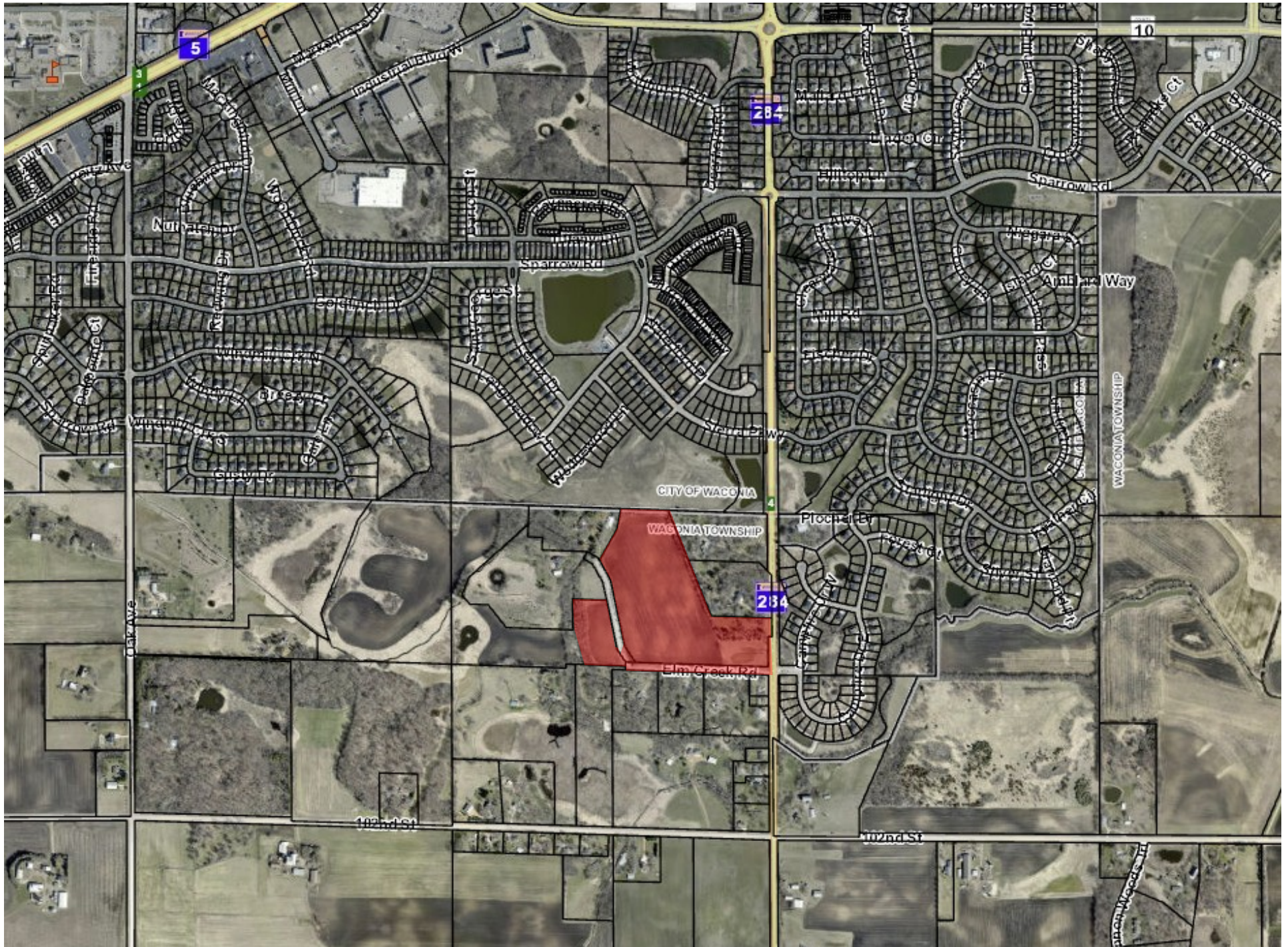
ATTACHMENTS:

1. Location Map Elm Creek Ridge

2. Applicant Narrative Elm Creek Ridge
3. Elm Creek Ridge preliminary plat plans
4. Elm Creek Ridge Landscape Plan
5. Elm Creek Ridge Annexation Exhibit
6. Land Use Map Existing
7. Traffic Memo Elm Creek Ridge Waconia

FINANCIAL IMPLICATIONS:	ADVISORY BOARD RECOMMENDATIONS:
Funding Sources & Uses: Budget Information: _____ Budgeted _____ Non-Budgeted _____ Amendment Required	Planning Commission: _____ Park Board: _____ Personnel Committee: _____ Other: More sample text. _____

LOCATION MAP—ELM CREEK RIDGE



July 7, 2025

Lane Braaten
Community Development Director
City of Waconia
952-442-3106

REZONING & PRELIMINARY PLAT NARRATIVE ELM CREEK RIDGE DEVELOPMENT

Lane,

On behalf of Magellan Land Development and Song River Holdings, the property owners, Magellan Land Development has prepared a Rezoning and Preliminary Plat application for a new residential subdivision, Elm Creek Ridge. The properties included in this proposal are as follows:

Owner: Song River Holdings

Size: 29.36 acres

Zoning: Agricultural

Property Type: Abstract

Property is currently zoned agricultural. The property is guided for future low and medium density residential. We are proposing PUD or Planned Unit development of primarily low density residential.

The density proposed is lower than what is allowed under the comprehensive plan. The primary reasons for this are to respect the existing topography and the surrounding community which is primarily single family. We are proposing the following under our PUD:

	R-2 Low Density Residential (Single Family)	Permitted Under PUD District
Minimum Lot Area	7,850 sq ft	7,850 sq ft
Minimum Lot Width at setback	55 feet	65 feet
Minimum Lot Depth	125 feet	125 feet
Minimum Setbacks Principal Structure		
Front	25 feet	25 feet
Side (Garage)	5 feet	7.5 feet
Side (House)	10 feet	7.5 feet
Side (Street)	15 feet	15 feet

Rear	30 feet	30 feet
Wetland	50 feet	50 feet
Maximum Building Height	45 feet	45 feet
Maximum Impervious Surface	35%	50%

The preliminary plat development is a total of 29 acres and 56 single family homes. The proposed development standards under the PUD would consist of 50 foot wide building pads with side yard setbacks of 7.5 feet on either side of the homes for a total of 65 foot wide lots. Front yard setbacks would consist of 25 feet and backyard of 30 feet. Under the PUD request the impervious coverage not to exceed 50%. There will be 3 outlots and 2 storm ponds throughout the development to accommodate stormwater and respect the existing land topography.

Currently Magellan is looking to develop the property in 2 phases over the next 2 years. Initial grading on the site may begin this fall with completion of the first lots in spring/summer of 2025. The development will be developed over the next 4 years but market conditions will play a role in the timing of the completion of the development.

Serviceability of sewer and water will be from the development to the north, Waterford 9th Addition, currently being development by SMH. The property will also be serviced by a lift station to accommodate development and any potential future development in the area in the coming years.

Access to the development will be connections from the existing Waterford development to the north and State Highway 284 to the east. A traffic memo has been generated to evaluate the State Highway 284 and Elm Creek Road intersection, project construction will incorporate traffic memo recommendations. We will be constructing a right turn lane on southbound State Highway 284 to alleviate additional traffic congestion similar to the Woodland project immediately east of the proposed development.

The Park Commission has reviewed the concept of this plan and are not currently looking for additional parks in the area as there is a wonderful park within easy walking distance in Waterford to the north. In light of that, Elm Creek Ridge will be contributing park fees.

Magellan has been meeting with city staff and its consultants, MnDot and Carver County Watershed over the last year. In addition, we have completed a Concept Review with the city and the Parks Commission has reviewed concept plans in February of 2025 to illicit any feedback, initial concerns or needs for additional park space. We have incorporated many of these comments in our preliminary plat submittal. This preliminary plat submittal has been submitted on July 7. As of July 7 we have not scheduled a neighborhood meeting but that will be scheduled in late July prior to any public hearing with the planning commission and city council. We have also met with some of the neighbors to discuss some of the initial design.

We are concurrently working with MnDot on turn lane design, city engineer on lift station design and Carver County on watershed permitting. All agencies have been engaged for the last year on commenting and review. In addition to the various city applications please find a traffic memo regarding traffic, preliminary plat and landscape plan.

Thank you for your consideration and review of what we believe will be a wonderful addition to the City of Waconia.

Sincerely,

Jason E. Palmby
Magellan Land Development

PROPOSED ZONING
R-2 SINGLE FAMILY RESIDENTIAL

PROPOSED LOTS/ PHASING

PHASE 1:
30 LOTS R-2 SINGLE FAMILY RESIDENTIAL

PHASE 2:
26 LOTS R-2 SINGLE FAMILY RESIDENTIAL

TOTAL:
56 RESIDENTIAL LOTS TOTAL

OUTLOT A (STORM WATER MANAGEMENT BASIN)
OUTLOT B (STORM WATER MANAGEMENT BASIN)
OUTLOT C (ADJACENT PROPERTY OWNER)

MINIMUM LOT REQUIREMENTS

R-2 LOT MINIMUMS:
LOT AREA 7,850 SF
LOT WIDTH 50 FT
MAXIMUM HARDCOVER SURFACE 35% (PUD 50%)
MAXIMUM STRUCTURE HEIGHT 35 FT

SETBACKS

R-2 LOT MINIMUMS (LOT GREATER THAN 55' WIDE)
FRONT YARD 25'
STREET SIDE 15'
ALLEY SIDE 10'
INTERIOR SIDE 10' (PUD 7.5')
REAR 30'

SHORELAND LOT REQUIREMENTS

SHORELAND OVERLAY DISTRICT LOT MINIMUMS:
LOTS 1,2,10,11 & 12 BLOCK 1

LOT WIDTH 75 FT
SEWER STRUCTURE SETBACK 50 FT
IMPACT ZONE 25 FT

SHORELAND SETBACKS

SHORELAND OVERLAY DISTRICT LOT MINIMUMS:
LOTS 1, 2, & 10, BLOCK 1

TOP OF BLUFF: 30'
RIGHT OF WAY LINE OF PUBLIC STREETS: 25'

PROJECT LOCATION

THE NW¼ OF THE SE¼ OF THE SE 1/4 SECTION 26 TOWNSHIP 116, RANGE 25, CARVER COUNTY, MINNESOTA.

EXISTING LEGAL DESCRIPTION

SEE SURVEY

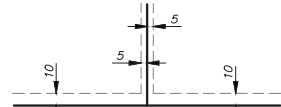
GROSS AREA

PROPOSED ACRES 29.36

WETLAND DELINEATION

INFORMATION PROVIDED BY:
KJOLHAUG ENVIRONMENT SERVICES COMPANY, INC.
2500 SHADYWOOD ROAD, SUITE 130
ORONO, MN 55331

Drainage and utility easements are shown thus:



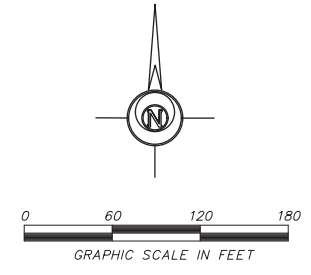
Being 10.00 feet in width, unless otherwise indicated, and adjoining lot lines, and 10.00 feet in width, unless otherwise indicated, and adjoining right-of-way lines as shown on the plat.

C1.2
C1.1

LEGEND:

- 908 — Existing Contours
- >->- Existing Storm Sewer
- x 908.2 Existing Spot Elevation
- <<- Existing Storm Sewer
- <- Existing Sanitary Sewer
- |- Existing Watermain Sewer
- |-|- Existing Underground Telephone
- |-|- Existing Underground Electric
- |-|- Existing Tree Line
- |-|- Existing R/W Line
- |-|- Existing Easement
- |-|- Existing Boundary Line
- |-|- Existing Catch Basin
- |-|- Existing Manhole
- |-|- Existing Hydrant
- |-|- Existing Flared end Section
- |-|- Proposed Street R/W
- |-|- Proposed Lot Line
- |-|- Proposed Setback
- |-|- Proposed D&U Easement
- |-|- Proposed Curb and Gutter
- |-|- Proposed 6' Wide Sidewalk

Proposed House Pad



SURVEY DATA

SURVEY INFORMATION PROVIDED BY:
E.G. RUD & SONS, INC.
PROFESSIONAL LAND SURVEYORS
990 5TH AVE. SE, SUITE 2
HUTCHINSON, MN 55350
DATED: 09/09/2024
BENCHMARK:
MNDOT GSID STATION #3592
MNDOT NAME: 1014 H
ELEVATION = 951.655



CLIENT:
Magellan Land Development
PO Box 302
Excelsior, MN 55331
Jason Palmby
612-220-6641
jason@palmby.com

ELM CREEK RIDGE P.U.D.
Residential Development Project
Waconia, Minnesota
PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Date: 07/03/25 Reg. No. 24348
PREPARED BY: CIVIL ENGINEERING SITE DESIGN
118 East Broadway St.
Monticello, MN 55662
Phone: 763-314-0929
www.civileed.com

REVISIONS	DATE	BY	DESCRIPTION

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
07/03/25	SD	SD	SD

FILE NO. 00965

C1.1
Preliminary Plat

INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1.0 OVERALL LAYOUT & PHASING PLAN
- C1.1-C1.2 PRELIMINARY PLAT / SITE PLAN
- C2.1-C2.2 GRADING AND DRAINAGE PLAN
- C3.1-C3.2 SANITARY AND WATER UTILITY PLAN
- C4.1-C4.2 STORM SEWER UTILITY PLAN
- C5.1-C5.3 STORM WATER POLLUTION PREVENTION PLAN
- C6.1-C6.2 EXISTING CONDITIONS AND REMOVAL PLAN
- C7.1-C7.4 PROFILES
- C8.1-C8.5 DETAILS

DEMOLITION NOTES

1. Install perimeter sediment controls as soon as possible during clear and grub operations. See Erosion Control Plan.
2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels to a minimum. Provide sweeping of adjacent paving as needed, or as required by the City Engineer.
3. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal.
4. Remove or relocate all existing site features that interfere with the proposed construction.
5. Protect existing site features that are to remain during construction. Replace anything damaged with new construction.
6. Pavement shall be saw cut at limits of removal unless noted otherwise. Do not impede existing traffic circulation to adjacent businesses or streets.
7. Sufficient topsoil shall be stockpiled to allow for the replacement of 6" of topsoil in disturbed areas to be re-vegetated.
8. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets.
9. Storage of materials or equipment shall not be allowed within public Right-of-Way and shall be maintained on site within project boundaries.

EXISTING PROPERTY DESCRIPTION

SEE SURVEY

SURVEY DATA

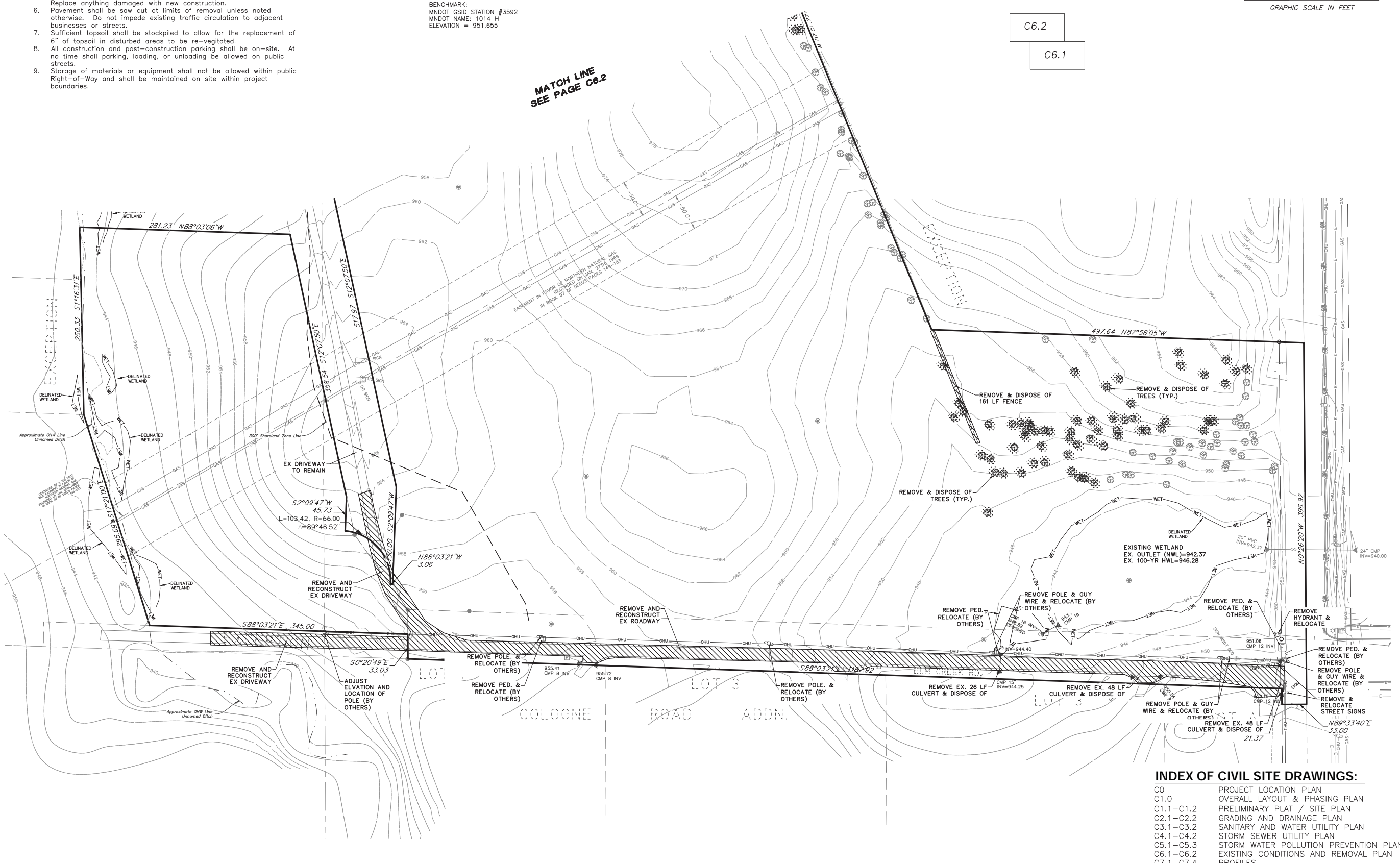
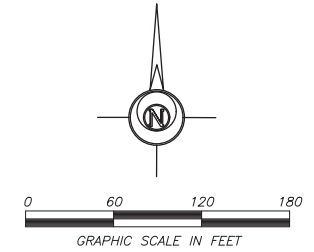
SURVEY INFORMATION PROVIDED BY:
E.G. RUD & SONS, INC.
PROFESSIONAL LAND SURVEYORS
990 5TH AVE. SE, SUITE 2
HUTCHINSON, MN 55350

DATED: 09/09/2024

BENCHMARK:
MNDOT GSID STATION #3592
MNDOT NAME: 1014 H
ELEVATION = 951.655

LEGEND:

- Existing Contours
- Existing Sanitary Sewer
- Existing Water Main
- Existing Storm Sewer
- Existing Trees
- Existing Bndy Line
- PROPOSED DEMOLITION & REMOVAL AREA
- PROPOSED TREE CLEARING & GRUBBING AREA



C6.2
C6.1

CLIENT:
Magellan Land Development
PO Box 302
Excelsior, MN 55331

Jason Palmby
612-220-6641
jason@palmby.com

ELM CREEK RIDGE P.U.D.
Residential Development Project

Waconia, Minnesota

EXISTING CONDITION & REMOVAL PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
S. D. Duda
Date: 07/03/25 Reg. No. 24348
PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**
118 East Broadway St.
Monticello, MN 55362
Phone: 763-314-0929
www.civilead.com

DATE	07/03/25	DRAWN BY	SD	DESIGNED BY	SD	CHECKED BY	SD
REVISIONS							VERTICAL SCALE 1 inch = _____ feet
							HORIZONTAL SCALE 1 inch = _____ feet (ALL SHEETS 22 x 34)

INDEX OF CIVIL SITE DRAWINGS:

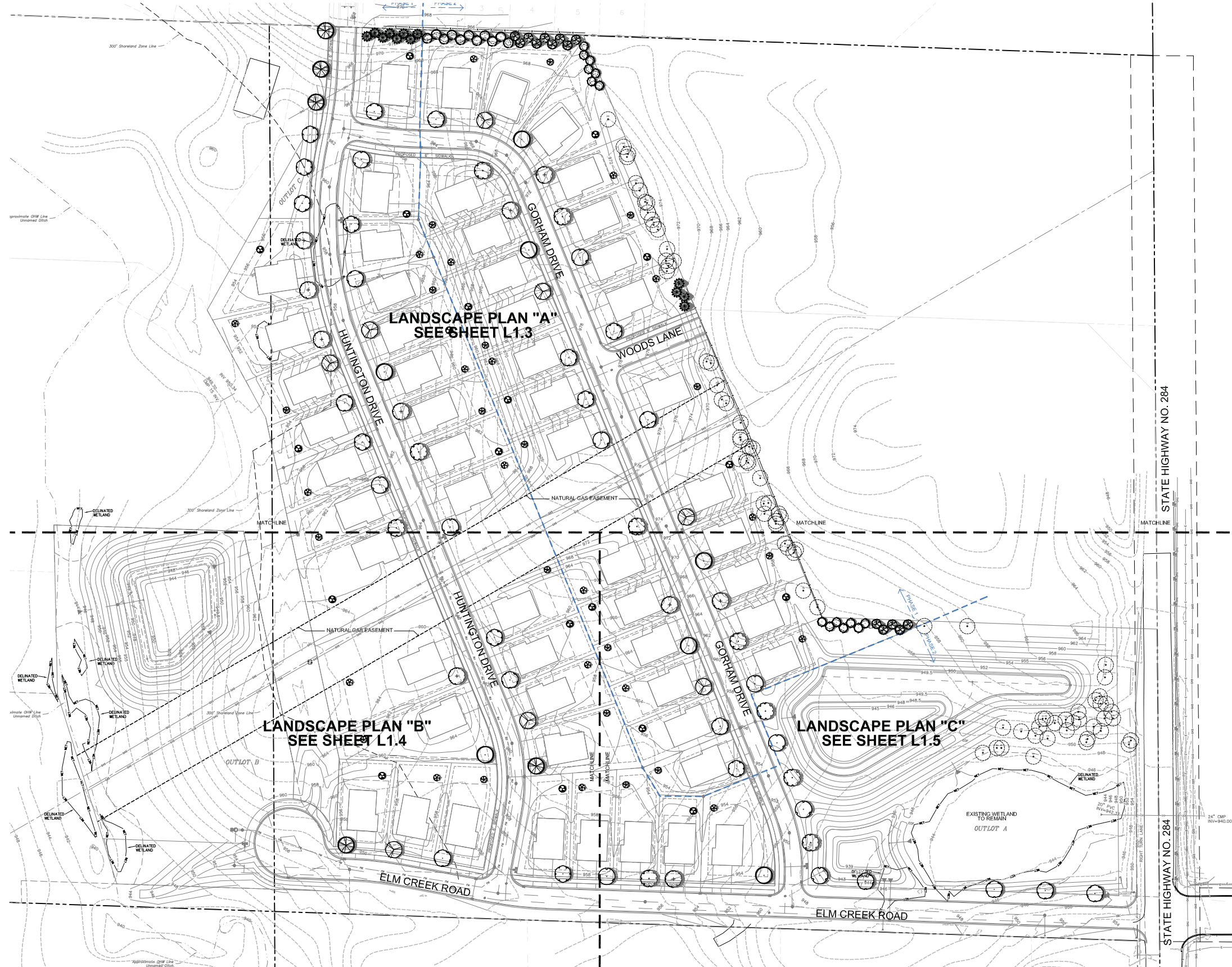
C0	PROJECT LOCATION PLAN
C1.0	OVERALL LAYOUT & PHASING PLAN
C1.1-C1.2	PRELIMINARY PLAT / SITE PLAN
C2.1-C2.2	GRADING AND DRAINAGE PLAN
C3.1-C3.2	SANITARY AND WATER UTILITY PLAN
C4.1-C4.2	STORM SEWER UTILITY PLAN
C5.1-C5.3	STORM WATER POLLUTION PREVENTION PLAN
C6.1-C6.2	EXISTING CONDITIONS AND REMOVAL PLAN
C7.1-C7.4	PROFILES
C8.1-C8.5	DETAILS

FILE NO. 00965

C6.1
Existing Conditions & Removal Plan

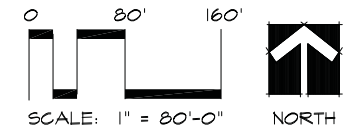
ELM CREEK RIDGE

INITIAL LANDSCAPE PLAN SET



Landscape Sheet Index:

L1.0	Title Page
L1.1	Tree Preservation Plan "A"
L1.2	Tree Preservation Plan "B"
L1.3	Landscape Layout Plan "A"
L1.4	Landscape Layout Plan "B"
L1.5	Landscape Layout Plan "C"
L1.6	Notes and Details Sheet
L1.7	Existing & Tree Preservation Notes & Detail



OVERALL LANDSCAPE PLAN:

CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com



PRELIMINARY

ELM CREEK RIDGE OF WACONIA
 WACONIA, MINNESOTA
 OVERALL LANDSCAPE PLAN
 FOR
 MAGELLAN LAND DEVELOPMENT
 P.O. BOX 302, EXCELSIOR, MN 55331

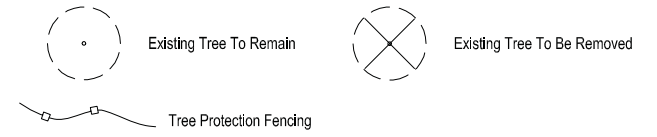
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 AL
 DATE
 07/07/2025
 REVISIONS

PROJECT NO.
 25-142
 L1.0





LANDSCAPE LEGEND:



GENERAL NOTES:

1. Landscape contractor to provide a new irrigation layout plan for the property. See Landscape Notes.
2. See Civil Engineer's plans for tree removals, site clearing, grading layout, utilities, and other requirements
3. Contractor to coordinate any work in the right-of-way with City of Waconia Public Works Department.
4. Sod all disturbed areas except plant beds and areas noted to receive mulch.
5. Place a minimum of 4" topsoil, with not more than 35% and content. Topsoil inspection is required prior to installing sod and trees.
6. Refer to builder's specifications for additional requirements.
7. See Sheets L1.6 for Landscape Details, Notes, Schedules
8. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.
9. See Sheet L1.7 for Tree Preservation Notes, Detail, and Existing Tree Schedule.

TREE PRESERVATION REGULATIONS:

(Ord. No. 779, § 3.10, 12-16-24)
 Sec. 900.06.8. - Environmental protection regulations.
 (D) *Tree preservation regulations.*

3. Removal Threshold

- (a) Developments in residential districts may remove or disturb up to thirty (30) percent of the total inches of significant trees. Any removal or disturbance beyond this threshold shall require reforestation or restitution.
- (c) Reasonable effort shall be made to preserve all significant trees during the planning process and site development process. Diseased trees shall not be subject to the requirements of this chap.

4. Reforestation/restitution requirement: For each one (1.0) tree inch that is removed or disturbed beyond the threshold, the subdivider shall replant one and one-quarter (1.25) inches of new trees or provide the city with one hundred twenty-five dollars (\$125.00) in restitution, per inch removed beyond the threshold.

5. Tree survey / preservation plan

- (g) Calculation of removed or disturbed significant tree inches on the site (excluding exempt tree inches) divided by the total significant tree inches on the site (excluding exempt tree inches).

6. Reforestation/restitution plan

(b-4) The minimum planting size for deciduous trees shall be two and one half (2.5) inches in diameter, and the minimum planting size for coniferous trees shall be six (6) feet in height, except that up to fifteen (15) percent of the required tree inches may be of ornamental species of a lesser size, provided the required number of replacement inches is maintained.

TOTAL SIGNIFICANT INCHES ON SITE: 858"
TOTAL SIGNIFICANT INCHES REMOVED: 499"

TOTAL SIGNIFICANT 30% ALLOWED REMOVAL: 858" x 0.30 = 257"

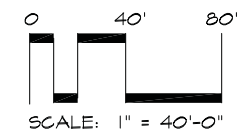
TOTAL SIGNIFICANT MITIGATION INCHES REQUIRED: (499" - 257") x 1.25 = 302"
 15% Ornamental = 302" x 0.15 = 45.3" / 1.5 Caliper Inches = **30.2** Ornamental Trees
 Overstory = 302" - 45.3" = 256.7" / 2.5 Caliper Inches = **102.68** Overstory Trees

TOTAL SIGNIFICANT MITIGATION INCHES PROPOSED:
56 Ornamental Trees (84") & **124** (310") Overstory Trees

MATCHLINE

MATCHLINE

TREE PRESERVATION PLAN "A":



CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com

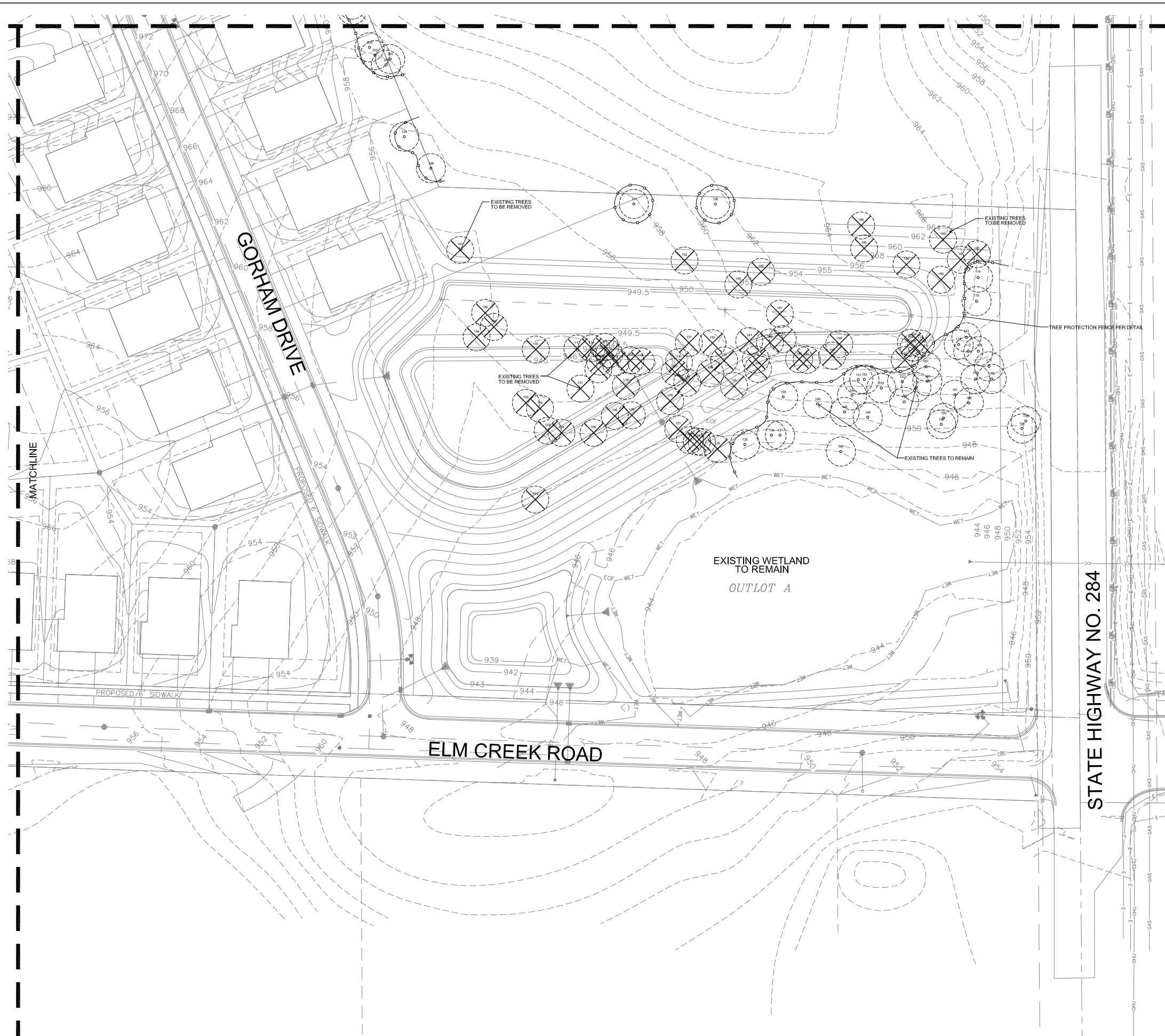


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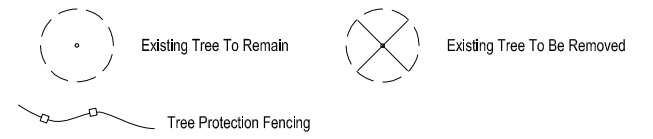
ELM CREEK RIDGE OF WACONIA
 WACONIA, MINNESOTA
TREE PRESERVATION PLAN "A"
 FOR
MAGELLAN LAND DEVELOPMENT
 P.O. BOX 302, EXCELSIOR, MN 55331

DRAWN BY
 AL
DATE
 07/07/2025
REVISIONS

PROJECT NO.
 25-142
 L1.1



LANDSCAPE LEGEND:



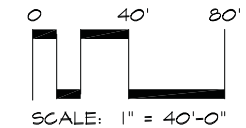
GENERAL NOTES:

1. Landscape contractor to provide a new irrigation layout plan for the property. See Landscape Notes.
2. See Civil Engineer's plans for tree removals, site clearing, grading layout, utilities, and other requirements.
3. Contractor to coordinate any work in the right-of-way with City of Waconia Public Works Department.
4. Sod all disturbed areas except plant beds and areas noted to receive mulch.
5. Place a minimum of 4" topsoil, with not more than 35% and content. Topsoil inspection is required prior to installing sod and trees.
6. Refer to builder's specifications for additional requirements.
7. See Sheets L1.6 for Landscape Details, Notes, Schedules.
8. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.
9. See Sheet L1.7 for Tree Preservation Notes, Detail, and Existing Tree Schedule.

Landscape Sheet Index:

- L1.0 Title Page
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- L1.2 Tree Preservation Plan "B"
- L1.3 Landscape Layout Plan "A"
- L1.4 Landscape Layout Plan "B"
- L1.5 Landscape Layout Plan "C"
- L1.6 Notes and Details Sheet
- L1.7 Existing & Tree Preservation Notes & Detail

TREE PRESERVATION PLAN "B":



CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com

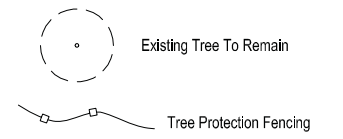
PRELIMINARY

ELM CREEK RIDGE OF WACONIA
 WACONIA, MINNESOTA
TREE PRESERVATION PLAN "B"
 FOR
MAGELLAN LAND DEVELOPMENT
 P.O. BOX 302, EXCELSIOR, MN 55331

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PROJECT NO.	25-142
	L1.2



LANDSCAPE LEGEND:



GENERAL NOTES:

1. Landscape contractor to provide a new irrigation layout plan for the property. See Landscape Notes.
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9. See Sheet L1.7 for Tree Preservation Notes, Detail, and Existing Tree Schedule.

LANDSCAPE REQUIREMENTS

R-1 SINGLE FAMILY RESIDENTIAL
(Ord. No. 747, 3-7-22) - Sec. 900.07. - Landscaping and fencing.

Subd. 2. *Minimum standards for each zoning district.*
(D-2) In the R-1, R-2 and R-4 districts each newly platted lot shall have two (2) trees.

PROPOSED PLANTING SUMMARY

NUMBER OF LOTS (SINGLE-FAMILY): 56
 LOT TREES REQUIRED: 2 (1 Overstory & 1 Ornamental)
 LOT TREES PROPOSED: 112 (56 Overstory & 56 Ornamental)
 OPEN AREA TREES PROPOSED: 68 Overstory Trees

MITIGATION TREES REQUIRED: 30 Ornamental Trees & 103 Overstory Trees

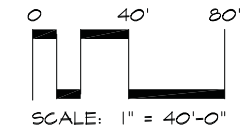
MITIGATION TREES PROPOSED: 56 Ornamental Trees & 124 Overstory Trees

Note: We assume that both lot and outlot trees count towards the tree mitigation penalty.

Landscape Sheet Index:

- L1.0 Title Page
- L1.1 Tree Preservation Plan "A"
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- L1.5 Landscape Layout Plan "C"
- L1.6 Notes and Details Sheet
- L1.7 Existing & Tree Preservation Notes & Detail

SEE SHEET L1.6 FOR PLANT SCHEDULE



LANDSCAPE LAYOUT PLAN "A":

CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com

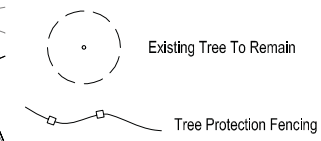
PRELIMINARY

ELM CREEK RIDGE OF WACONIA
 WACONIA, MINNESOTA
LANDSCAPE LAYOUT PLAN "A"
 FOR
MAGELLAN LAND DEVELOPMENT
 P.O. BOX 302, EXCELSIOR, MN 55331

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DATE	07/07/2025
REVISIONS	
PROJECT NO.	25-142
	L1.3



LANDSCAPE LEGEND:



GENERAL NOTES:

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2. See Civil Engineer's plans for tree removals, site clearing, grading layout, utilities, and other requirements
3. Contractor to coordinate any work in the right-of-way with City of Waconia Public Works Department.
4. Sod all disturbed areas except plant beds and areas noted to receive mulch.
5. Place a minimum of 4" topsoil, with not more than 35% sand content. Topsoil inspection is required prior to installing sod and trees.
6. Refer to builder's specifications for additional requirements.
7. See Sheets L1.6 for Landscape Details, Notes, Schedules
8. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.
9. See Sheet L1.7 for Tree Preservation Notes, Detail, and Existing Tree Schedule.

Landscape Sheet Index:

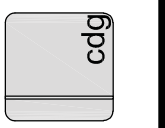
- L1.0 Title Page
- L1.1 Tree Preservation Plan "A"
- L1.2 Tree Preservation Plan "B"
- L1.3 Landscape Layout Plan "A"
- L1.4 Landscape Layout Plan "B"
- L1.5 Landscape Layout Plan "C"
- L1.6 Notes and Details Sheet
- L1.7 Existing & Tree Preservation Notes & Detail

LANDSCAPE LAYOUT PLAN "B":

SEE SHEET L1.6 FOR PLANT SCHEDULE



CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
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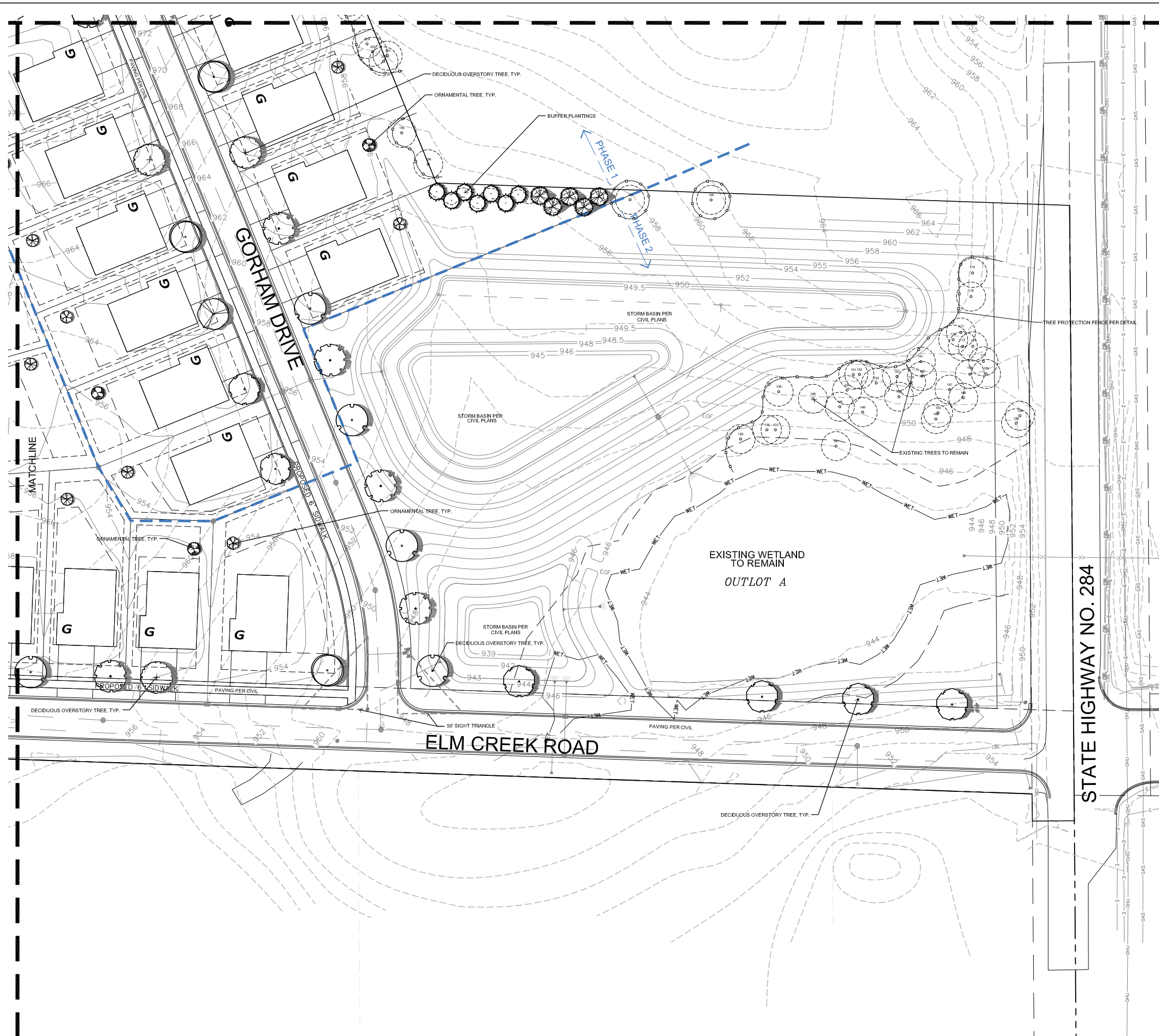


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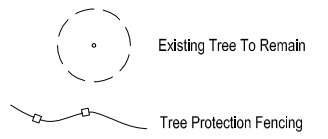
ELM CREEK RIDGE OF WACONIA
 WACONIA, MINNESOTA
 LANDSCAPE LAYOUT PLAN "B"
 FOR
 MAGELLAN LAND DEVELOPMENT
 P.O. BOX 302, EXCELSIOR, MN 55331

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 REVISIONS

PROJECT NO.
 25-142
 L1.4



LANDSCAPE LEGEND:



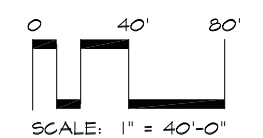
GENERAL NOTES:

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5. Place a minimum of 4" topsoil, with not more than 35% and content. Topsoil inspection is required prior to installing sod and trees.
6. Refer to builder's specifications for additional requirements.
7. See Sheets L1.3 for Landscape Details, Notes, Schedules
8. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.
9. See Sheet L1.4 for Tree Preservation Notes, Detail, and Existing Tree Schedule.

Landscape Sheet Index:

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- L1.1 Tree Preservation Plan "A"
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- L1.4 Landscape Layout Plan "B"
- L1.5 Landscape Layout Plan "C"
- L1.6 Notes and Details Sheet
- L1.7 Existing & Tree Preservation Notes & Detail

SEE SHEET L1.6 FOR PLANT SCHEDULE



LANDSCAPE LAYOUT PLAN "C":

CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com

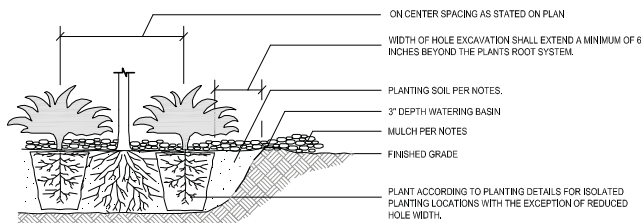
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 PRELIMINARY

ELM CREEK RIDGE OF WACONIA
 WACONIA, MINNESOTA
 LANDSCAPE LAYOUT PLAN "C"
 FOR
 MAGELLAN LAND DEVELOPMENT
 P.O. BOX 302, EXCELSIOR, MN 55331

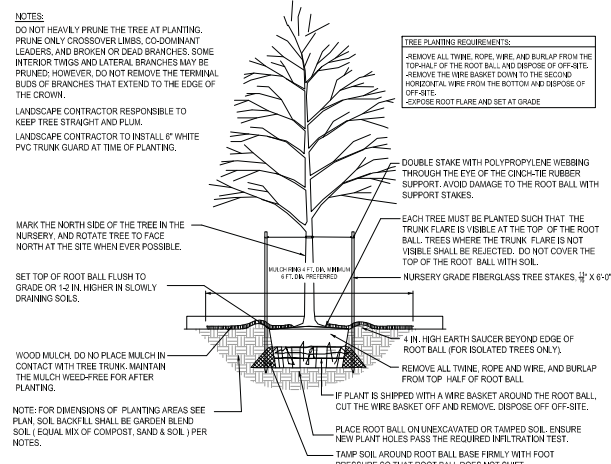
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	L1.5

LANDSCAPE NOTES + REQUIREMENTS:

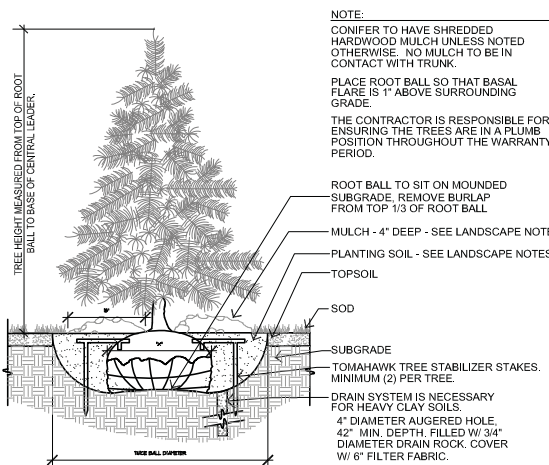
- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be placed as close to the location(s) indicated on the plan as possible. Contact the landscape architect if discrepancies arise during plant installation that require deviating location(s) from those shown on the plans.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material for the duration of the plant warranty, with the exception of turf sod, which shall be maintained for 30 days after installation or until the first mowing, whichever comes first. Contractor must bag clippings from initial mowing and remove from the job site. Any acts of vandalism or damage which may occur prior to warranty start shall be the responsibility of the contractor. Contractor shall provide the owner with O&M information, including (but not limited to), written instructions on proper lawn mowing height, yearly lawn maintenance recommendations, proper plant pruning information, plant & lawn fertilization schedule, and disease/pest control.
- The contractor shall guarantee newly planted material through one calendar year from the date punch list review, per City of Rosemount requirements. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing by the City of Waconia prior to installation.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- All plant beds and trees located outside of plant bed limits to receive Western Red Cedar wood mulch to a depth of 4-inches. Wood mulch tree rings per details. Submit mulch sample for Owner approval. Top dress wood mulch areas with Preen pre-emergent granule to prevent emergent weeds.
- All planting areas shall be prepared prior to installation activities with clean, imported loam topsoil. Provide a firm planting bed free of stones, sticks, construction debris, etc.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- Construction materials, stockpiles, equipment, and vehicles shall not be stored or operated on city boulevards without written permission from the city. Restore disturbed areas off-site to original condition.
- All sub-cut areas of the site that are designated on the site plan as open space for landscape shall be graded with imported, pulverized topsoil. Slope away from building. See note 27 below.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augered every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Apply wood mulch rings around trees to prevent weed growth.
- Grind or excavate existing stumps (if present) to 30" below grade & backfill with imported topsoil.
- Landscape Contractor and Excavator shall be responsible for providing 4" depth topsoil under turf areas. See civil engineer's plans for grading, erosion control, and final grade elevations.



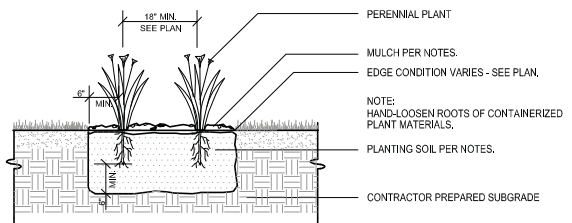
1 TYP. SHRUB PLANTING - SECTION
L1.6 NOT TO SCALE



2 DECIDUOUS TREE PLANTING - SECTION
L1.6 NOT TO SCALE



3 CONIFEROUS TREE PLANTING - SECTION
L1.6 NOT TO SCALE



4 TYP. PERENNIAL PLANTING DETAIL
L1.6 NOT TO SCALE

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
EVERGREEN TREES						
	AB	Abies balsamea	Balsam Fir	6' Hgt.	B&B	14
	Pa3	Picea abies	Norway Spruce	6' Hgt.	B&B	14
	PD	Picea glauca 'Densata'	Black Hills Spruce	6' Hgt.	B&B	11
	SP	Pinus sylvestris	Scotch Pine	6' Hgt.	B&B	12
ORNAMENTAL TREES						
	CT	Crataegus x mordenensis 'Toba'	Toba Hawthorn	1.5\" Cal.	B&B	19
	MP	Malus x 'Prairifire'	Prairifire Crab Apple	1.5\" Cal.	B&B	19
	SI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5\" Cal.	B&B	18
OVERSTORY TREES						
	AS	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5\" Cal.	B&B	10
	AA	Acer x freemanii 'Jeffersred'	Autumn Blaze® Freeman Maple	2.5\" Cal.	B&B	5
	BR	Betula nigra	River Birch (Single Stem)	2.5\" Cal.	B&B	8
	GD	Gleditsia triacanthos Inermis 'Draves' TM	Street Keeper Honey Locust	2.5\" Cal.	B&B	12
	QB	Quercus bicolor	Swamp White Oak	2.5\" Cal.	B&B	11
	QM	Quercus macrocarpa	Burr Oak	2.5\" Cal.	B&B	7
	TL	Tilia americana	American Linden	2.5\" Cal.	B&B	10
	UA	Ulmus x 'Accolade'	Accolade Elm	2.5\" Cal.	B&B	10

Landscape Sheet Index:

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- L1.2 Tree Preservation Plan "B"
- L1.3 Landscape Layout Plan "A"
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PRELIMINARY

ELM CREEK RIDGE OF WACONIA
WACONIA, MINNESOTA
LANDSCAPE DETAILS, NOTES, & SCHEDULE
FOR
MAGELLAN LAND DEVELOPMENT
P.O. BOX 302, EXCELSIOR, MN 55331

DRAWN BY
AL
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PROJECT NO.
25-142

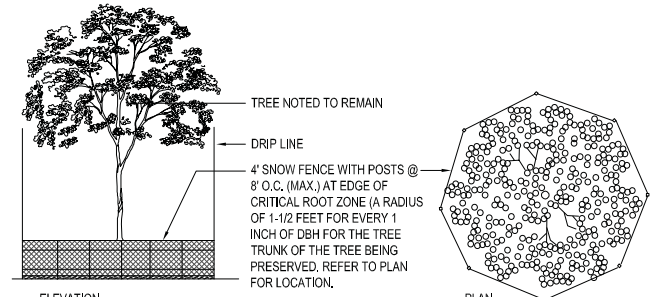
L1.6

EXISTING TREE DATA:

ELM CREEK RIDGE - WACONIA, MN TREE MITIGATION					
TAG NO.	SPECIES	TREE DIA. (IN)	CONDITION	SIGNIFICANT?	REMOVE?
101	AMERICAN ELM	23	GOOD	YES	YES
102	BLACK WALNUT	7	GOOD	YES	YES
103	COLORADO BLUE SPRUCE	20	FAIR	YES	YES
104	COLORADO BLUE SPRUCE	11	POOR	NO	YES
105	COLORADO BLUE SPRUCE	20	POOR	NO	YES
106	COLORADO BLUE SPRUCE	20	POOR	NO	YES
107	COLORADO BLUE SPRUCE	13	FAIR	YES	YES
108	COLORADO BLUE SPRUCE	18	POOR	NO	YES
109	COLORADO BLUE SPRUCE	17	POOR	NO	YES
110	COLORADO BLUE SPRUCE	18	POOR	NO	YES
111	BUTTERNUT	10	GOOD	YES	YES
112	SIBERIAN ELM	10	FAIR	YES	YES
113	RED PINE	17	FAIR	YES	YES
114	COLORADO BLUE SPRUCE	17	POOR	NO	YES
115	SUGAR MAPLE	14	FAIR	YES	YES
116	COLORADO BLUE SPRUCE	14	POOR	NO	YES
117	SUGAR MAPLE	7	GOOD	YES	YES
118	RED PINE	22	FAIR	YES	YES
119	RED PINE	16	FAIR	YES	YES
120	RED PINE	20	FAIR	YES	YES
121	BLACK WALNUT	8	GOOD	YES	YES
122	COLORADO BLUE SPRUCE	17	POOR	NO	YES
123	COLORADO BLUE SPRUCE	15	POOR	NO	YES
124	COLORADO BLUE SPRUCE	16	POOR	NO	YES
125	COLORADO BLUE SPRUCE	12	POOR	NO	YES
126	SUGAR MAPLE	16	FAIR	YES	NO
127					
128	COLORADO BLUE SPRUCE	9	POOR	NO	YES
129	COLORADO BLUE SPRUCE	14	POOR	NO	YES
130	COLORADO BLUE SPRUCE	7	POOR	NO	YES
131	SIBERIAN ELM	8	POOR	NO	YES
132	SUGAR MAPLE	20	GOOD	YES	YES
133	COLORADO BLUE SPRUCE	14	POOR	NO	YES
134	COLORADO BLUE SPRUCE	11	POOR	NO	YES
135	SIBERIAN ELM	11	FAIR	YES	YES
136	SUGAR MAPLE	8	FAIR	YES	NO
137	COLORADO BLUE SPRUCE	14	POOR	NO	NO
138	SUGAR MAPLE	10	FAIR	YES	NO
139	SUGAR MAPLE	20	POOR	NO	YES
140	BLACK WALNUT	11	FAIR	YES	YES
141	COLORADO BLUE SPRUCE	13	POOR	NO	YES
142	SUGAR MAPLE	19	FAIR	YES	YES
143	COLORADO BLUE SPRUCE	10	POOR	NO	YES
144	SIBERIAN ELM	7	FAIR	YES	YES
145	COLORADO BLUE SPRUCE	11	POOR	NO	YES
146	COLORADO BLUE SPRUCE	8	POOR	NO	NO
147	COLORADO BLUE SPRUCE	14	POOR	NO	NO
148	COLORADO BLUE SPRUCE	19	POOR	NO	NO
149	SUGAR MAPLE	13	FAIR	YES	NO
150	BLACK WALNUT	9	GOOD	YES	NO
151	COLORADO BLUE SPRUCE	15	POOR	NO	NO
152	BLACK WALNUT	9	GOOD	YES	NO
153	BLACK WALNUT	7	GOOD	YES	NO
154	BLACK WALNUT	7	GOOD	YES	YES
155	BLACK WALNUT	9	FAIR	YES	YES
156	BUTTERNUT	11	POOR	NO	YES
157	BLACK WALNUT	7	FAIR	YES	NO
158	COLORADO BLUE SPRUCE	13	POOR	NO	NO
159	SUGAR MAPLE	20	FAIR	YES	NO
160	COLORADO BLUE SPRUCE	11	POOR	NO	NO
161	COLORADO BLUE SPRUCE	13	POOR	NO	NO
162	SIBERIAN ELM	13	FAIR	YES	NO
163	COLORADO BLUE SPRUCE	20	POOR	NO	NO
164	COLORADO BLUE SPRUCE	15	POOR	NO	NO
165	WHITE OAK	17	FAIR	YES	NO
166	WHITE OAK	16	FAIR	YES	NO
167	BLACK WALNUT	8	GOOD	YES	NO
168	COLORADO BLUE SPRUCE	15	POOR	NO	NO
169	SUGAR MAPLE	17	GOOD	YES	NO
170	COLORADO BLUE SPRUCE	9	POOR	NO	NO
171	RED PINE	19	FAIR	YES	NO
172	COLORADO BLUE SPRUCE	15	POOR	NO	NO
173	COLORADO BLUE SPRUCE	11	POOR	NO	NO
174	COLORADO BLUE SPRUCE	14	POOR	NO	NO
175	COLORADO BLUE SPRUCE	11	POOR	NO	YES
176	SUGAR MAPLE	13	FAIR	YES	YES
177	SUGAR MAPLE	9	FAIR	YES	YES
178	SIBERIAN ELM	9	FAIR	YES	NO
179	COLORADO BLUE SPRUCE	18	FAIR	YES	NO
180	SUGAR MAPLE	16	FAIR	YES	YES
181	BASSWOOD	40	POOR	NO	YES
182	COLORADO BLUE SPRUCE	15	FAIR	YES	YES
183	SUGAR MAPLE	17	GOOD	YES	YES
184	SUGAR MAPLE	16	GOOD	YES	YES
185	SUGAR MAPLE	19	POOR	NO	YES
186	AMERICAN ELM	29	FAIR	YES	YES
187	SUGAR MAPLE	18	GOOD	YES	YES
188	SUGAR MAPLE	18	GOOD	YES	YES
189	SUGAR MAPLE	18	GOOD	YES	YES
190	HORNBEAM	16	POOR	NO	NO
191	SUGAR MAPLE	19	GOOD	YES	NO
192	SIBERIAN ELM	31	POOR	NO	YES
193	BLACK WALNUT	17	GOOD	YES	YES
194	COLORADO BLUE SPRUCE	18	POOR	NO	YES
195	SIBERIAN ELM	9	POOR	NO	YES
196	SIBERIAN ELM	9	POOR	NO	YES
197	SIBERIAN ELM	7	POOR	NO	YES
198	SIBERIAN ELM	8	POOR	NO	NO
199	SIBERIAN ELM	11	POOR	NO	NO
200	SIBERIAN ELM	13	POOR	NO	NO

201	SUGAR MAPLE	11	FAIR	YES	NO
202	HACKBERRY	16	FAIR	YES	NO
203	HACKBERRY	11	POOR	NO	NO
204	SIBERIAN ELM	10	POOR	NO	NO
205	SIBERIAN ELM	9	POOR	NO	NO
206	SIBERIAN ELM	10	POOR	NO	NO
207	SIBERIAN ELM	13	POOR	NO	NO
208	SUGAR MAPLE	10	FAIR	YES	NO
209	SIBERIAN ELM	11	POOR	NO	NO
210	SUGAR MAPLE	11	FAIR	YES	NO
211	SIBERIAN ELM	9	POOR	NO	NO
212	SIBERIAN ELM	14	POOR	NO	NO
213	BASSWOOD	8	FAIR	YES	NO
214	BASSWOOD	11	FAIR	YES	NO
215	BASSWOOD	22	FAIR	YES	NO
216	SUGAR MAPLE	10	FAIR	YES	NO
217	SIBERIAN ELM	8	FAIR	YES	NO
218	SIBERIAN ELM	8	POOR	NO	NO
219	SIBERIAN ELM	8	POOR	NO	NO
220	SIBERIAN ELM	12	POOR	NO	NO
221	SIBERIAN ELM	11	POOR	NO	NO
222	SIBERIAN ELM	11	POOR	NO	NO
223	SIBERIAN ELM	10	POOR	NO	NO
224	SIBERIAN ELM	11	POOR	NO	NO
225	SUGAR MAPLE	6	POOR	NO	YES
226	SIBERIAN ELM	8	POOR	NO	YES
227	SUGAR MAPLE	7	POOR	NO	YES
228	SIBERIAN ELM	8	POOR	NO	YES
229	SIBERIAN ELM	9	POOR	NO	YES
230	SUGAR MAPLE	8	POOR	NO	YES
231	SIBERIAN ELM	8	POOR	NO	YES
232	SIBERIAN ELM	7	POOR	NO	YES
233	SIBERIAN ELM	6	POOR	NO	NO
234	SIBERIAN ELM	7	POOR	NO	NO
235	SIBERIAN ELM	6	POOR	NO	NO
236	SIBERIAN ELM	6	POOR	NO	NO
237	SUGAR MAPLE	9	POOR	NO	NO
238	SIBERIAN ELM	12	POOR	NO	NO
239	SIBERIAN ELM	15	POOR	NO	NO
240	SIBERIAN ELM	9	POOR	NO	NO
241	SIBERIAN ELM	9	POOR	NO	NO
242	SIBERIAN ELM	12	POOR	NO	NO
243	SIBERIAN ELM	9	POOR	NO	NO
244	SIBERIAN ELM	13	POOR	NO	NO
245	SIBERIAN ELM	12	POOR	NO	NO
246	CHINESE ELM	20	POOR	NO	NO
247	SIBERIAN ELM	16	POOR	NO	NO
248	RED OAK	17	FAIR	YES	NO
249	SIBERIAN ELM	8	POOR	NO	NO
250	SIBERIAN ELM	17	POOR	NO	YES
251	CHINESE ELM	11	FAIR	YES	YES
252	SIBERIAN ELM	8	POOR	NO	YES
253	SUGAR MAPLE	7	POOR	NO	YES
254	WHITE OAK	7	FAIR	YES	YES
255	WHITE OAK	14	FAIR	YES	YES
256	WHITE OAK	10	FAIR	YES	YES
257	RED CEDAR	20	POOR	NO	YES
258	SIBERIAN ELM	11	POOR	NO	YES
259					
260					
Total Existing Significant Inches		858			
Insignificant Inches		1,172			
Total Significant Inches On Site Removed		499			
Total Significant Inches 30% Allowed Removal		257			
Total Significant Inches On-Site Preserved		359			
Total Significant Inches On-Site Owed		302			

CALYX
DESIGN GROUP
Landscape Architecture + Planning
calyxdesigngroup.com | 651.788.9018



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO AIDE IN SURVIVABILITY OF EXISTING TREES TO REMAIN. DO NOT STORE MATERIALS OR DRIVE EQUIPMENT WITHIN THE TREE DRIPLINE AS DESIGNATED ABOVE. MAINTAIN THE FENCE INTEGRITY AT ALL TIMES THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.
1 TYPICAL TREE PROTECTION DETAIL
NOT TO SCALE

TREE PRESERVATION NOTES:

- Existing boundary, location, topographic, vegetation, and utility information shown on this plan is from a field survey provided by the Owner.
- Do not begin tree clearing work until tree protection measures are in place and to the permit approval of the City Forester has been granted.
 - Critical Root Zone:** Install high density polyethylene safety fence, 4 ft. high, international orange, at the Drip Line or at the Critical Root Zone whichever is greater, of trees to be preserved per detail, prior to commencement of earthwork activity. Field-staking of the fence location(s) subject to City approval.
 - Where silt fence and proposed tree protection fence overlap, place the tree protection fence on the outside of the silt fence, double-staked at the break-point.
 - Refer to Tree Protection Detail 1, Sheet L.1.1.
 - The contractor shall prune the canopy of existing trees to remain where the canopy is in jeopardy of damage due to the new improvements shown. It is recommended that the contractor hire a certified arborist to perform the pruning. Any branches broken during construction shall be immediately trimmed and wounds painted to prevent further damage.
 - Perform work in accordance with the laws, ordinances, rules, regulations, and orders of public authority having jurisdiction. Secure and pay for permits, governmental fees and licenses necessary for the proper execution of the demolition work.
 - Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawns, sidewalks, drives, curbs, utilities, buildings and/or other structures on or adjacent to the demolition site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property.
 - Remove debris, waste, and rubbish promptly from the site. On-site burial of debris is not permitted. Burn no debris on the site. Salvage material not otherwise indicated to be reused shall become the Contractor's property and is to be removed promptly from the site and disposed of in strict accordance with all applicable laws, regulations, and/or statutes.
 - Buildings, features, surfaces, and other descriptive references shown on this drawing are for informational purposes only. Field verify all information relevant to the project prior to proceeding with the work. Visit the site and determine all site conditions and hazards.
 - This plan is a guide as to the anticipated amount of disturbance expected due to proposed improvements. The contractor is expected to take all necessary precautions to ensure trees noted to remain are not damaged during construction. Do not store material or drive within the drip line of existing trees to remain. Be aware of overhead branches for clearance of material and equipment.
 - This plan is not a guarantee that existing trees will survive during/post construction, but rather a guide to help assure their protection and greatest chances of survival at the surface level. Further protection measures outside this scope could involve ecologists, foresters and arborists.
 - Notify the Owner's Representative when tree protection fencing is taken down to perform work in conjunction with the new improvements noted in this plan set. The contractor is responsible for re-erecting the tree protection fence immediately after the work is complete, when ever possible.
 - Trees shown as existing to remain (be preserved) that are damaged / killed as a result of construction activities are subject to replacement per the City Tree Replacement penalty. Replacement trees are to be paid for at no additional expense to the Owner.

Landscape Sheet Index:

- L1.0 Title Page
- L1.1 Tree Preservation Plan "A"
- L1.2 Tree Preservation Plan "B"
- L1.3 Landscape Layout Plan "A"
- L1.4 Landscape Layout Plan "B"
- L1.5 Landscape Layout Plan "C"
- L1.6 Notes and Details Sheet
- L1.7 Existing & Tree Preservation Notes & Detail

CALYX DESIGN GROUP
Landscape Architecture + Planning
475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
telephone: 651.788.9018
internet: www.calyxdesigngroup.com

PRELIMINARY

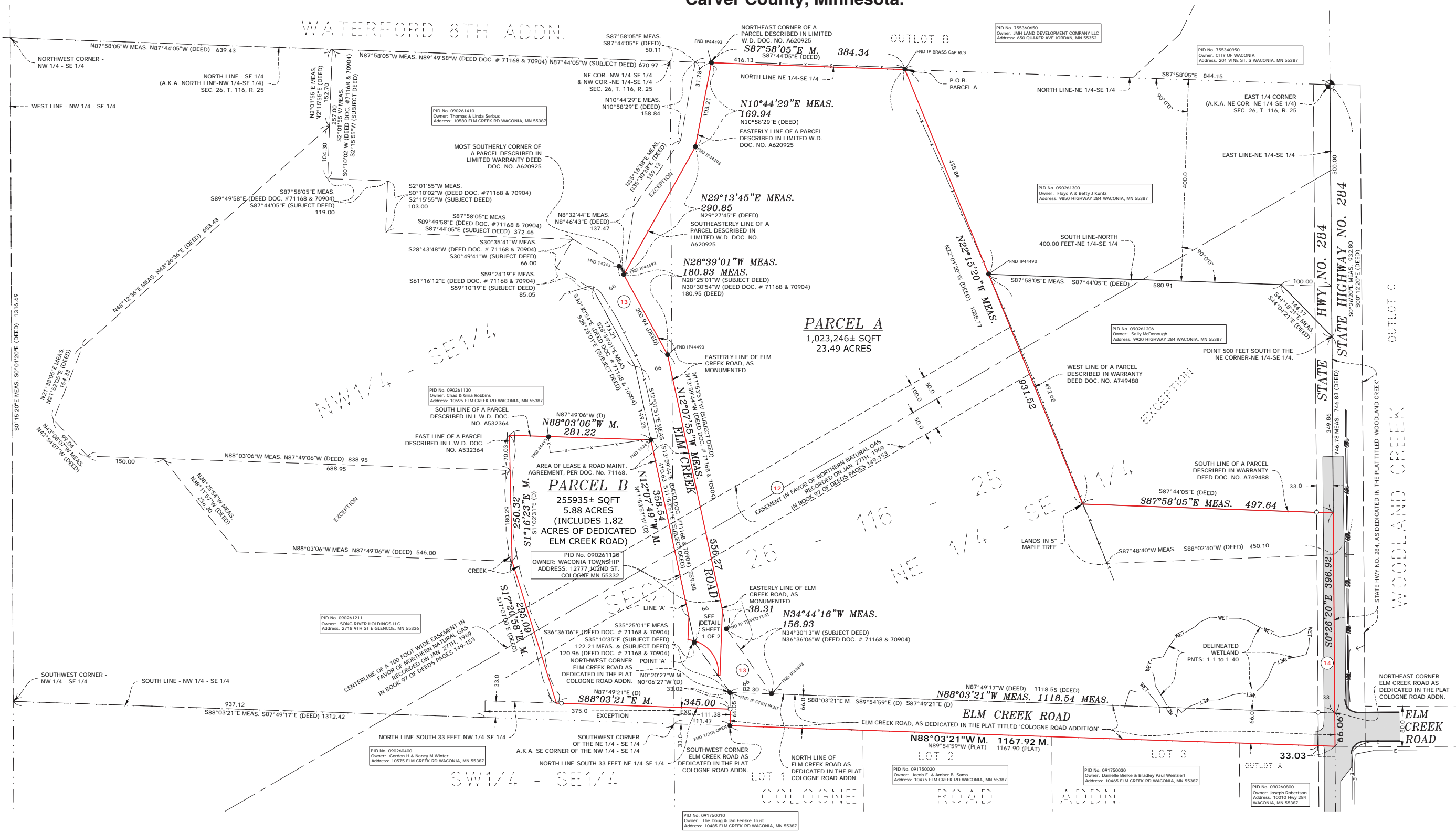
ELM CREEK RIDGE OF WACONIA
WACONIA, MINNESOTA
EXISTING TREES AND PRESERVATION
FOR
MAGELLAN LAND DEVELOPMENT
P.O. BOX 302, EXCELSIOR, MN 55331

DRAWN BY	AL
DATE	07/07/2025
REVISIONS	
PROJECT NO.	25-142
	L1.7



AREA TO BE ANNEXED INTO THE CITY OF WACONIA, MN

~for~ Magellan Land Development, LLC
 ~of~ N 1/2 - SE1/4, SEC. 26, TWP. 116, R. 25,
 Carver County, Minnesota.

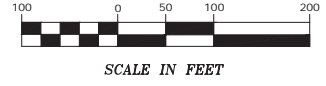


NORTH

BENCHMARK

BENCHMARK: MNDOT GSID STATION # 3592
 MNDOT NAME: 1014 H
 ELEVATION = 951.655

GRAPHIC SCALE



LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 45356/52705
- ⊙ DENOTES CARVER COUNTY CAST IRON MONUMENT
- DENOTES FENCE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER CARVER COUNTY TAX INFORMATION)
- M. or MEAS. DENOTES MEASURED DISTANCE OR BEARING (SEE ORIENTATION NOTE)
- (D) or (DEED) DENOTES DISTANCE OR BEARING PER RECORD DEED
- 99 DENOTES SCHEDULE B-II EXCEPTION NO.
- DENOTES AREA OF PROPOSED ANNEXATION

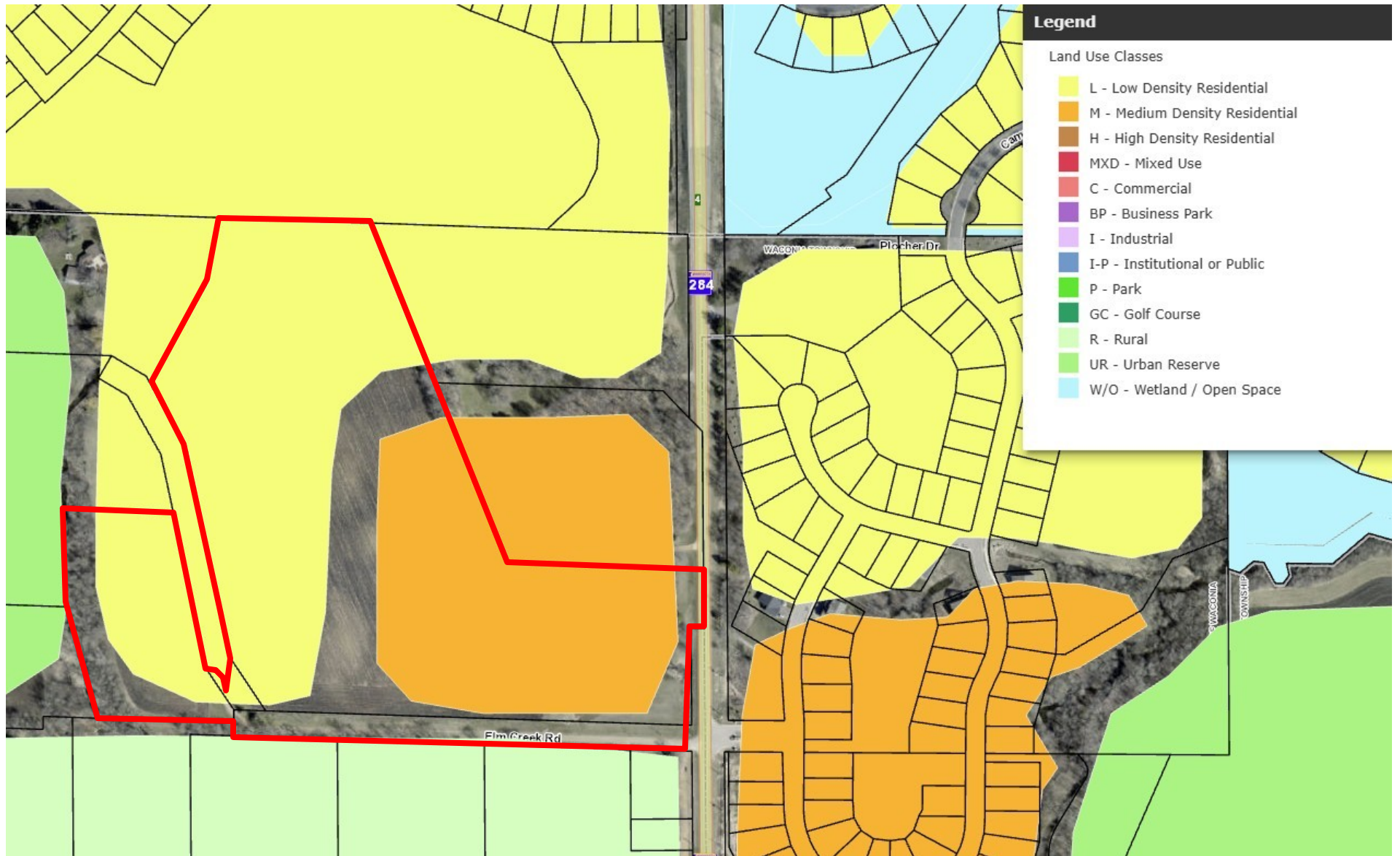
E. G. RUD & SONS, INC.
 EST. 1977 Professional Land Surveyors
 990 5th Ave SE, Suite 2
 Hutchinson, MN 55350
 Tel. (320) 587-2025
 www.egrud.com

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Kurt D. Nelson
 KURT D. NELSON
 Date: 16JUN25 License No. 45356

NO.	DATE	DESCRIPTION	BY
1	16JUN25	REVISE ANNEXATION BOUNDARIES	KDN
2			
3			

EXISTING FUTURE LAND USE MAP DESIGNATIONS—ELM CREEK RIDGE AREA



June 25th, 2025

To: Jason Palmby, Magellan Land Development

From: Katie Schmidt, PE (MN PE License #47147)

Re: Trip Generation Memorandum – Elm Creek Ridge Residential Development, Waconia, MN

Per your request, SSTS LLC has conducted a trip generation estimate for the proposed Elm Creek Ridge Residential Development in the City of Waconia, Carver County, MN. The Proposed Project is located on the west side of State Highway 284 and on the north side of Elm Creek Rd. The Proposed Project includes 54 single family homes with main access via Elm Creek Rd. With the project Elm Creek Rd will be updated from a gravel road to a paved road per City standards and a dedicated southbound right turn lane will be constructed on Highway 284 at Elm Creek Rd. There will be an internal access location with street connection to the future Waterford 9th Addition, but minimal site traffic is anticipated to use this for access. **Figure 1** shows the Project location. **Figure 2**, Site Plan, depicts the site layout and access locations. (See Concept Plan in the submittal package for more details.)

Trip Generation

The volume of vehicle trips generated by the Proposed Project has been estimated for typical weekday AM and PM peak hours and on a daily basis using the data and methodology described in the Institute of Transportation Engineers' *Trip Generation Manual*¹, which is a standard industry reference used by public agencies to estimate traffic generated by specific land uses. **Table 1** summarizes the trip generation estimates.



Figure 1. Project Location

Table 1 - Trip Generation

Land Use	Land Use Code	Size	Trips Generated:				Weekday ADT
			AM Peak		PM Peak		
			Enter	Exit	Enter	Exit	
Single-Family Detached Housing	210	54 units	9	29	32	19	509
Totals			9	29	32	19	509
			38		51		

As shown in Table 1, the Proposed Project is estimated to generate the following traffic:

- 38 new trips (9 entering and 29 exiting) during the morning traffic peak hour,
- 51 new trips (32 entering and 19 exiting) during the evening traffic peak hour, and
- 509 daily trips.

¹ *Trip Generation Manual*, Institute of Transportation Engineers (ITE), 11th Edition

Based on regional roadway connections, the anticipated travel patterns for residents of the Proposed Project are approximately 90% to/from the north and 10% to/from the south on Highway 284. Review of *MnDOT's Access Management Manual*² indicates the planned southbound right turn lane and existing northbound left turn lane on Highway 284 are warranted based on predicted traffic volumes and the 55-mph speed limit.

In summary, the number of vehicle trips generated by the Proposed Project is low, approximately one new vehicle trip every minute during the PM peak hour. The planned southbound right turn lane and existing northbound left turn lane on Highway 284 reduce crash potential by removing turning site traffic from high speed through mainline traffic. Additionally, adequate sight distance is provided for vehicles on Elm Creek Rd to turn onto Highway 284. Impacts to existing traffic operations are anticipated to be minimal.

Please contact Katie Schmidt at katie@s2traffic.com with any questions.

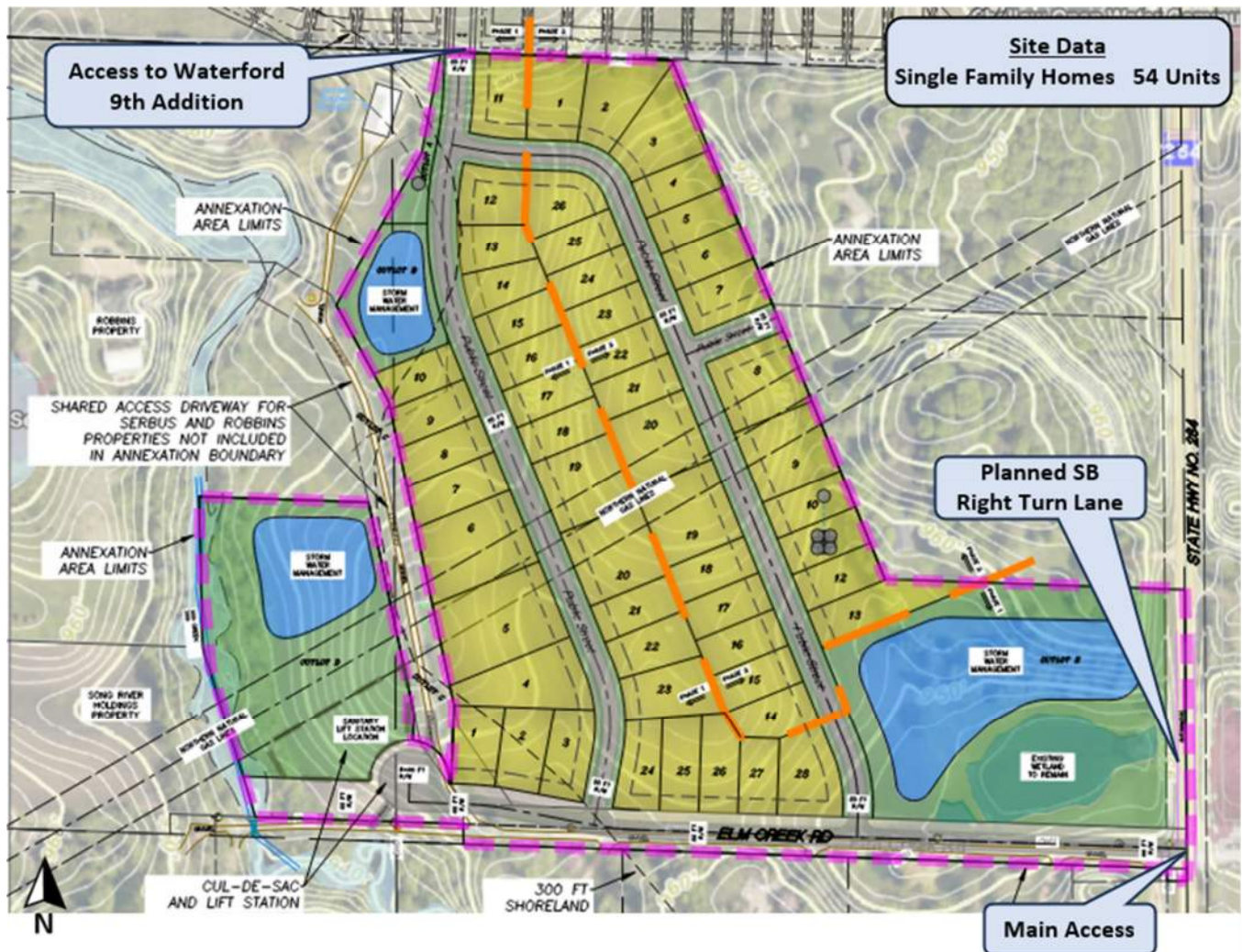


Figure 2. Site Plan

² *MnDOT's Access Management Manual*, January 2008, Chapter 3-Guidelines for Public Street and Driveway Connections



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date:	August 7, 2025
Item Name:	4.3. Site Plan & Design Review - 830 Marketplace Drive
Originating Dept:	Community Development
Presented By:	Lane Braaten
Previous Council Action:	
Item Type:	Regular Session

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED: Provide a recommendation to the City Council regarding the Site Plan & Design Review application for the proposed 10,600 square foot automotive tire store and repair shop proposed to be located at 830 Marketplace Drive.

EXPLANATION OF AGENDA ITEM:

BACKGROUND

Applicant: Java Companies
Owner: ILEX Group, Inc.
Address: 830 Marketplace Drive
PID#: 755040040
Zoning: B-1, Highway Business District
Design District: Highway District

REQUEST

The applicant, Java Companies, has submitted an application for Site Plan & Design Review to construct a 10,600 square foot automotive tire store and repair building on the subject property identified above.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05 – District Regulations, Subd. 2.F – B-1, Highway Business District
2. Section 900.06 – Supplementary Regulations, Subd. 9 – Architectural Design Standards
3. Section 900.07 – Landscaping and Fencing
4. Section 900.08 – Performance Standards
5. Section 900.09 – Off-Street Parking, Loading, and Access Regulations
6. Section 900.10 – Sign Regulations
7. Section 900.12 - Administration, Enforcement and Procedures
 - a. Subdivision 10. – Site Plan Review

SITE PLAN REVIEW

City Ordinance requires Site Plan Review “in order to further promote the safe and efficient use of land and to further enhance the value of property in the City.” City Ordinance requires Site Plan Review for any construction for which a building permit is required, except for construction of detached, single-family residential structures or structures accessory thereto.

ZONING

The property is zoned B-1, Highway Business District which allows automobile service and repair as a permitted use.

LOT REQUIREMENTS

The subject properties are located in the B-1, Highway Business District. Section 900.05, Subd. 2.F of the City Ordinance states “The purpose of this district is to provide for an appropriate range of businesses that will be utilized by area residents as well as vehicular traffic generated from the surrounding area.” The Lot Requirements for the Highway Business District are indicated in Table 1-1 below.

Table 1-1.	B-1 – Lot Requirements	Proposed/Existing
Lot Area	17,500 sq. ft. min.	54,804 sq. ft.
Lot Width	100 ft. min.	Conforming
Maximum Hardcover Surface	80% max.	73%
Maximum Principal Structure Height	35 ft. max.	27 ft. 4 inches
Front Yard Setback	25 ft. min.	130.10 ft.
Side Yard Setback – Interior	15 ft. min.	30 ft.
Side Yard Setback – Street	20 ft. min.	20 ft.
Rear Yard Setback	20 ft. min.	35 ft.

The structure setbacks, building height, and hardcover surface requirements stated above have been satisfied based on a review of the Site Plan– C201 dated July 1st, 2025 and the Exterior Elevations – P2 dated May 2nd, 2025.

Based on staff review, the proposed project meets all hardcover, structure height, and setbacks required in the zoning district.

SCREENING OF EQUIPMENT

The proposed plans do not indicate any mechanical equipment. Any future mechanical, rooftop or ground mounted, are required to be screened from view.

OFF-STREET PARKING

The off-street parking requirements for motor vehicle service establishments are as follows: Four (4) spaces for each 1,000 square feet of gross floor space, less storage space.

The off-street parking requirements for business offices are as follows: One (1) space per two hundred (200) square feet of gross floor area but at least three (3) parking spaces.

The applicant is proposing 38 total parking spaces, which exceeds City Code requirements.

LANDSCAPING

Section 900.07, Subd. 2.B of the City Ordinance requires one (1) tree for every one thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.

The site perimeter is greater than the total building floor area calculation, which requires 19 trees. In addition the City Code requires additional plantings for properties located on Highway 5. The standard is stated below and this is in addition to the typical requirements.

Additional plantings shall be required for properties fronting on State Highway #5. The following will be required for every 40 feet of frontage along Highway #5:

- a. One (1) three-inch minimum deciduous tree, or
- b. One (1) eight-foot minimum coniferous tree

The plans accurately reflect the required number of trees with the correct Highway 5 oversizing stated above, which is 6 additional trees under this standard. The total number of trees required to be planted is 25. The applicant is proposing 30 trees, which conforms to City landscape requirements.

The complement of trees fulfilling the requirements of this policy shall be not less than twenty-five (25) percent deciduous and not less than thirty-three (33) percent coniferous.

SIGNS

The applicant has included concept signage. All signage shall require a permit through the City and shall conform to Section 900.10.

Section 900.10 prohibits pylon signs in all districts. If the applicant intends to install freestanding signage in the area identified it shall be consistent with rules and regulations identified in for the B-1 and B-4 Districts. Specifically, one (1) monument sign is allowed per premise of record, and the maximum square footage is based on street frontage (see applicable section of the City Code).

Additionally, wall signs are regulated under 900.10, B-1 and B-4 Districts. Please review the applicable section of the City Code to determine the most appropriate application of the rule. But, in summary, one wall sign covering a maximum of 10% for the building face is allowed. The current plan indicates two (2) signs on the front face including the Tires Les Schwab sign and the Alignment Brakes Shocks center sign. The plan needs to be revised accordingly.

LIGHTING

Section 900.08, Subd. 1.C provides standards for exterior lighting. The applicant shall submit a lighting plan for review and approval by City staff prior to building permit issuance to ensure conformance with the applicable sections of City Code.

VEHICULAR ACCESS

One access entrance is proposed on Marketplace Drive. Turning movements for the appropriate design vehicle shall be submitted to demonstrate the proposed access width shown is needed.

Otherwise, this driveway width shall be reduced which may allow for the existing hydrant to remain as is.

PEDESTRIAN ACCESS

The applicant is proposing a sidewalk along Marketplace Road connecting the Marketplace Drive sidewalk to the trail located along Hwy. 5. This sidewalk also connects to the sidewalk access to the front of the proposed building. Consideration should be given to complete another sidewalk connection to the northeast corner of the site to the sidewalk installed on the easterly property line. This connection would allow for a more direct access to the Hwy. 5 trail system. The Planning Commission should determine if a pedestrian connection should be provided to the trail along Highway 5.

TRASH

City Ordinance requires “All trash and trash handling equipment to be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure.”

The application indicates a trash enclosure generally located in front of the building within the parking lot area. The trash enclosure appears to meet the guidance above, but the applicant shall clarify the building materials identified as EP-2, BLK-1, and BLK-2 as they are not referenced/clarified in the plan set.

GRADING, DRAINAGE & UTILITIES

The City Engineer and Public Services Director have conducted an initial review of the grading, drainage and utilities. Any approval of the plan should include a condition requiring the applicant to work with the City Engineer to revise the utility and grading information to the satisfaction of the City prior to any work commencing on site.

PLANNING & SITE PLAN ANALYSIS AND STAFF REVIEW COMMENTS:

1. The applicant appears to meet the Site Plan requirements stated in City Code with the recommended conditions stated below.
2. The proposed 10,600 sq. ft. automotive tire store and repair shop is a permitted use in the B-1, Highway Business District.
3. Consideration should be given to irrigating the property with stormwater reuse as the property is directly adjacent to the system improvements.

SEWER AVAILABILITY CHARGE (SAC) AND CITY TRUNK FEES

New construction, a new business, a change in location or change in the use of space in a way that creates more potential demand on the wastewater system will require submission to the Metropolitan Council for a Sewer Availability Charge (SAC) determination. The SAC determination made by the Metropolitan Council informs the City sewer and water trunk fees associated with the potential development, redevelopment and/or remodeling of the subject property, location, or business. City Code requires that for every SAC unit determined by the Metropolitan Council, the project will require the payment of one City sewer trunk fee and one

City water trunk fee. The 2024 SAC and City trunk fees are included below for convenience.

SAC Charge	\$2,485 per SAC unit determined by the Metropolitan Council
Sewer Trunk Fee	\$3,900 per SAC unit determined by the Metropolitan Council
Water Trunk SDC	\$6,500 per SAC unit determined by the Metropolitan Council
Stormwater Trunk Fee	\$11,300 per acre
Stormwater Access Fee	\$1,600 per acre

*Please note that the City reviews the trunk and access fees annually and staff anticipate some slight increases to the per unit costs indicated above in 2026.

DESIGN REVIEW – HIGHWAY DISTRICT

City Ordinance requires Design Review with the understanding that “the visual character and historic resources of the City are important attributes of its quality of life.” City Ordinance requires Design Review to be conducted as part of the Site Plan Review process.

Staff reviewed the application based on all of the Highway District Design Standards. Below is a list of outstanding items or items that may require additional information or clarification.

DESIGN STANDARDS, HIGHWAY DISTRICT.

Building width and façade articulation.

a. Objectives:

- 1) To articulate long or massive building facades in order to reduce their perceived bulk and provide visual interest as viewed from the street or sidewalk.
- 2) To ensure that all facades visible to the public shall be visually attractive and compatible with adjacent land uses.

b. Standard: Buildings of more than forty (40) feet in width shall be divided into smaller increments through articulation of the façade. This can be achieved through combinations of the following techniques, and others that may meet the objective.

- 1) Façade modulation - stepping back or extending forward a portion of the façade.
- 2) Vertical divisions using different textures or materials (although materials should be drawn from a common palette).
- 3) Division into storefronts, with separate display windows and entrances.
- 4) Variation in roof lines by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.
- 5) Arcades, awnings, window bays, arched windows and balconies at intervals equal to the articulation interval.
- 6) Providing a lighting fixture, trellis, tree or other landscape feature with each interval.

Staff Comment

The exterior rear elevation of the building identified on sheet P3 Exterior Elevations – PA should require some vertical variation, or other improvement, to reduce the perceived length

and bulk of the building consistent with the objectives and standards above. The exterior rear elevation shown on sheet P9 Exterior Elevations – PC is consistent with this standard.

Side and rear treatments.

- a. Objective: To ensure continuity of materials and façade treatments on all visible facades.
- b. Standard: All building facades visible from a public street or walkway shall employ materials and design features similar to those of the front façade.

Staff Comment

The exterior design treatments for side and rear identified in sheets P8 Exterior Elevations – PC and P9 Exterior Elevations – PC are the most consistent with the Highway District Design Standards.

Placement and screening of service, loading and storage areas.

- a. Objective: To mitigate the impacts of views of service and loading areas from surrounding streets and properties.
- b. Standards: Any outdoor storage, service or loading area that faces adjacent residential uses or a public street or walkway shall be screened by a decorative fence, wall or screen of plant material at least six (6) feet in height, or a planting screen shall be provided parallel to the property line, street or walkway.

Loading docks, truck parking, HVAC equipment, trash collection and other service functions shall be incorporated into the design of the building so that the visual and noise impacts of these functions are fully contained and not visible/audible from adjacent properties and public streets.

Areas for the outdoor storage and sale of merchandise, where permitted, shall be permanently defined and screened with walls or fences, with materials compatible with and of similar quality to primary building materials.

Staff Comment

The applicant should better identify the proposed use of the improved concrete area on the east side of the building to determine if additional screening is required.

Lighting.

- a. Objective: To ensure that lighting levels are not excessively bright and that light standards are compatible with the overall site design.
- b. Standard: Exterior lighting should be the minimum necessary for safety and security. Lighting should be designed to coordinate with building architecture and landscaping. Building-mounted fixtures should be compatible with the building facades. Overall lighting levels should be consistent with the character and intensity of the surrounding area. All light fixtures shall be shielded or other directed to ensure that light is not directed onto adjacent properties.

Staff Comment

The applicant shall submit a lighting plan for review and approval by City staff prior to building permit issuance to ensure conformance with the applicable sections of City Code.

CONCLUSION/RECOMMENDATION

The Planning Commission should review the pertinent information and make a recommendation to the City Council regarding the proposed 10,600-square foot automotive tire store and repair shop proposed to be located at 830 Marketplace Drive. Upon a formal recommendation from the Planning Commission, this item will be forwarded to the City Council for review at their upcoming meeting scheduled for August 18th, 2025.

If the Planning Commission chooses to recommend approval of the land use applications stated above, staff would recommend the consideration of the following conditions:

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall work with the City Engineer and Public Services Director to revise the grading, drainage, and utility information to the satisfaction of the City prior to any work commencing on site.
4. The applicant shall provide the City with a letter of credit/ escrow funds to guarantee the proper installation and growth of the approved landscape plan. The letter of credit/escrow funds shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The letter of credit/escrow funds shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
5. The complement of trees fulfilling the requirements of the landscape policy shall be not less than twenty-five (25) percent deciduous and not less than thirty-three (33) percent coniferous. The landscape plan shall be revised to include a minimum of seven (7) evergreen/coniferous trees.
6. Final placement of the required tree and/or any replacement species shall be approved by the Public Services Department to ensure the placement does not interfere with any on site utilities and complies with City Code requirements.
7. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
8. A sign permit shall be required for all signage and shall conform to Section 900.10. Approval of the site plan and design review application is not a formal approval of the conceptual signs presented with the application.
9. Section 900.08, Subd. 1.C provides standards for exterior lighting. The applicant shall submit a lighting plan for review and approval by City staff prior to building permit issuance to ensure conformance with the applicable sections of City Code.
10. Turning movements for the appropriate design vehicle shall be submitted to demonstrate the proposed access width shown is needed. Otherwise, the driveway width shall be reduced which may allow for the existing hydrant to remain as is.
11. The applicant shall clarify the building materials for the trash enclosure identified as EP-2, BLK-1, and BLK-2 to ensure compliance with City standards.
12. The final exterior rear elevation of the building shall be consistent with the exterior rear elevation shown on sheet P9 Exterior Elevations – PC, which is consistent with the

City's Highway District Design Standards.

13. The exterior design treatments identified in sheets P8 Exterior Elevations – PC and P9 Exterior Elevations – PC are consistent with the Highway District Design Standards and shall be the standard used when constructed.
14. The applicant shall provide the applicable rooftop or ground mounted screening details for review and approval prior to issuance of a building or mechanical permit.
15. The applicant shall contact the City Planning Department for a final site inspection when all conditions of approval regarding this application have been completed.

ATTACHMENTS:

1. Location Map 830 Marketplace Drive
2. Waconia Retail Narrative
3. ALTA Survey
4. 830 Marketplace Drive Plan Set
5. Landscap Plan
6. Elevations

FINANCIAL IMPLICATIONS:	ADVISORY BOARD RECOMMENDATIONS:
Funding Sources & Uses: Budget Information: _____ Budgeted _____ Non-Budgeted _____ Amendment Required	Planning Commission: _____
	Park Board: _____
	Personnel Committee: _____
	Other: More sample text. _____

LOCATION MAP—830 MARKETPLACE DRIVE





WACONIA RETAIL-NARRATIVE DESCRIPTION

To: Lane L Braaten, Community Development Director
From: Mark Krogh, Java Companies
Date: 7/2/2025
Re: Waconia Retail Narrative Description

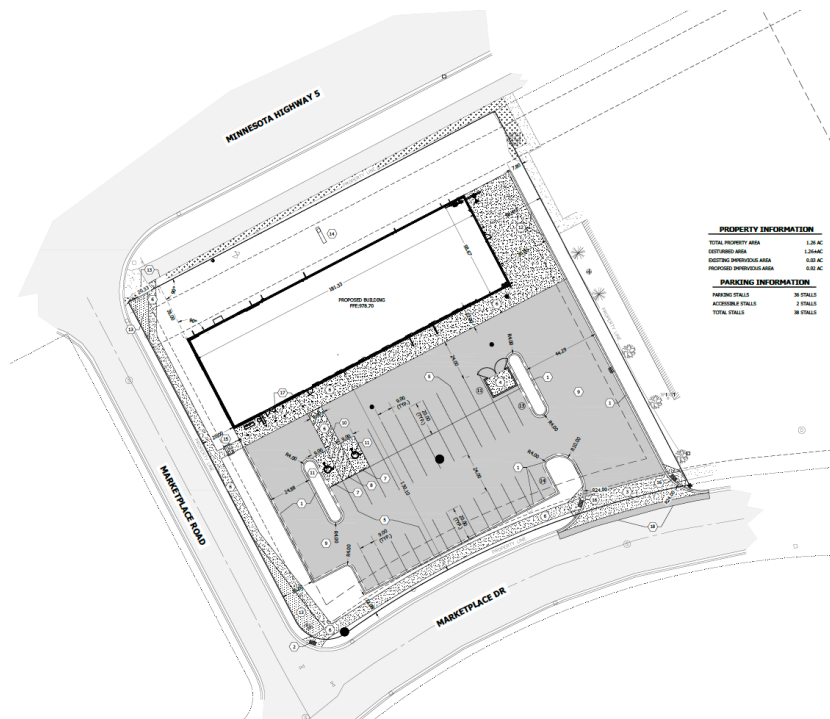
Dear Lane,

The following is a narrative description of the proposed project.

Narrative Description:

The Waconia Retail project will consist of a roughly 10,600 square foot automotive tire store and repair shop. Our intent is to meet the City Design Guidelines, and we believe we have done so without requesting any amendments to the guidelines.

Site Plan:



ALTA/NSPS LAND TITLE SURVEY FOR:

JERRY'S ENTERPRISES, INC

5101 Vernon Ave. S.
Edina, MN 55436

Legal Description

Lot 1, Block 2, WACONIA MARKETPLACE,
Carver County, Minnesota.

Note Corresponding to Schedule B, Part II

The following are survey related exceptions set forth in Schedule B, Part II of the herein referenced Title Commitment :

- ② Item 2 - Above ground encroachments, if any, as shown hereon.
- ⑨ Item 9 - Property subject to Declaration of Easements, Covenants, Conditions and Restrictions Affecting Land, dated Aug. 10, 2007, recorded Sept. 14, 2007 as Doc. No. 471610. First Amendment to Declaration of Easements, Covenants, Conditions and Restrictions Affecting Land, dated Dec. 8, 2017, recorded Dec. 11, 2017 as Doc. No. 655825. Second Amendment to Declaration of Easements, Covenants, Conditions and Restrictions Affecting Land, dated July 21, 2021, recorded July 21, 2021 as Doc. No. 729214. Items are unplottable.
- ⑩ Item 10 - Property subject to Declaration of Restrictive Covenants between ILEX Group, Inc. and Marvin Development IV, Inc. as set forth in the Doc. dated March 20, 2017 and recorded Dec. 11, 2017 as Doc. No. 655828. Items are unplottable.
- ⑪ Item 11 - Property subject to Right of Way Easement granting a permanent easement for public purpose to the City of Waconia, dated March 4, 2015 recorded April 6, 2015 as Doc. No. 607952. Easement affects property as shown hereon.
- ⑫ Item 12 - Easement granted to the Northern States Power Company, dated Oct. 15, 1959, recorded December 13, 1960 as Doc. No. 98571 does not encumber the property.
- ⑬ Item 13 - Property subject to an easement granted to the Northern States Power Company, a Minnesota company d/b/a Xcel Energy for the installation and maintenance and use of equipment for purpose of providing electrical energy, dated Sept. 11, 2002, recorded Sept. 27, 2002 as Doc. No. 326106. Easement affects property as shown hereon.
- ⑭ Item 14 - Drainage and utility easements as dedicated by and shown on the recorded plat of Waconia Marketplace affect property as shown hereon.

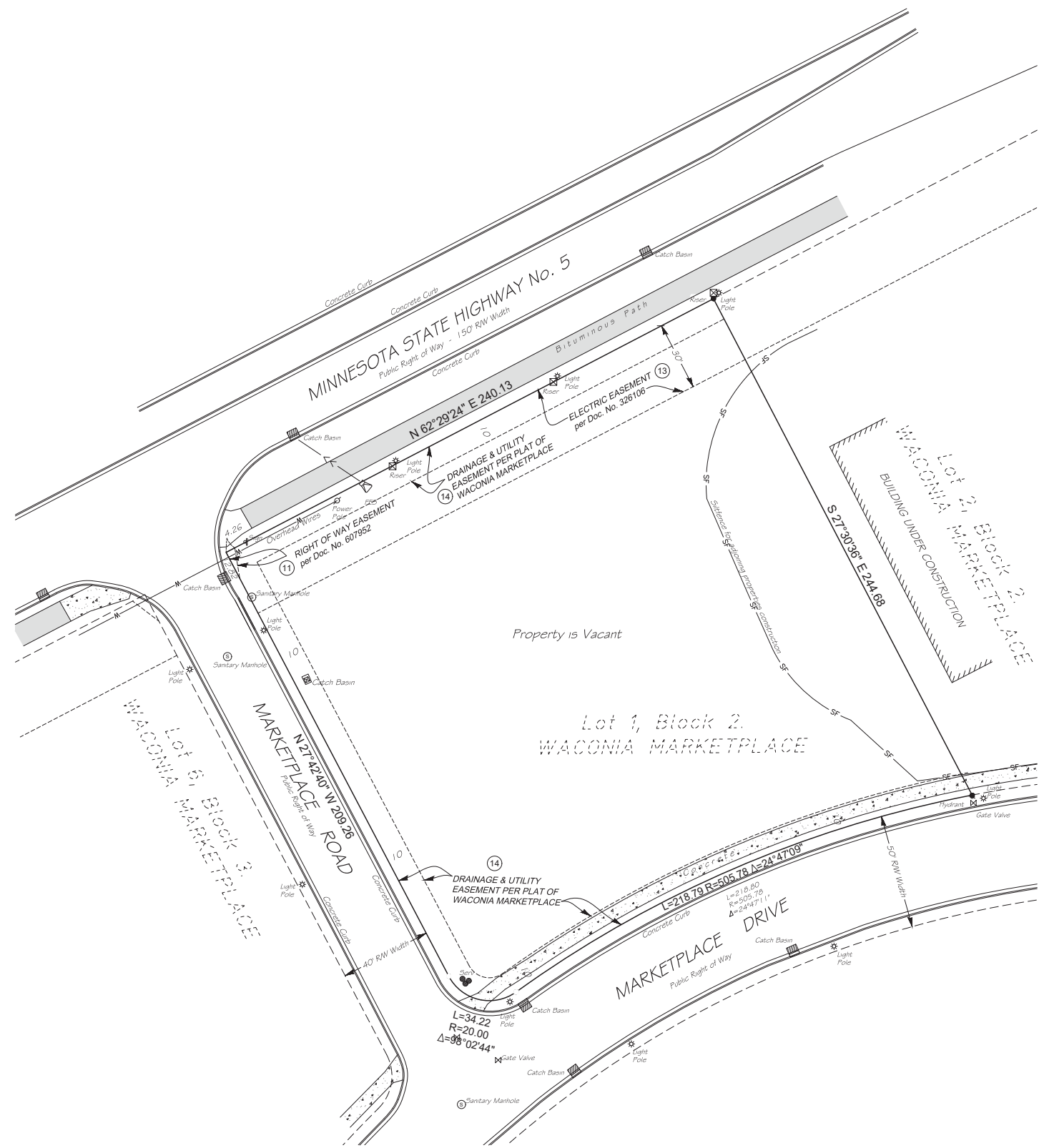
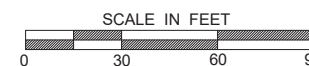
Current Zoning Information

Source of Information: City of Waconia Zoning web site			
City Address: 201 South Vine Street, Waconia, MN 55387			
City Phone: 952-442-2184			
Subject Property Address: 830 Marketplace Drive, Waconia, MN 55387			
Zoning District(s): B-1			
Zoning Definition: B-1 Highway Business District			
Building Setback Requirements for principal structures			
	Observed	Required	Notes
Front Yard Setback	N/A	25 feet	
Side Yard Setback	N/A	15 feet	N/A
Rear Yard Setback	N/A	20 feet	
Corner Yard Setback	N/A	20 feet	
Parking Tabulation			
	Observed	Required	Notes
Regular Spaces	N/A	see note	Parking requirements dependent on use of property.
Handicapped Spaces	N/A	see note	
Total Parking Spaces	N/A	see note	
Height Restrictions			
	Observed	Max. Allowed	Notes
Maximum Height	N/A	35 feet	
Bulk Restrictions			
	Observed	Required	Notes
Lot Area	54,804 Sq. Ft.	17,500 sq.ft	
Max. Hardcover Surface	vacant	80%	
Other:	N/A	N/A	

NOTE: Because there may be a need for further interpretation of the applicable zoning codes, we refer you to the above referenced municipality and the applicable zoning codes.

Legend

- Denotes Found Iron Monument
- Denotes Iron Monument Set
- Bollard
- ⊛ Light
- ⊙ Power Pole
- ⊙ Sanitary Manhole
- ⊙ Storm Manhole
- Manhole (use not determined)
- ⊙ Catch Basin
- ⊙ Sign
- ⊙ Telephone Pedestal Riser
- ⊙ Communication Pedestal Riser
- ⊙ Flared End Section



Miscellaneous Notes

- MN 1 Legal description and easements per title commitment from Old Republic National Title Insurance Company, Commitment No. ORTE748677, dated July 4, 2022.
- MN 2 Property Address: 830 Marketplace Drive, Waconia, MN 55387 PID No.: 755080040
- MN 3 Total Area of Parcel = 54,804 sq. ft.
- MN 4 Access is gained to the subject property via Marketplace Drive which is dedicated public right-of-way.
- MN 5 Property located in Section 21, Township 116, Range 25, Carver County, Minnesota.

Table A Certification Items

1. Monuments placed at all major corner of the boundary of the property, unless already marked or referenced by existing monuments are shown hereon.
2. Address of the property: 830 Marketplace Drive, Waconia, MN 55387
3. By graphic interpretation only, this property is in Flood Zone "X" (Areas generally outside Special Flood Hazard Area 1% annual chance flood) per FEMA panel map number 27019C0183D, effective on 12/21/2018.
4. Area of Property: 54,804 square feet
6. No zoning report or letter provided. Current Zoning Information shown obtained thru City website.
- 7(a). Exterior dimensions of building, if any, as shown at ground level. (property is vacant of any buildings)
- 7(c). Measured height of buildings, if any, shown to adjacent ground. (property is vacant of any buildings)
8. Substantial above ground features observed in the process of conducting field work as shown.
9. Striped parking stalls, if any, as shown. (no parking stalls on site)
11. Observed evidence of existing utilities as shown hereon.
16. There was no observed evidence of earth moving work or building construction at the time of our field work.
17. The Surveyor is unaware of any changes in street right-of-way lines either completed or proposed as available from the controlling jurisdiction. There is no observable evidence of recent street or sidewalk construction or repairs.

ALTA/NSPS Land Title Survey Certification

To CA Property Acquisitions, LLC and Old Republic National Title Insurance Company as follows:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA, and NSPS, and includes Items 1, 2, 3, 4, 6, 7(a)(c), 8, 9 and 11 of Table A thereof.
The field work was completed on April 4, 2022
Dated this 17th day of May, 2022.
Rev. 9/8/2022 updated title commitment

PREPARED BY:
DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 Demarcinc.com

Signed:
Gregory R. Prach Registration No. 24992

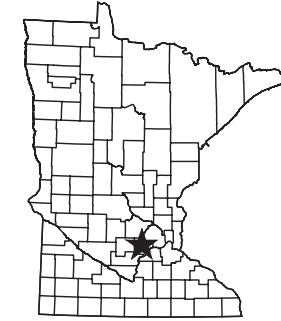
F.B. No. 1124-08 Proj. No. 90004A field by: TM drawn by: GRC

File No. F:\survey\waconia marketplace-carver co\1-201 Surveying - 90003101 CAD\01 Source\01 Survey Base.dwg

MACKENTHUNS OUTLOT RETAIL JAVA COMPANIES



830 MARKETPLACE DRIVE
WACONIA, MN



INDEX OF SHEETS:

C001	COVER SHEET
C101	EXISTING CONDITIONS & REMOVALS PLAN
C201	SITE PLAN
C301	GRADING PLAN
C401	UTILITY PLAN
C501	EROSION CONTROL PLAN
C601	CIVIL DETAILS
C602	CIVIL DETAILS
C603	CIVIL DETAILS
C604	EROSION CONTROL DETAILS
C605	EROSION CONTROL DETAILS
C606	SWPPP NARRATIVE
C607	CIVIL SPECIFICATIONS
C608	CIVIL SPECIFICATIONS
C609	CIVIL SPECIFICATIONS

GENERAL NOTES:

1. TOPOGRAPHIC SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, TOPOGRAPHY WITH SPOT ELEVATIONS AND PHYSICAL FEATURES WAS PROVIDED BY:

DESIGN TREE ENGINEERING & LAND SURVEYING
120 17TH AVENUE WEST
ALEXANDRIA, MN 56308

2. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT

PROJECT CONTACTS

CIVIL ENGINEER
DESIGN TREE ENGINEERING AND
LAND SURVEYING
MICHAEL J. GERBER
120 17TH AVENUE WEST
ALEXANDRIA, MN 56308
TEL:320-460-7104
EMAIL:mjg@dte-ls.com

LAND SURVEYOR
DESIGN TREE ENGINEERING AND
LAND SURVEYING
JON D. SCHUETTE
120 17TH AVENUE WEST
ALEXANDRIA, MN 56308
TEL:320-460-7104
EMAIL:jds@dte-ls.com

OWNER
JAVA COMPANIES
MARK KROGH
879 SCHEFFLER AVE
ST. PAUL, MN 55102

BENCHMARK INFORMATION:

BENCHMARK #1: RAILROAD SPIKE IN POWER POLE
LOCATED ON THE NORTH WEST SIDE OF PROPERTY.
ELEV: 972.19

BENCHMARK #2: TOP NUT HYDRANT LOCATED ON THE
EAST SIDE OF THE SITE ENTRANCE.
ELEV: 981.03



DESIGN TREE
engineering + land surveying

Corporate Office:
120 17th Ave W Alexandria, MN 56308
888-216-1916

JAVA
COMPANIES

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION,
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: MICHAEL J. GERBER

DATE: 07-01-2025 LICENSE #: 56653

**MACKENTHUNS
OUTLOT RETAIL**

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

830 MARKETPLACE DRIVE
WACONIA MN

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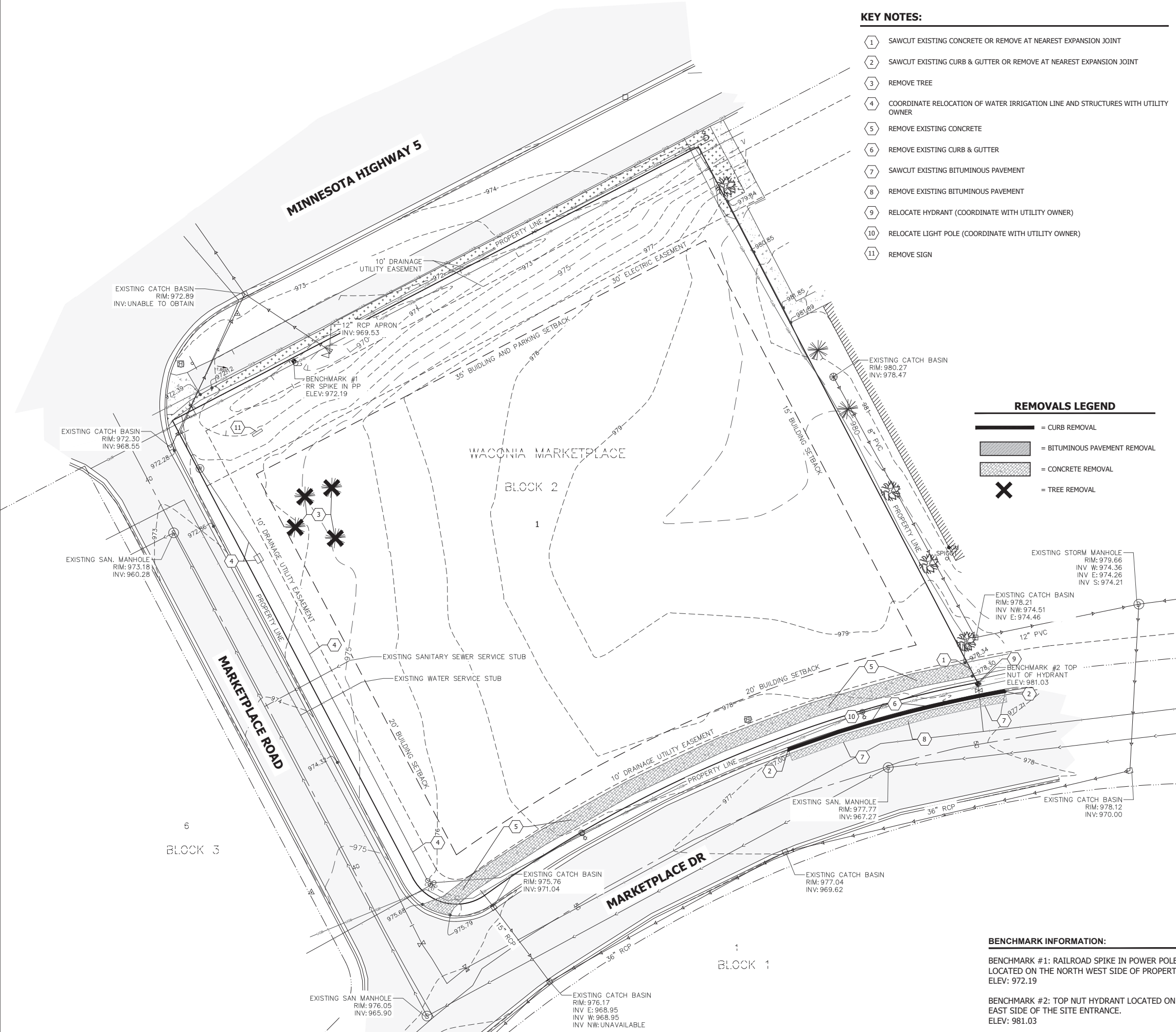
PROJECT NO.: 10924003

NO.	DATE	DESCRIPTION

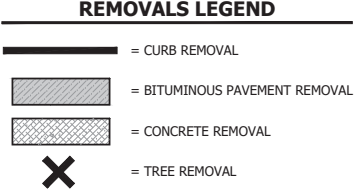
COVER SHEET

DRAWING NO.

C001



- KEY NOTES:**
- 1 SAWCUT EXISTING CONCRETE OR REMOVE AT NEAREST EXPANSION JOINT
 - 2 SAWCUT EXISTING CURB & GUTTER OR REMOVE AT NEAREST EXPANSION JOINT
 - 3 REMOVE TREE
 - 4 COORDINATE RELOCATION OF WATER IRRIGATION LINE AND STRUCTURES WITH UTILITY OWNER
 - 5 REMOVE EXISTING CONCRETE
 - 6 REMOVE EXISTING CURB & GUTTER
 - 7 SAWCUT EXISTING BITUMINOUS PAVEMENT
 - 8 REMOVE EXISTING BITUMINOUS PAVEMENT
 - 9 RELOCATE HYDRANT (COORDINATE WITH UTILITY OWNER)
 - 10 RELOCATE LIGHT POLE (COORDINATE WITH UTILITY OWNER)
 - 11 REMOVE SIGN



- NOTES:**
1. EXISTING CONDITIONS & TOPOGRAPHIC INFORMATION PROVIDED BY: DESIGN TREE ENGINEERING & LAND SURVEYING
120 17TH AVENUE W
ALEXANDRIA, MN 56308
 2. CONTRACTOR SHALL FIELD VERIFY ALL BUILDING DIMENSIONS AND REMOVAL LIMITS PRIOR TO ANY CONSTRUCTION.
 3. SAWCUT CURB AND GUTTER AND SIDEWALK, OR REMOVE AT NEAREST EXPANSION JOINTS.
 4. SAWCUT BITUMINOUS PAVEMENT FULL DEPTH AT ALL TIE-IN LOCATIONS.
 5. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS, AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. ALL EXCESS OR WASTE MATERIAL GENERATED AS PART OF CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 8. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
 9. THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATION AND ELEVATION TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION.
 10. GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES
 11. THE CONDITION OF THE ADJACENT STREET SHALL BE REVIEWED BY THE CITY AND CONTRACTOR PRIOR TO ANY WORK AND VERIFIED WITH VIDEO OR PITCURES. ANY DAMAGE TO THE STREET AFTER WORK COMMENCES SHALL BE DEEMED TO BE CAUSED BY THE CONTRACTOR AND BE THE OWNERS RESPONSIBILITY TO REPAIR.
 12. WORK WITHIN PUBLIC RIGHT-OF-WAY MUST BE COORDINATED WITH THE WACONIA PUBLIC SERVICES DEPARTMENT. CONTRACTOR MUST PROVIDE A MINIMUM 48-HOUR NOTICE PRIOR TO ANY WORK BEING PERFORMED. BITUMINOUS PAVEMENT SHALL BE SAWCUT AND CONCRETE REMOVED TO JOINT TO PROVIDE CLEAN MATCH LINES.

- LEGEND**
- HYDRANT
 - SANITARY MANHOLE
 - GATE VALVE
 - POWER POLE
 - LIGHT POLE
 - CATCH BASIN
 - SIGN
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SHRUB
 - PEDESTAL
 - GUY WIRE
 - MONITORING WELL
 - SANITARY SEWER CLEANOUT
 - STORM SEWER LINE
 - SANITARY SEWER LINE
 - WATERMAIN
 - OVERHEAD ELECTRIC
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS LINE
 - CONCRETE PAVEMENT
 - BITUMINOUS PAVEMENT
 - BUILDING

BENCHMARK INFORMATION:

BENCHMARK #1: RAILROAD SPIKE IN POWER POLE LOCATED ON THE NORTH WEST SIDE OF PROPERTY. ELEV: 972.19

BENCHMARK #2: TOP NUT HYDRANT LOCATED ON THE EAST SIDE OF THE SITE ENTRANCE. ELEV: 981.03



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: MICHAEL J. GERBER
DATE: 07-01-2025 LICENSE #: 56653

**MACKENTHUNS
OUTLOT RETAIL**

**PRELIMINARY:
NOT FOR
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830 MARKETPLACE DRIVE
WACONIA MN

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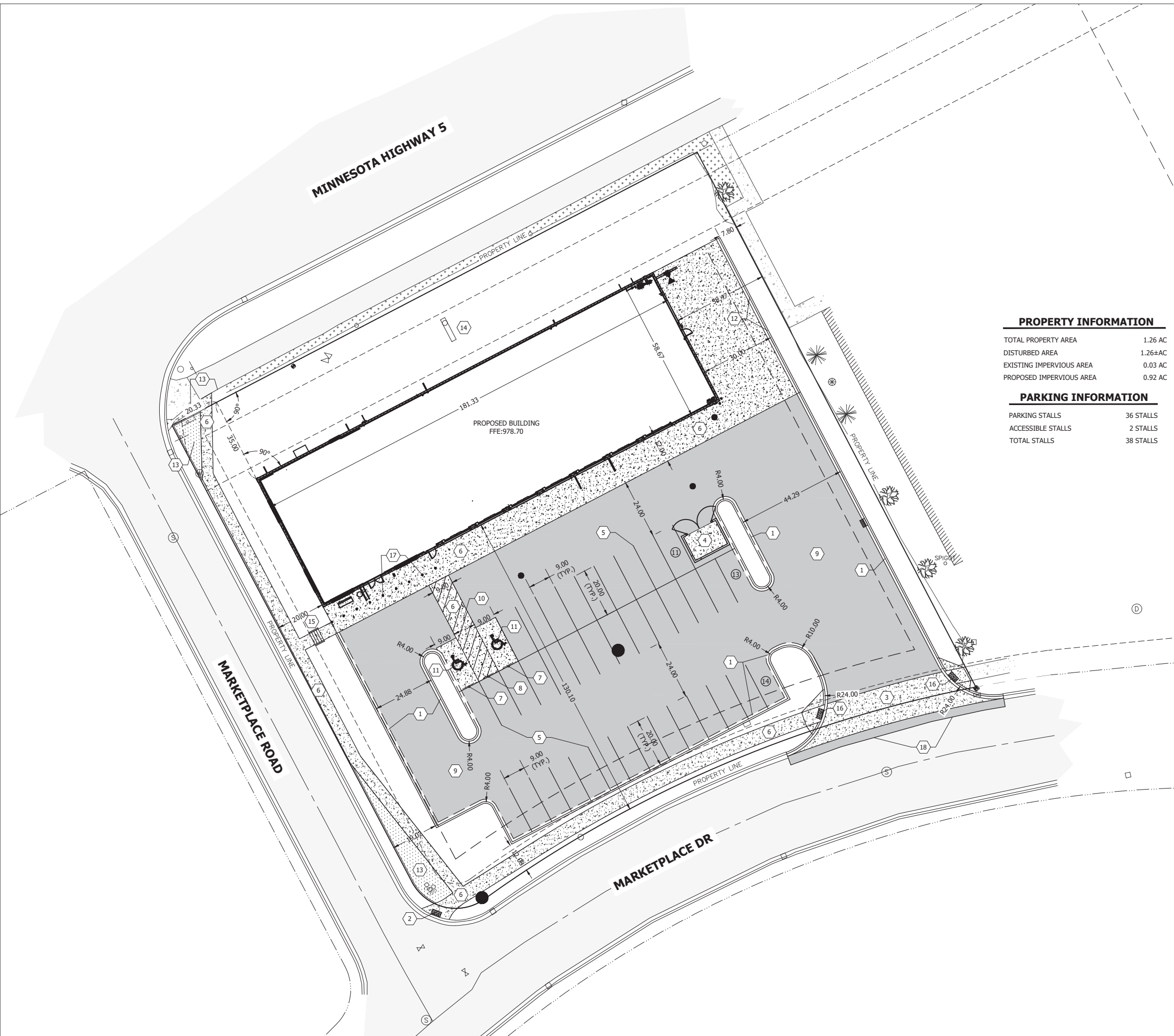
DRAWN BY: NPK
CHECKED BY: JEA

PROJECT NO.: 10924003

NO.	DATE	DESCRIPTION

**EXISTING
CONDITIONS &
REMOVALS PLAN**

DRAWING NO.
C101



PROPERTY INFORMATION

TOTAL PROPERTY AREA	1.26 AC
DISTURBED AREA	1.26±AC
EXISTING IMPERVIOUS AREA	0.03 AC
PROPOSED IMPERVIOUS AREA	0.92 AC

PARKING INFORMATION

PARKING STALLS	36 STALLS
ACCESSIBLE STALLS	2 STALLS
TOTAL STALLS	38 STALLS

SITE LEGEND

- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- CURB AND GUTTER
- TIPPED CURB AND GUTTER
- RETAINING WALL
- TRAFFIC CONTROL SIGNAGE
- PAINTED ACCESSIBLE PARKING SYMBOL

KEY NOTES:

- 1 B612 CURB AND GUTTER
- 2 ADA PEDESTRIAN RAMP (SEE DETAILS)
- 3 CONCRETE DRIVE APRON
- 4 TRASH ENCLOSURE (SEE ARCHITECTURAL)
- 5 PARKING STRIPING
- 6 CONCRETE SIDEWALK
- 7 "ACCESSIBLE PARKING" SIGN & POST
- 8 "NO PARKING" SIGN & POST
- 9 BITUMINOUS PAVEMENT
- 10 ACCESSIBLE PARKING STRIPING
- 11 ACCESSIBLE PARKING MARKINGS
- 12 RAISED CURB- HEIGHT VARIES (SEE GRADING PLAN)
- 13 LANDSCAPE RESTORATION
- 14 SIGN (SEE ARCHITECTURAL)
- 15 STEPS W/HANDRAILS (SEE DETAIL)
- 16 TRUNCATED DOMES
- 17 BOLLARDS (TYP) (SEE ARCHITECTURAL)
- 18 BITUMINOUS PAVEMENT REPAIR

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO FLOW LINE, CENTERLINE OF FENCE, EDGE OF PAVEMENT, OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY ALL PLAN AND DETAIL DIMENSIONS PRIOR TO CONSTRUCTION.
3. ALL CROSSWALK STRIPING SHALL BE WHITE IN COLOR.
4. ALL INTERIOR PARKING STALL STRIPING SHALL BE 4" AND YELLOW IN COLOR.
5. ACCESSIBLE PARKING STALL STRIPING, ACCESS AISLE, SYMBOL, AND SIGNAGE SHALL BE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
6. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
7. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
8. CONTRACTOR SHALL PROVIDE A TEMPORARY PEDESTRIAN ACCESS ROUTE PLAN FOR ANY WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
9. CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR ANY WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
10. GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: MICHAEL J. GERBER

DATE: 07-01-2025 LICENSE #: 56653

MACKENTHUNS OUTLOT RETAIL

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

830 MARKETPLACE DRIVE
WACONIA MN

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PROJECT NO.: 10924003

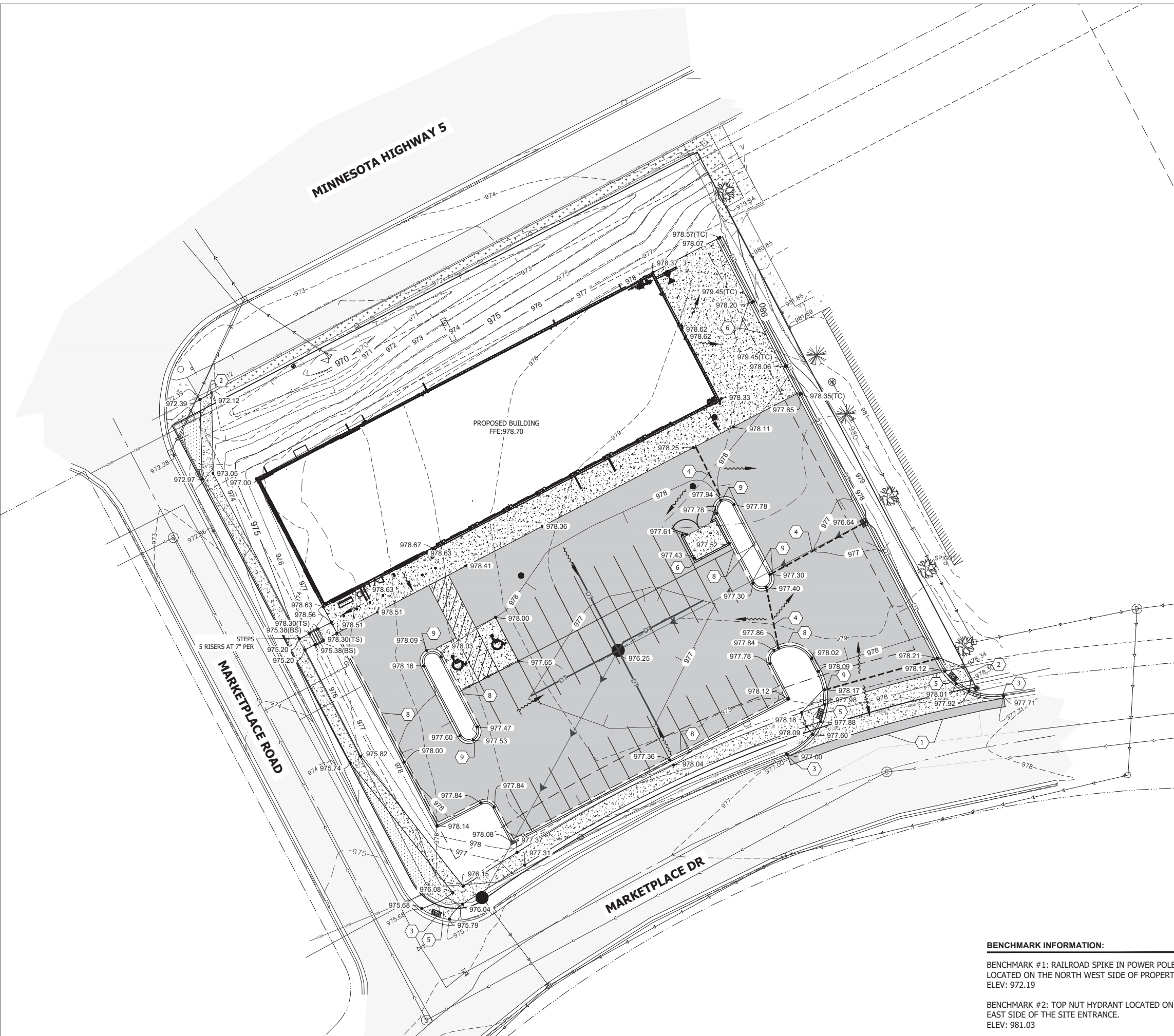
NO.	DATE	DESCRIPTION

SITE PLAN

DRAWING NO.

C201





- NOTES:**
1. THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/ OR RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATION AND ELEVATION TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION.
 2. SIDEWALKS SHALL MEET ADA REQUIREMENTS, AND SHALL NOT EXCEED 2.00% CROSS SLOPE, OR 5.00% LONGITUDINAL SLOPE.
 3. CONCRETE ENTRANCES AND APPROACHES SHALL NOT EXCEED 2.00% CROSS SLOPE IN SIDEWALK AREAS.
 4. ACCESSIBLE PARKING STALLS SHALL MEET ADA REQUIREMENTS, AND SHALL NOT EXCEED 2.00% SLOPE IN ALL DIRECTIONS.
 5. PEDESTRIAN RAMPS SHALL MEET ADA REQUIREMENTS.
 6. ALL EXCESS OR WASTE MATERIAL GENERATED AS PART OF CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 7. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
 8. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 9. SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
 10. GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES.

- GRADING LEGEND**
- - - - - = EXISTING MAJOR CONTOUR
 - - - - - = EXISTING MINOR CONTOUR
 - - - - - = EXISTING CONTOUR LABEL
 - = PROPOSED MAJOR CONTOUR
 - = PROPOSED MINOR CONTOUR
 - = PROPOSED CONTOUR LABEL
 - = EXISTING SPOT ELEVATION*
 - = PROPOSED SPOT ELEVATION*
 - = PROPOSED SPOT ELEVATION
 - 978.67(TC) = PROPOSED TOP CURB ELEVATION
 - 978.67(TS) = PROPOSED TOP STEP ELEVATION
 - 978.67(BS) = PROPOSED BOTTOM STAIR ELEVATION

*SPOT ELEVATIONS ALONG CURB & GUTTER AND OTHER REVEALS ARE TO FLOWLINE, UNLESS OTHERWISE NOTED.

- KEY NOTES:**
- 1 MATCH INTO EXISTING BITUMINOUS PAVEMENT
 - 2 MATCH INTO EXISTING CONCRETE
 - 3 MATCH INTO EXISTING CURB & GUTTER
 - 4 GRADE BREAK
 - 5 ADA PEDESTRIAN RAMP (SEE DETAILS)
 - 6 CONSTRUCT DRAINAGE CHANNEL IN BACK OF WALL
 - 7 CURB HEIGHT VARIES
 - 8 TIPPED GUTTER
 - 9 GUTTER TRANSITION

BENCHMARK INFORMATION:

BENCHMARK #1: RAILROAD SPIKE IN POWER POLE LOCATED ON THE NORTH WEST SIDE OF PROPERTY. ELEV: 972.19

BENCHMARK #2: TOP NUT HYDRANT LOCATED ON THE EAST SIDE OF THE SITE ENTRANCE. ELEV: 981.03



DESIGN TREE
 engineering + land surveying
 Corporate Office:
 120 17th Ave W Alexandria, MN 56308
 888-216-1916

JAVA
 COMPANIES

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PRINTED NAME: MICHAEL J. GERBER
 DATE: 07-01-2025 LICENSE #: 56653

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OUTLOT RETAIL

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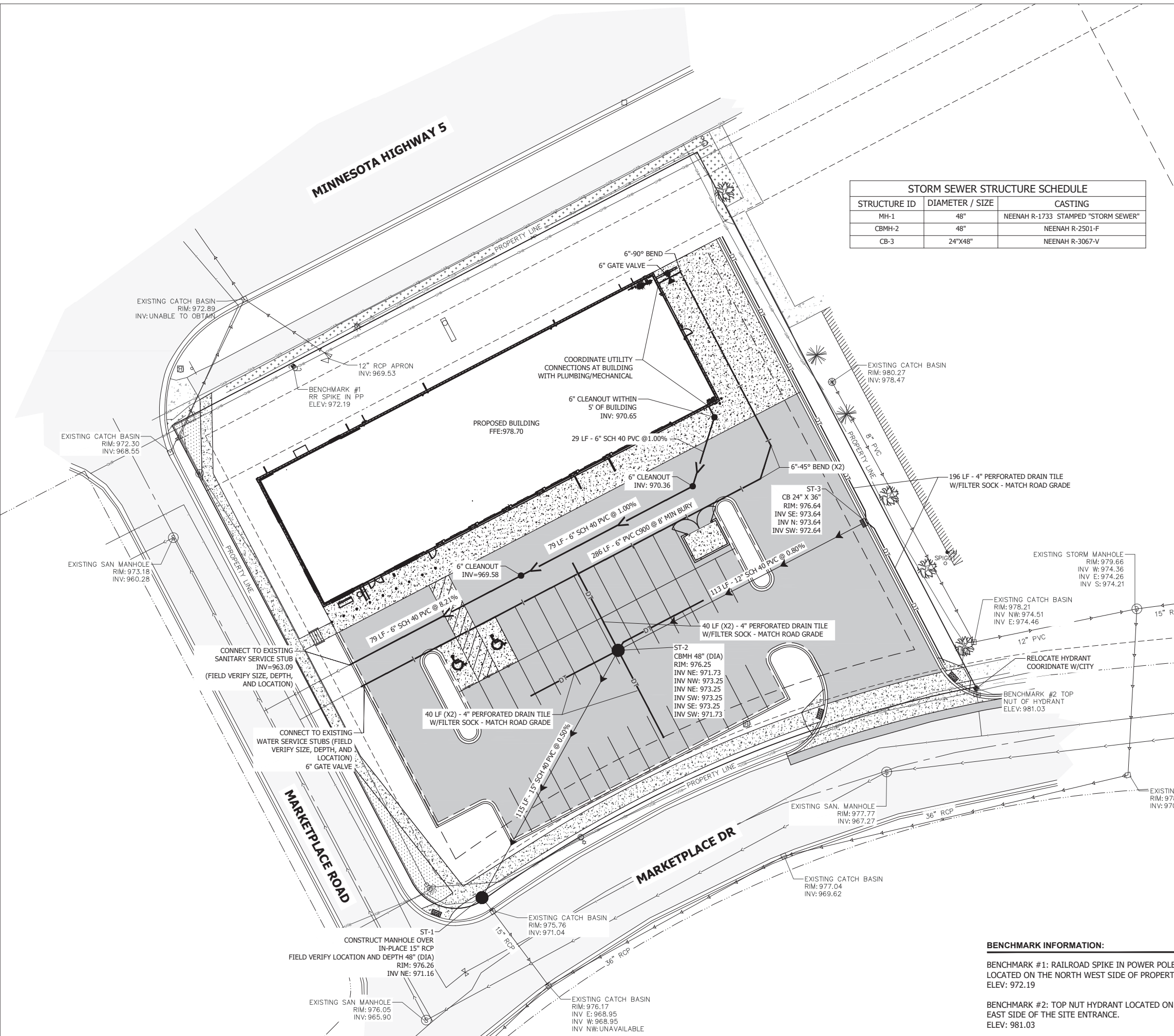
DRAWN BY: NPK
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PROJECT NO.: 10924003

NO.	DATE	DESCRIPTION

GRADING PLAN

DRAWING NO.
C301



STORM SEWER STRUCTURE SCHEDULE		
STRUCTURE ID	DIAMETER / SIZE	CASTING
MH-1	48"	NEENAH R-1733 STAMPED "STORM SEWER"
CBMH-2	48"	NEENAH R-2501-F
CB-3	24"X48"	NEENAH R-3067-V

- NOTES:**
- THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/ OR RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATION AND ELEVATION TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY AND COORDINATE BUILDING UTILITY CONNECTION SIZES, LOCATIONS, AND ELEVATIONS WITH PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS.
 - ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
 - ALL WATER PIPING SHALL BE BURIED A MINIMUM OF 8'.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTIONS WITHIN 10 FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
 - SANITARY SEWER CLEANOUTS SHALL BE PROVIDED WITHIN 5' OF THE BUILDING FOR UNIT'S CONNECTION.
 - SANITARY SEWER CLEANOUT SPACING SHALL NOT EXCEED 90'.
 - SANITARY SEWER SERVICES SHALL HAVE A MINIMUM OF 2.00% GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
 - ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150
 - ALL CONSTRUCTION, MATERIALS, AND TESTING SHALL BE IN ACCORDANCE WITH THE MINNESOTA STATE PLUMBING CODE.
 - CONTRACTOR SHALL COORDINATE UTILITY INSPECTIONS WITH LOCAL AUTHORITIES HAVING JURISDICTION.
 - GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES.
 - ALL DIP WATERMAIN PIPE AND METAL FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE ENCASUREMENT MATERIAL.
 - CITY INSPECTION IS REQUIRED DURING UTILITY INSTALLATION. CONTRACTOR SHALL COORDINATE INSPECTIONS WITH THE CITY PUBLIC SERVICES DEPARTMENT. 48 HOURS NOTIFICATION IN ADVANCE OF UTILITY INSTALLATION WORK IS REQUIRED. CITY PUBLIC SERVICE DEPARTMENT CAN BE CONTACTED AT 952-442-2615.
 - THE CONDITION OF THE EXISTING STORM SEWER IN 8TH STREET SHALL BE DOCUMENTED PRIOR TO ANY WORK. ANY SEDIMENT DEPOSITED IN THE SEWER AFTER CONSTRUCTION BEGINS SHALL BE DEEMED TO BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL SITE APPROVAL.

UTILITY LEGEND

	= HYDRANT
	= CURB STOP
	= GATE VALVE
	= SANITARY MANHOLE
	= CLEANOUT
	= STORM MANHOLE
	= CATCH BASIN
	= CULVERT APRON
	= WATER LINE
	= SANITARY LINE
	= STORM LINE

BENCHMARK INFORMATION:

BENCHMARK #1: RAILROAD SPIKE IN POWER POLE LOCATED ON THE NORTH WEST SIDE OF PROPERTY. ELEV: 972.19

BENCHMARK #2: TOP NUT HYDRANT LOCATED ON THE EAST SIDE OF THE SITE ENTRANCE. ELEV: 981.03



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PRINTED NAME: MICHAEL J. GERBER
 DATE: 07-01-2025 LICENSE #: 56653

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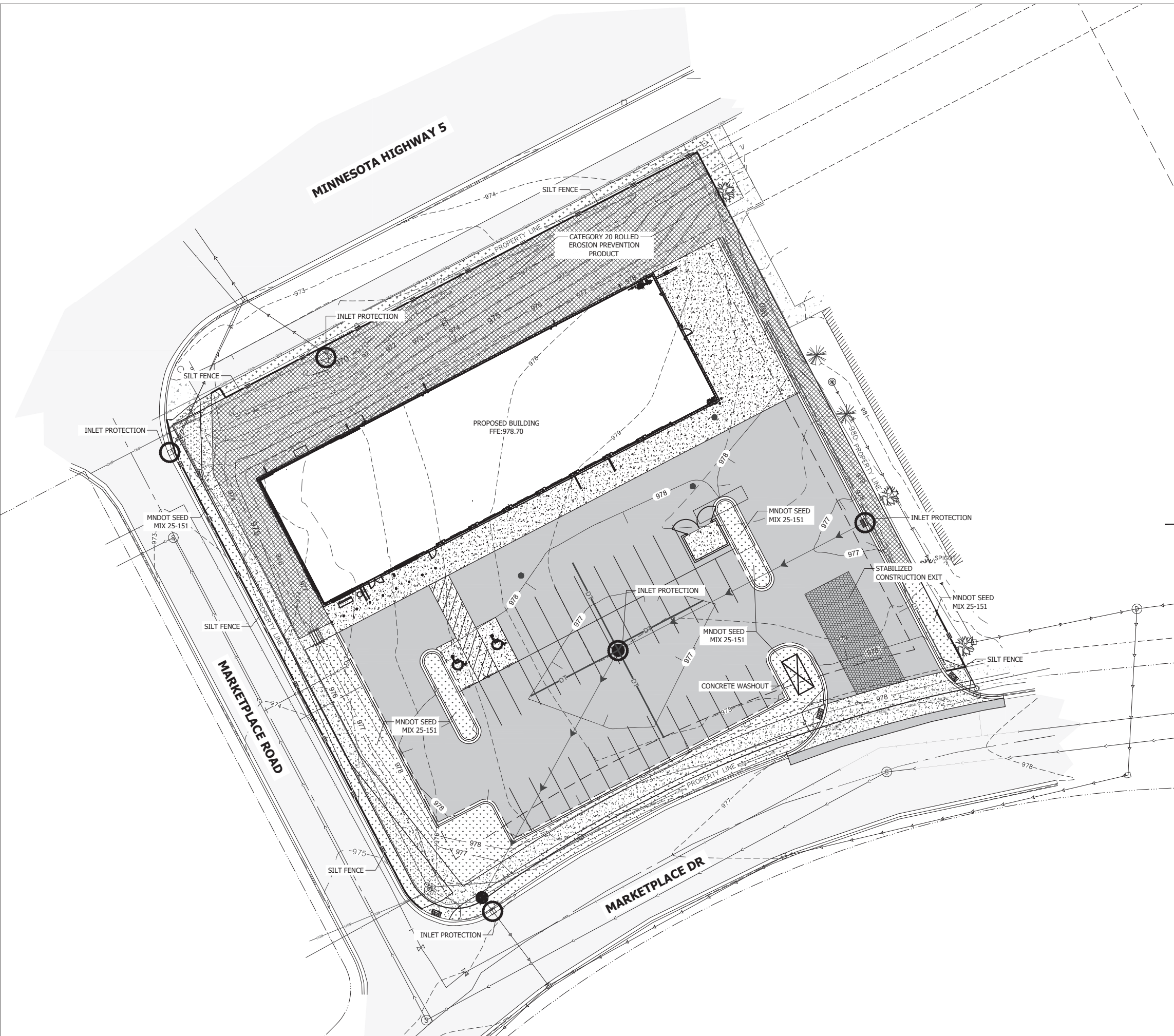
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PROJECT NO.: 10924003

NO.	DATE	DESCRIPTION

UTILITY PLAN

DRAWING NO.
C401



NOTES:

1. ALL DISTURBED AREAS SHALL BE FINAL GRADED AND PERMANENTLY STABILIZED WITH THE SEED MIX IDENTIFIED ON PLANS.
2. THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES PERMIT, MNDOT, AND THE CITY.
3. INLET PROTECTION SHALL BE PROVIDED ON ALL CATCH BASINS AND INLETS DOWN GRADIENT OF CONSTRUCTION ACTIVITY.
4. PROVIDE SILT FENCE PERIMETER CONTROL DOWN GRADIENT OF ALL CONSTRUCTION ACTIVITY AND TEMPORARY STOCKPILES.
5. TEMPORARY STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
6. NO OFFSITE VEHICLE TRACKING IS PERMITTED. STREETS SHALL BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS.
7. REFER TO THE SWPPP AND THE CITY OF WACONIA EROSION CONTROL REQUIREMENTS FOR FURTHER EROSION CONTROL SEQUENCING.
8. GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES.

TOPSOIL NOTES:

1. TOPSOIL SHALL BE RESTORED AT CCWMO STANDARDS TO A MINIMUM DEPTH OF 6" ACROSS ALL PVIOUS AREAS SHOWN ON THE DRAWINGS
2. TOPSOIL RESTORATION AREA OF 1,791 SY SHALL BE FIELD VERIFIED.

EROSION CONTROL LEGEND & QUANTITIES:

	STABILIZED CONSTRUCTION EXIT	(1 EA)
	SILT FENCE	(518 LF)
	MNDOT SEED MIX 25-151	(0.14 AC)
	CATEGORY 20 ROLLED EROSION PREVENTION PRODUCT	(1,118 SY)
	INLET PROTECTION	(5 EA)

NOTE: QUANTITIES SHOWN ARE FOR SWPPP PLAN, AND ARE NOT FOR BIDDING PURPOSES. SEE LANDSCAPE PLANS FOR FINAL STABILIZATION REQUIREMENTS.

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**MACKENTHUNS
OUTLOT RETAIL**

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WACONIA MN

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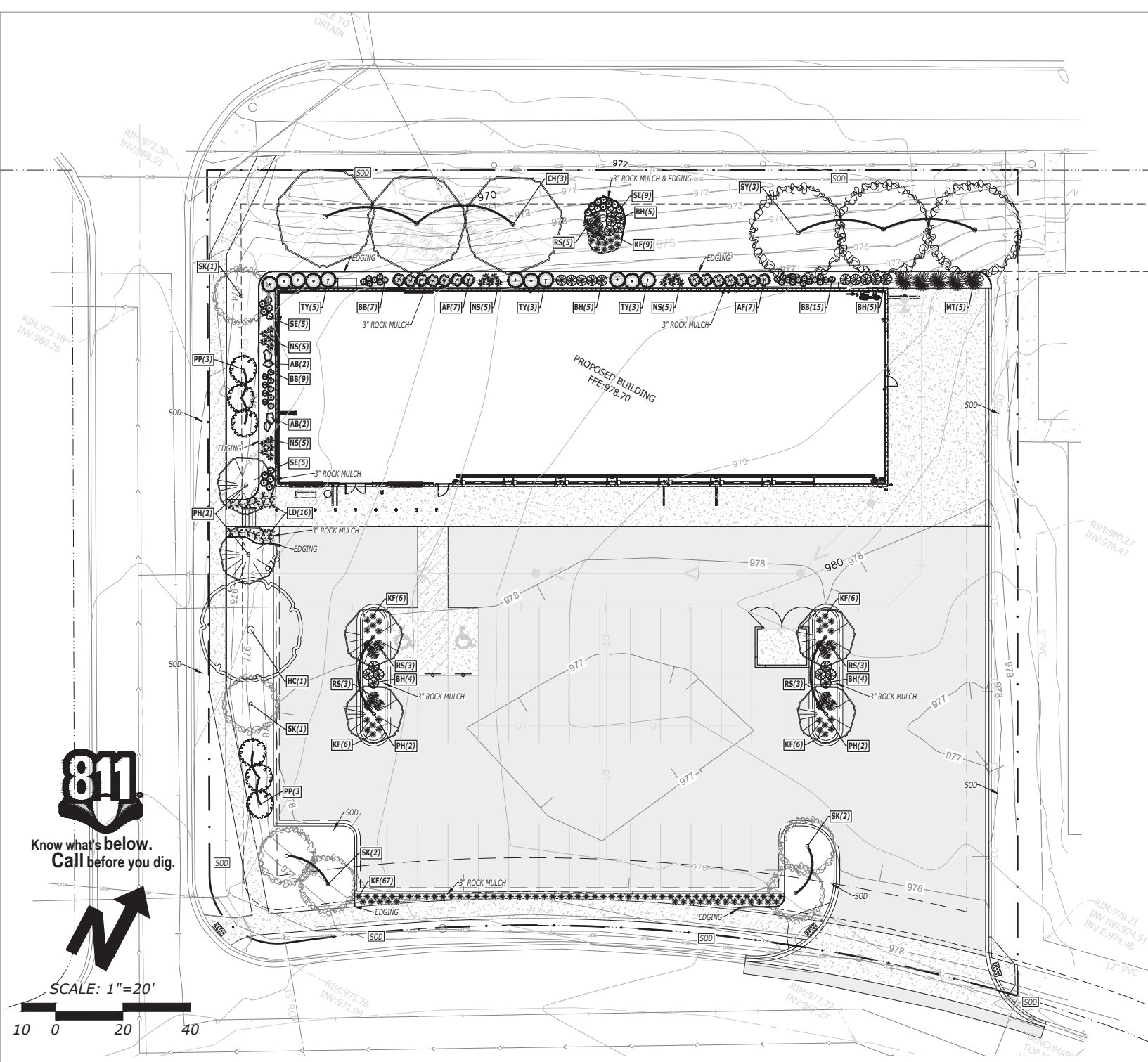
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**EROSION
CONTROL PLAN**

DRAWING NO.

C501





LANDSCAPE NOTES:

- CONTRACTOR TO HAVE ALL UTILITIES ON SITE VERIFIED AND MARKED BEFORE STARTING WORK.
- CONTRACTOR IS LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- CONTRACTOR IS LIABLE FOR ALL DAMAGE RELATED TO CONTRACTORS ACTIVITY ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL RIGHT-OF-WAY.
- COMPLETE WORK PER OWNERS CONSTRUCTION SCHEDULE AND COORDINATE WORK WITH OTHERS ON SITE.
- PLANT MATERIAL SHALL COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE FREE OF DISEASE AND DAMAGE.
- ALL PLANT MATERIALS TO BE WARRANTIED ONE (1) FULL YEAR FROM THE COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT.
- WATER AND MAINTAIN ALL PLANT MATERIALS UNTIL ACCEPTED BY OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOW ON THE PLAN COMPARED TO THE PLANT LEGEND, THE PLAN TAKES PRECEDENCE.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO RECEIVE 6" OF TOPSOIL AND SOD UNLESS OTHERWISE SPECIFIED ON PLANS.
- VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- REPLACEMENT TOPSOIL SHOULD BE CLEAN, FREE OF DEBRIS, SHARP OBJECTS, ROCKS AND WEEDS.
- ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- SOD TO BE A KENTUCKY BLUEGRASS SEED VARIETY.
- NO GUARANTEE ON SOD EXCEPT SOD THAT IS NOT ACCEPTABLE AT TIME OF INSTALLATION.
- STAKE SOD ON SLOPES 3:1 AND GREATER.
- PROVIDE BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE HYDROMULCH OR DISCED STRAW DEPENDING ON SEED TYPE.
- INSTALL BLACK VINYL EDGING AROUND ALL PLANTING BEDS AS SHOWN ON PLAN.
- MULCH TO BE FINELY SHREDDED, UNDYED, HARDWOOD ORGANIC MULCH INSTALLED TO 4" DEPTH.
- NO WEED FABRIC BARRIER BENEATH ORGANIC MULCHES.
- TREES SHALL HAVE MULCH PULLED BACK 2" FROM BASE OF TRUNK.
- NO EDGING AROUND TREES OUTSIDE OF SHRUB BEDS.
- ROCK MULCH SHALL BE 1-1/2" DIAMETER BUFF LIMESTONE ROCK INSTALLED TO 3" DEPTH WITH APPROVED WEED FABRIC BARRIER.
- SWEEP AND MAINTAIN ALL PAVEMENT AREAS AFTER LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER, DAILY CLEANING TO BE COMPLETED IF REQUIRED BY THE MUNICIPALITY.

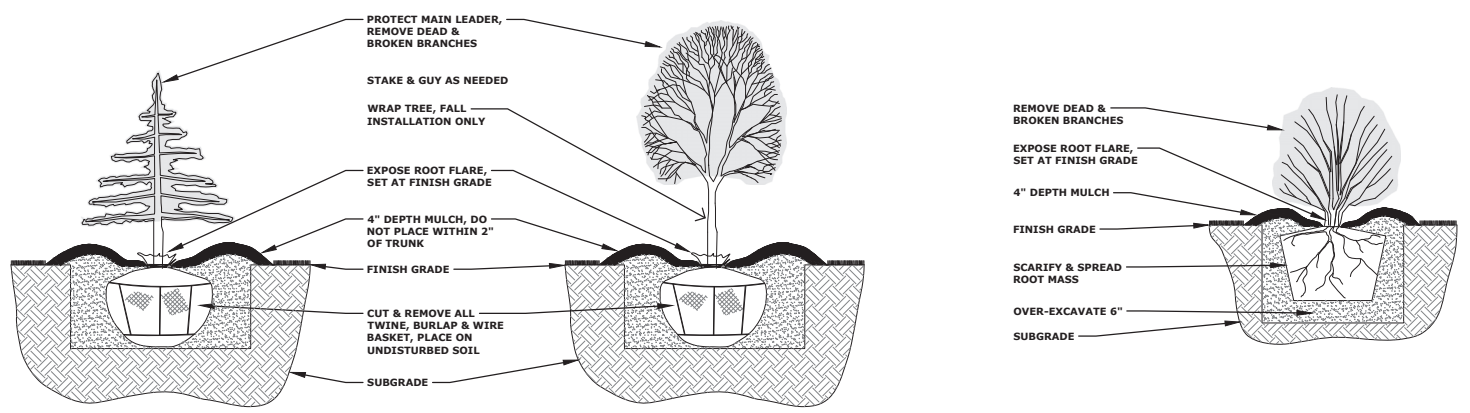
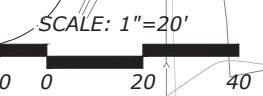
LANDSCAPE REQUIREMENTS

- B-1 ZONING DISTRICT
- ONE (1) TREE PER 1,000 SF OF BUILDING AREA OR ONE (1) TREE PER 50 FT OF SITE PERIMETER WHICHEVER IS GREATER
- 10,638 SF BUILDING AREA
- 11 TREES REQUIRED
- 947 LF OF SITE PERIMETER
- 19 TREES REQUIRED PROVIDED
- HWY 5 FRONTAGE REQUIREMENTS
- ONE (1) 3" CAL. DECIDUOUS TREE OR ONE (1) 8' CONFIEROUS TREE PER 40 LF OF HWY FRONTAGE.
- 240 LF OF FRONTAGE = 6 TREES REQUIRED PROVIDED

LANDSCAPE PLANT LEGEND

DECIDUOUS TREES							
SY	3	EXCLAMATION! SYCAMORE <i>Platanus x acerifolia 'Morton Circle'</i>	3" CAL.	B&B	60'H x 45'W		
HC	1	HORSE CHESTNUT <i>Aesculus hippocastanum</i>	2.5" CAL.	B&B	55'H x 50'W		
CH	3	COMMON HACKBERRY <i>Celtis occidentalis</i>	3" CAL.	B&B	50'H x 50'W		
SK	6	STREETKEEPER HONEYLOCUST <i>Gleditsia tricanthos 'Draves'</i>	2.5" CAL.	B&B	45'H x 20'W		
PH	6	PRAIRIE HORIZON ALDER <i>Alnus hirsuta 'Harbin'</i>	2" CAL.	B&B	35'H x 25'W		
ORNAMENTAL TREES							
PP	6	PARKLAND PILLAR BIRCH <i>Betula platyphylla 'Jefpark'</i>	1.5" CAL.	B&B	40'H x 7'W		
EVERGREEN TREES							
MT	5	MUGO TANNENBAUM <i>Pinus mugo 'Tannenbaum'</i>	36" HT	B&B	10'H x 6'W		
SHRUBS							
TY	11	TAUNTON YEW <i>Taxus x media 'Tauntonii'</i>	#2 CONT.	POT	3'H x 5'W		
AF	14	ARCTIC FIRE DOGWOOD <i>Cornus stolonifera 'Farrow'</i>	#2 CONT.	POT	4'H x 4'W		
BH	23	DWARF BUSH HONEYSUCKLE <i>Diervilla lonicera</i>	#2 CONT.	POT	3'H x 3'W		
PERENNIALS							
RS	17	RUSSIAN SAGE <i>Salvia yangii</i>	#1 CONT.	POT	4'H x 3'W		
LD	16	LAVENDER BLUE BABY DAYLILY <i>Hemerocallis 'Lavender Blue Baby'</i>	#1 CONT.	POT	1.5'H x 2'W		
SE	19	AUTUMN FIRE <i>Sedum x 'Autumn Fire'</i>	#1 CONT.	POT	1.5'H x 2'W		
ORNAMENTAL GRASSES							
BB	31	BIG BLUESTEM <i>Andropogon gerardii</i>	#1 CONT.	POT	5'H x 2'W		
KF	102	KARL FORESTER FEATHER REED GRASS <i>Calamagrotis x acutiflora 'Karl Forester'</i>	#1 CONT.	POT	4'H x 2.5'W		
NS	20	NORTHWIND SWITCH GRASS <i>Panicum virgatum 'Northwind'</i>	#1 CONT.	POT	4'H x 2.5'W		
AB	4	ASSORTED BOULDERS <i>LOCAL SOURCE</i>	VARIES		2'-5'		

811
Know what's below.
Call before you dig.



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SIGNATURE: Joseph L. Schellner
Expiration: 06-30-2026

License #: 55597
Date: 07-01-2025

PROJECT MANAGER
LOUIE
DRAWN BY
J + L

PROJECT NAME
**MACKENTHUNS
OUTLOT RETAIL**
830 MARKETPLACE
DRIVE WACONIA, MN

ISSUE LOG
01-09-2025 SUBMITTAL
07-01-2025 SITE REDESIGN

PROJECT NUMBER
SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NUMBER

L101

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830 MARKETPLACE
 DRIVE WACONIA, MN

ISSUE LOG

01-09-2025	SUBMITTAL
07-01-2025	SITE REDESIGN

PROJECT NUMBER

SHEET TITLE

**GROUND
 COVER
 PLAN**

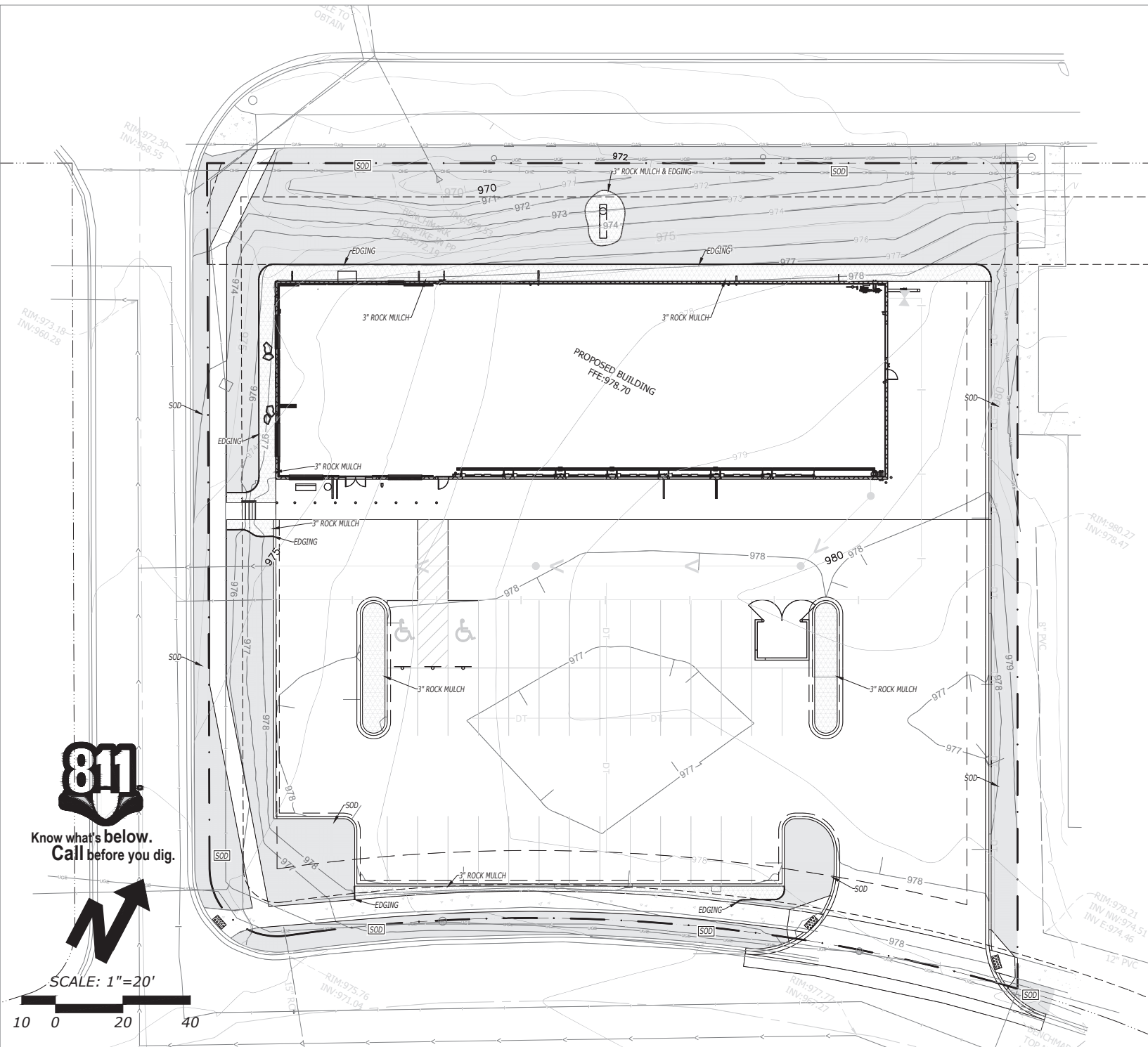
SHEET NUMBER

L102

IRRIGATION NOTES:

- IRRIGATE ENTIRE SITE, DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND PLANTINGS.
- MINIMIZE OVERSPRAY ON BUILDINGS AND PAVEMENT.
- DRIP IRRIGATION TO BE PROVIDED FOR ALL LANDSCAPE BEDS.
- CONTRACTOR TO REVIEW MECHANICAL AND ELECTRICAL PLANS FOR WATER STUB OUT AND ELECTRICAL LOCATIONS.
- CONTRACTOR TO VERIFY WATER STUB OUT SIZE IS SUFFICIENT, NOTIFY OWNER OF ANY DEFICIENCY.
- CONTRACTOR TO VERIFY CONTROLLER LOCATION WITH OWNER BEFORE INSTALLATION.
- RPZ BACKFLOW PREVENTER TO BE USED AT WATER STUB OUT.
- PREFERRED CONTROLLER SHOULD BE A WATERSENSE WEATHER BASED IRRIGATION CONTROLLER (WBIC).
- CONTRACTOR TO HAVE ALL UTILITIES ON SITE VERIFIED AND MARKED BEFORE STARTING WORK.
- CONTRACTOR IS LIABLE FOR ANY DAMAGE TO EXISTING UTILITIES ON SITE AND RESPONSIBLE FOR THE COSTS ASSOCIATED WITH REPAIRING/REPLACING DAMAGE.
- CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR IN ORDER TO PROVIDE ALL PVC SLEEVES AT A DEPTH OF 2'-0" BELOW FINISHED GRADE. MARK LOCATIONS OF PLACED PVC SLEEVES.
- CONTRACTOR TO PLACE MAIN LINES MINIMUM 1'-6" BELOW FINISH GRADE, LATERAL LINES MINIMUM 1'-0" BELOW FINISH GRADE.
- WIRES TO BE MINIMUM 16 AWG SOLID COPPER. SPLICE ONLY AT BOXES WITH MOISTURE RATED CONNECTORS.
- VALVES BOXES AND COVERS SHOULD BE BEST COLOR TO MATCH WITH SURROUNDING LANDSCAPE.
- BOXES TO BE SET ON A BASE OF 3" MINIMUM DEPTH 3/4" CLEAR GRAVEL.
- PLACE BOXES IN LANDSCAPE BEDS WHEN POSSIBLE.
- TRENCH BACKFILL TO BE CLEAN, FREE OF DEBRIS, SHARP OBJECTS AND ROCKS.
- CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS TO OWNERS UPON COMPLETION OF WORK.

SOD - 1,665 SY			
EDGING - 340 LF			
ROCK MULCH - 23 CY			
MULCH (TREES/SHRUBS OUTSIDE OF BEDS) - 2 CY			
AB	4	ASSORTED BOULDERS LOCAL SOURCE	VARIES 2'-5'





P1
EXTERIOR PERSPECTIVE - PA

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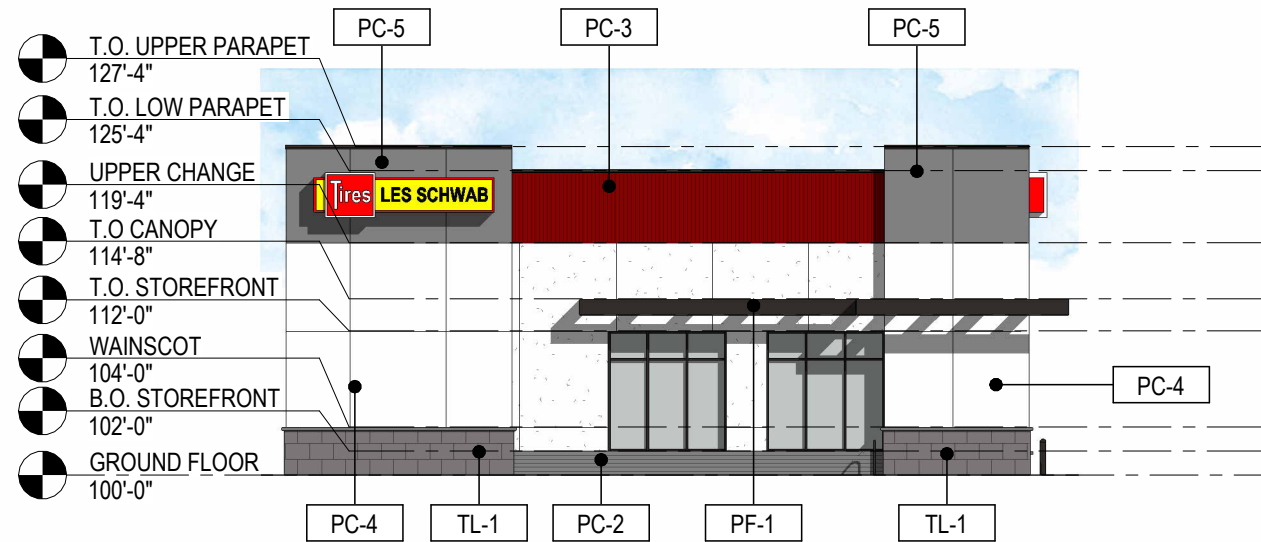
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1 EXTERIOR ELEVATION - PA1
SCALE: 1/16" = 1'-0"



2 EXTERIOR ELEVATION - PA2
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND:

PC-1	PRECAST AGGREGATE WHITE
PC-2	PRECAST HORIZONTAL RIBBED DARK GREY
PC-3	PRECAST VERTICAL RIBBED RED
PC-4	PRECAST SMOOTH WHITE
PC-5	PRECAST SMOOTH DARK GREY
TL-1	LARGE FORMAT TILE
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020



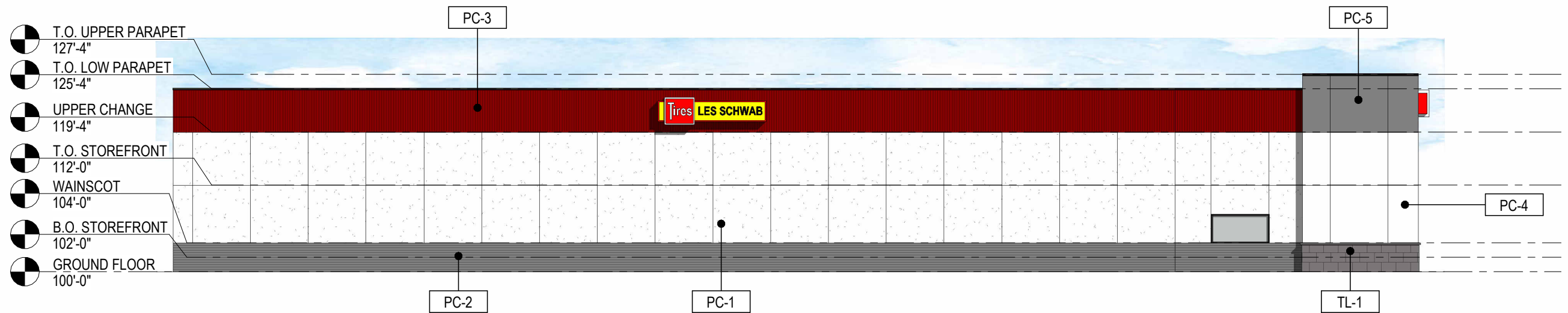
P2
EXTERIOR ELEVATIONS - PA

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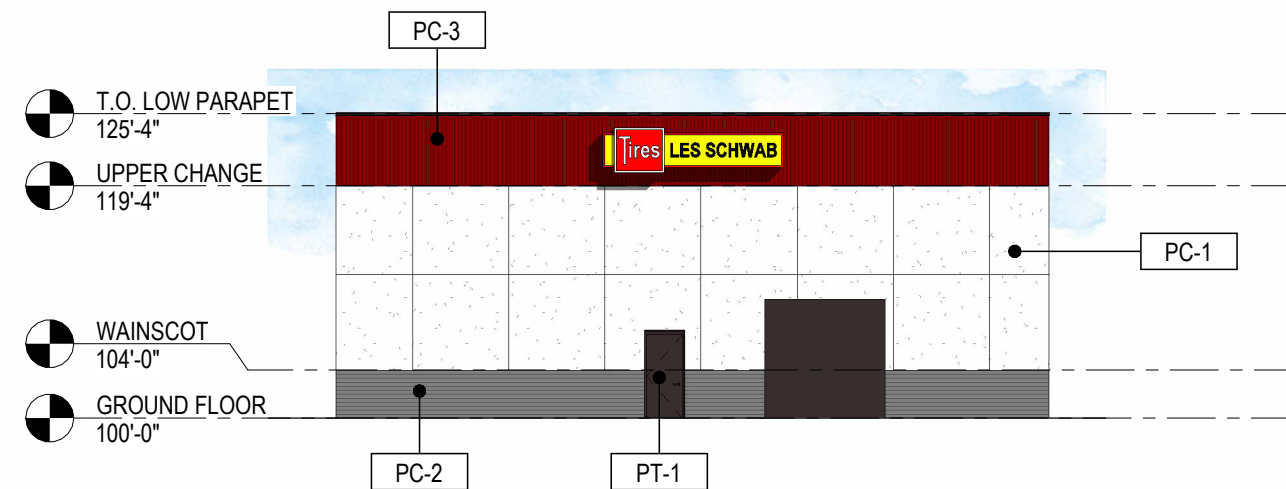
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1 EXTERIOR ELEVATION - PA3
SCALE: 1/16" = 1'-0"



2 EXTERIOR ELEVATION - PA4
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND:

PC-1	PRECAST AGGREGATE WHITE
PC-2	PRECAST HORIZONTAL RIBBED DARK GREY
PC-3	PRECAST VERTICAL RIBBED RED
PC-4	PRECAST SMOOTH WHITE
PC-5	PRECAST SMOOTH DARK GREY
TL-1	LARGE FORMAT TILE
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020



P3
EXTERIOR ELEVATIONS - PA

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P4
EXTERIOR PERSPECTIVE - PB

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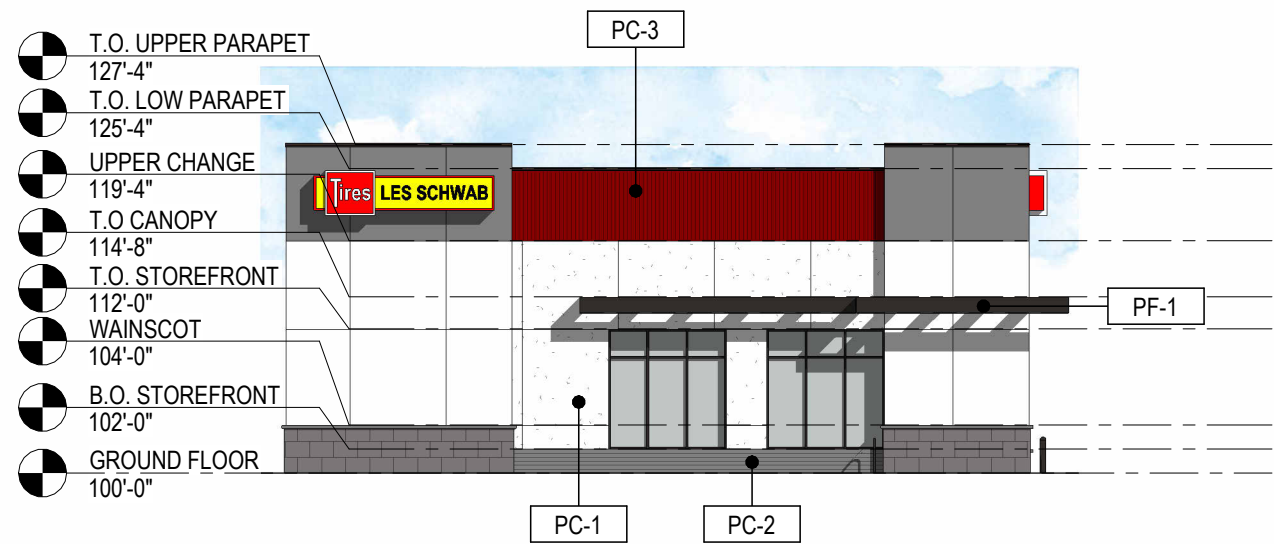
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1 EXTERIOR ELEVATION - PB1
SCALE: 1/16" = 1'-0"



2 EXTERIOR ELEVATION - PB2
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND:	
PC-1	PRECAST AGGREGATE WHITE
PC-2	PRECAST HORIZONTAL RIBBED DARK GREY
PC-3	PRECAST VERTICAL RIBBED RED
PC-4	PRECAST SMOOTH WHITE
PC-5	PRECAST SMOOTH DARK GREY
TL-1	LARGE FORMAT TILE
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020

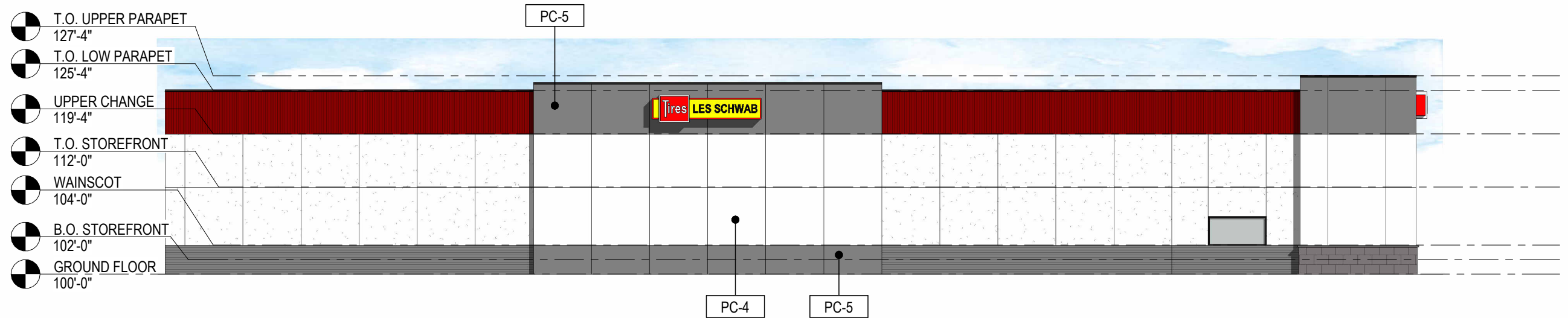


P5
EXTERIOR ELEVATIONS - CB

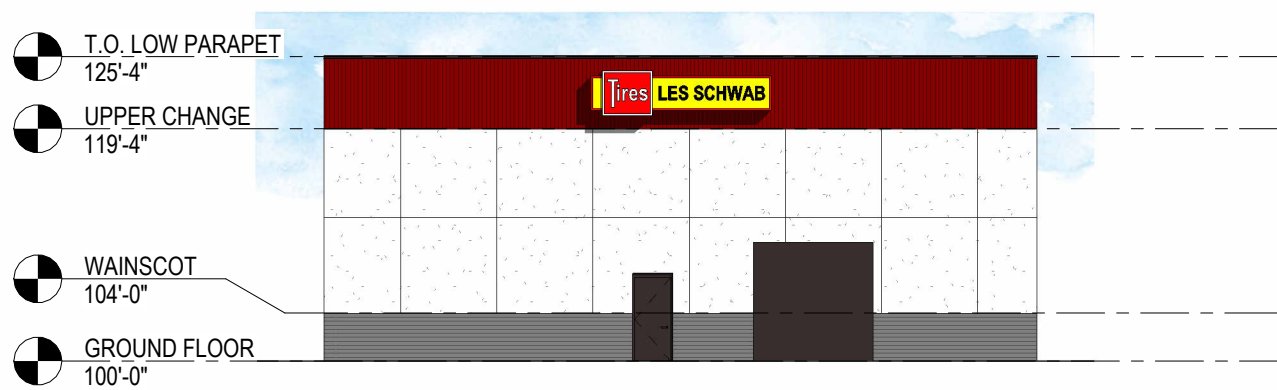
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1 EXTERIOR ELEVATION - PB3
SCALE: 1/16" = 1'-0"



2 EXTERIOR ELEVATION - PB4
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND:

PC-1	PRECAST AGGREGATE WHITE
PC-2	PRECAST HORIZONTAL RIBBED DARK GREY
PC-3	PRECAST VERTICAL RIBBED RED
PC-4	PRECAST SMOOTH WHITE
PC-5	PRECAST SMOOTH DARK GREY
TL-1	LARGE FORMAT TILE
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020



P6
EXTERIOR ELEVATIONS - CB

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P7
EXTERIOR PERSPECTIVE - PC

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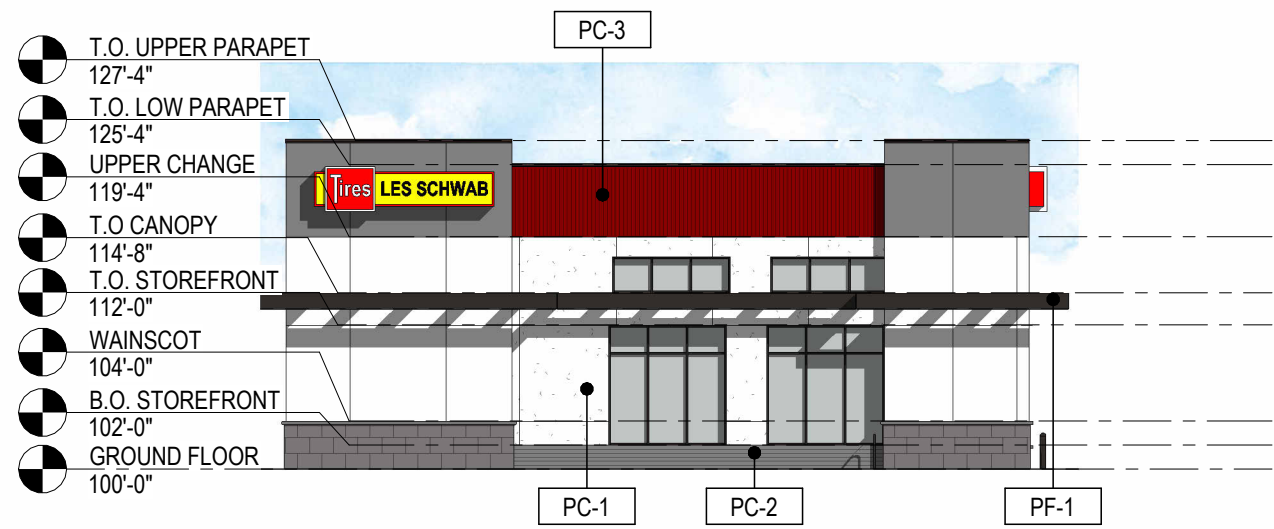
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OUTDOOR SOLUTIONS BY T. PROTEC

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1 EXTERIOR ELEVATION - PC1
SCALE: 1/16" = 1'-0"



2 EXTERIOR ELEVATION - PC2
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND:

PC-1	PRECAST AGGREGATE WHITE
PC-2	PRECAST HORIZONTAL RIBBED DARK GREY
PC-3	PRECAST VERTICAL RIBBED RED
PC-4	PRECAST SMOOTH WHITE
PC-5	PRECAST SMOOTH DARK GREY
TL-1	LARGE FORMAT TILE
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020

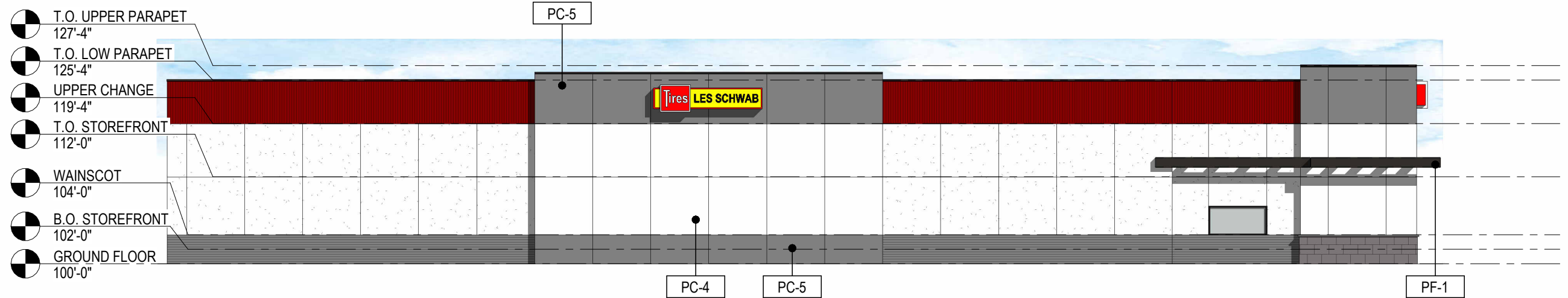


P8
EXTERIOR ELEVATIONS - PC

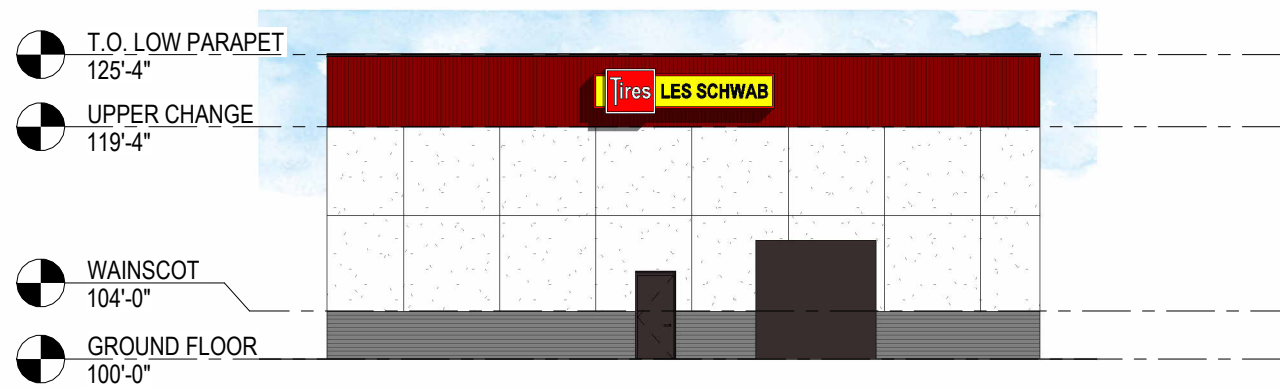
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1 EXTERIOR ELEVATION - PC3
SCALE: 1/16" = 1'-0"



2 EXTERIOR ELEVATION - PC4
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND:

PC-1	PRECAST AGGREGATE WHITE
PC-2	PRECAST HORIZONTAL RIBBED DARK GREY
PC-3	PRECAST VERTICAL RIBBED RED
PC-4	PRECAST SMOOTH WHITE
PC-5	PRECAST SMOOTH DARK GREY
TL-1	LARGE FORMAT TILE
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020



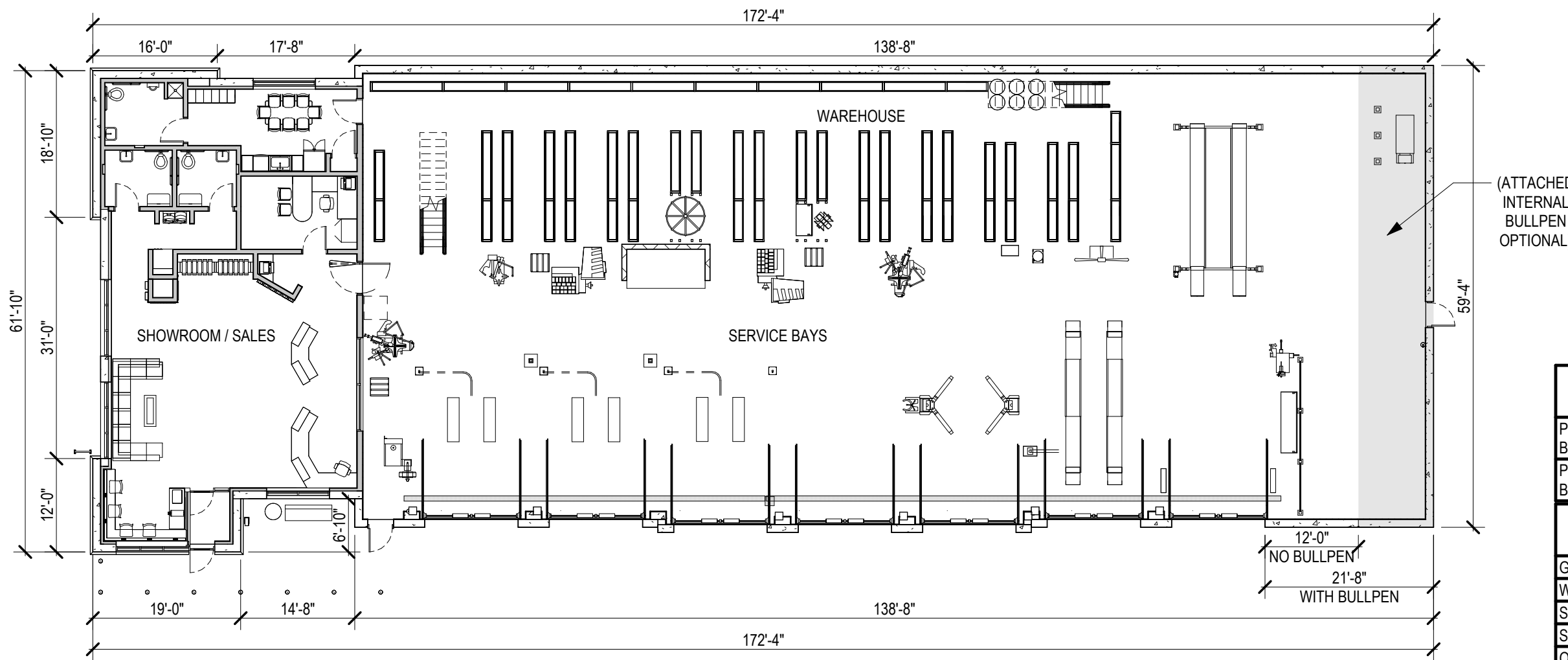
P9
EXTERIOR ELEVATIONS - PC

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BUILDING FOOTPRINT - GROSS - PRECAST		
PRECAST AREA (WITH ATTACHED INTERNAL BULLPEN)		10192 SF
PRECAST AREA (WITHOUT ATTACHED INTERNAL BULLPEN)		9533 SF
GROUND FLOOR AREA - NET		
GROUND FLOOR		
WAREHOUSE	S-1 OCCUPANCY	2132 ft ²
SERVICE BAYS	S-1 OCCUPANCY	5203 ft ²
SHOWROOM / SALES	M OCCUPANCY	1296 ft ²
OFFICE/EMPLOYEE/SUPPORT	B OCCUPANCY	455 ft ²
BULLPEN	S-1 OCCUPANCY	492 ft ²
SECOND FLOOR		
RACKING PLATFORM	S-1 OCCUPANCY	2001 ft ²
STORAGE/EQUIPMENT RM	S-1 OCCUPANCY	677 ft ²
		12256 ft ²

1 GROUND FLOOR PLAN - PRECAST
SCALE: 1/16" = 1'-0"

TIRE COUNT = 2,040
TIRE COUNT = 2,250 (WITH ATTACHED INTERNAL BULLPEN)



P10

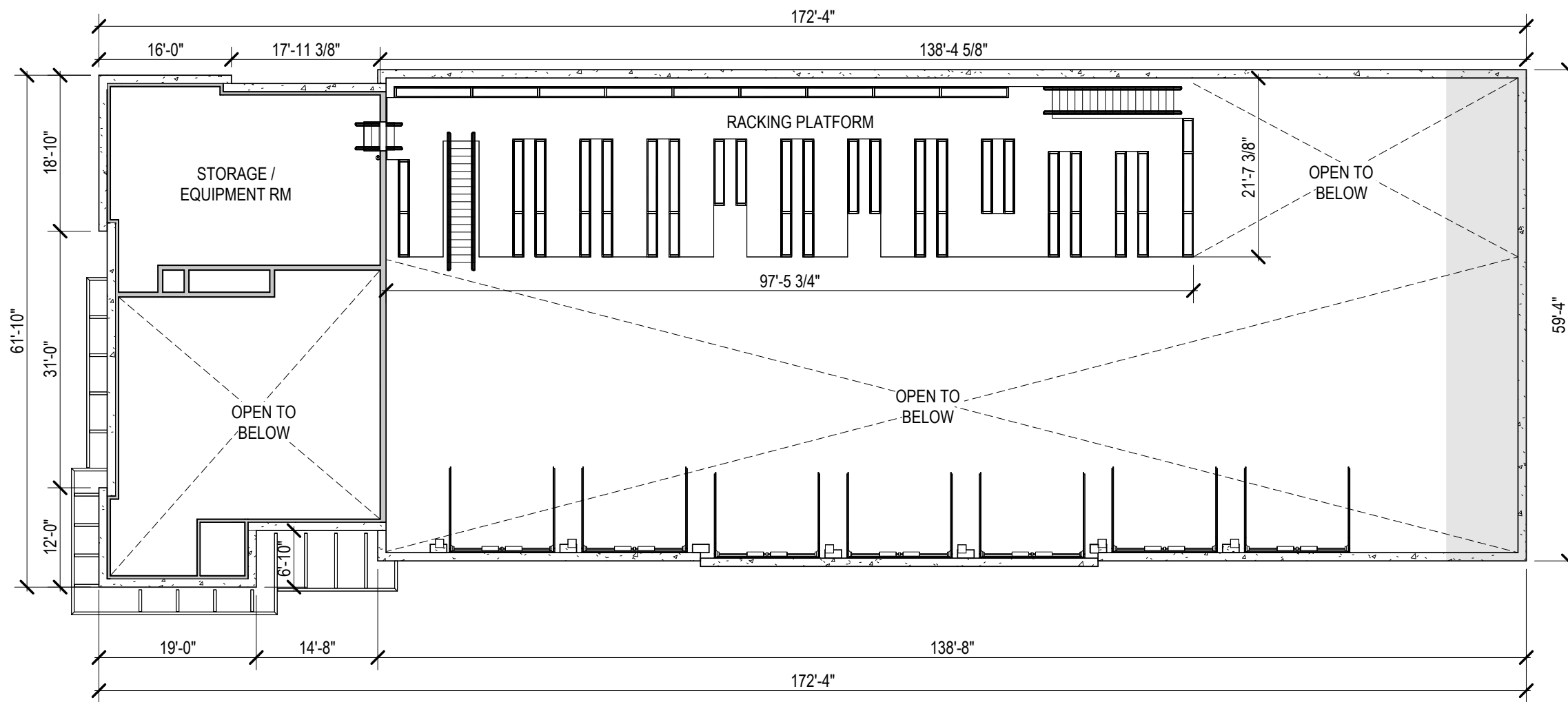
GROUND FLOOR PLAN - P

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1 STORAGE/RACKING PLATFORM PLAN - PRECAST
 SCALE: 1/16" = 1'-0"

SECOND FLOOR AREA - NET		
SECOND FLOOR		
RACKING PLATFORM	S-1 OCCUPANCY	2001 ft ²
STORAGE/EQUIPMENT RM	S-1 OCCUPANCY	677 ft ²
		2678 ft ²



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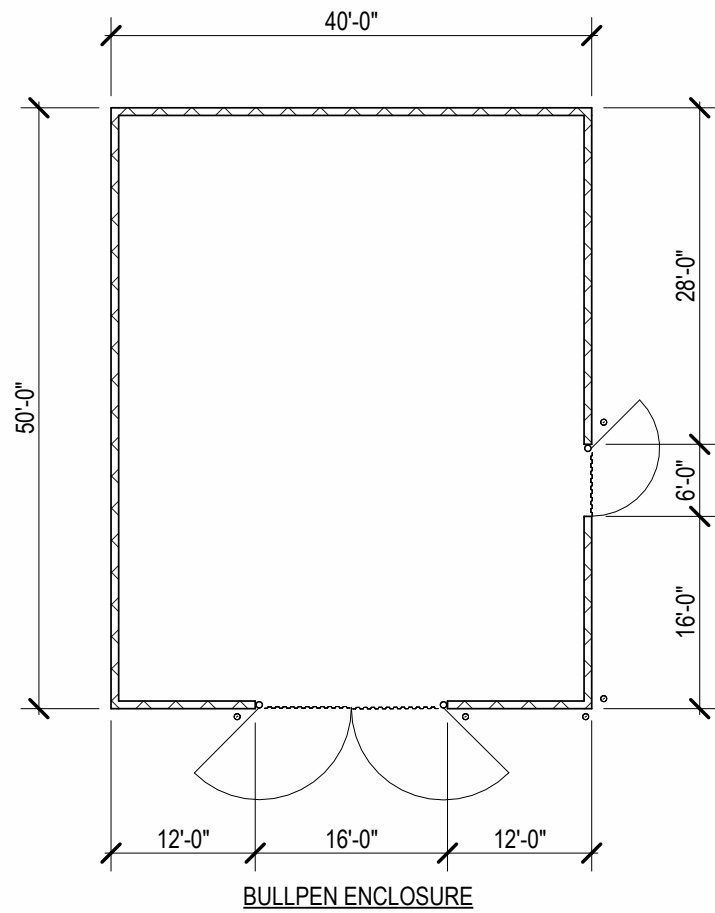
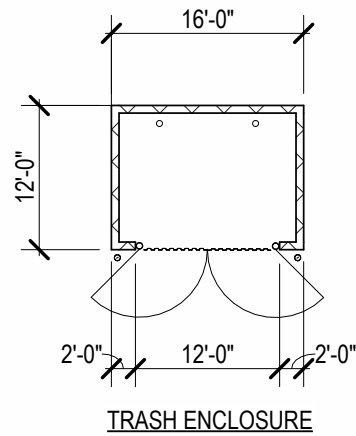
SECOND FLOOR PLAN - P

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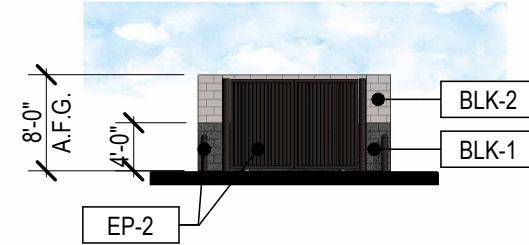
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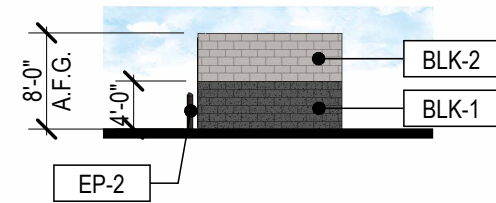
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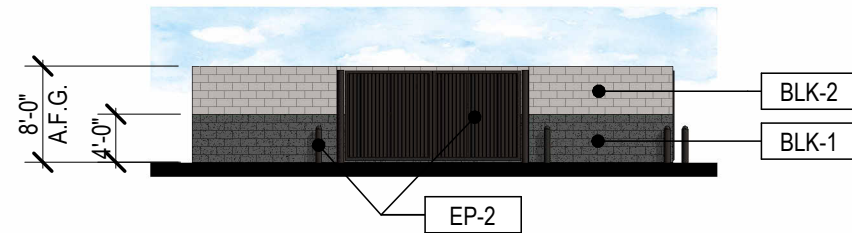
1 TRASH & BULLPEN ENCLOSURE PLANS
SCALE: 1/16" = 1'-0"



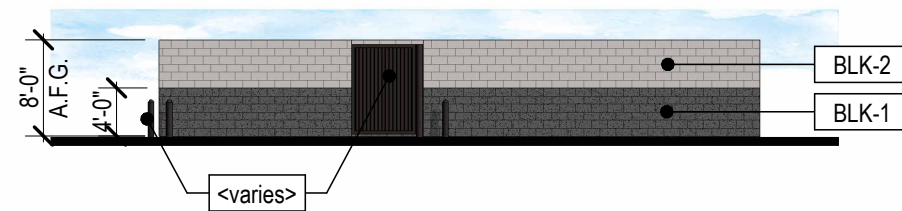
2 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/16" = 1'-0"



3 TRASH ENCLOSURE RIGHT ELEVATION
SCALE: 1/16" = 1'-0"



4 BULLPEN ENCLOSURE FRONT ELEVATION
SCALE: 1/16" = 1'-0"



5 BULLPEN ENCLOSURE RIGHT ELEVATION
SCALE: 1/16" = 1'-0"



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TRASH & TIRE ENCLOSURE

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PROTOTYPICAL BUILDING UTILITIES

THE FOLLOWING ARE STANDARD FOR PROTOTYPICAL LES SCHWAB TIRE CENTER BUILDINGS. UTILITIES MUST ALWAYS BE VERIFIED WITH EACH INDIVIDUAL SITE.

WATER

- FLUSH VALVES:
66.9 WSFU (OR 58 GPM) AT 60+ PSIG
- AVERAGE USE:
BUILDING: 2500 GPD
LANDSCAPE: 500 GPD
- PEAK DEMAND: 58 GPM
- SERVICE SIZE:
-2" SERVICE LINE BETWEEN CONNECTION TO MAIN (TAP) AND METER
-1 1/2" WATER METER
-2" BACKFLOW PREVENTER (INTERNAL TO BUILDING)
-1" LANDSCAPE STUB WITH VALVE AND BACKFLOW PREVENTER
- FIRE SERVICE:
-TOTAL FIRE DEMAND: 1,500 GPM (ESFR) 1,250 GPM @ MINIMUM 58 PSI AT RISER, PLUS 250 GPM HOSE DEMAND. PROVIDE MINIMUM 8" FIRE LEAD FROM POINT OF CONNECTION TO RISER.

SANITARY SEWER

- TOTAL WASTE: 43.5 FU
DOMESTIC: 25 FU
SHOP SPACE: 18.5 FU
- AVERAGE USE: 2400 GPD
- PEAK EFFLUENT DISCHARGE: 21.75 GPM
- SERVICE SIZE:
-SANITARY SERVICE:
PROPERTY STUB: 6" AT 1% MINIMUM GRADE
DOMESTIC: 4" AT 2% MINIMUM GRADE
SHOP SPACE: 4" AT 2% MINIMUM GRADE
- SAND OIL INTERCEPTOR FOR SHOP SPACE:
MINIMUM: 500 GAL (VERIFY W/ AUTHORITY HAVING JURISDICTION)

STORMWATER

- ALL DOWNSPOUTS COLLECTED UNDERGROUND (NO SPLASH PADS) UNLESS NOT ALLOWED BY AUTHORITY HAVING JURISDICTION OR IF STORM DRAIN IS NOT AVAILABLE AT SITE.

ELECTRICAL

- SECONDARY SERVICE:
-PREFERRED 3-PHASE, 208Y/120V, 600 AMPERES
- TYPICAL DEMAND: 181 KW
- CONNECTED LOAD: 183 KVA
- SERVICE CONDUCTORS: (2) SETS OF 4-350 KCMIL COPPER IN 3" CONDUITS
OR (2) SETS OF 4-500 KCMIL ALUMINUM IN 3 1/2" CONDUITS
- SITE SPECIFIC: IF FIRE PUMP REQUIRED, 3-PHASE, 480Y/277V SERVICE (SERVICE SIZE DEPENDANT ON FIRE PUMP SIZE)

GAS

- SERVICE SIZE AFTER METER: 2.5" (7" WATER GAUGE DISTRIBUTION PRESSURE) ON BUILDING SIDE OF METER
-2 LBS IN AREAS WHERE POUNDS MEDIUM IS USED
-925 TOTAL MBH, 190' TO 285' DEVELOPED AT 7" WC
- TRANE HVAC UNITS: 265 MBH (VARIES BY LOCATION)
- GAS FIRED UNIT HEATER: 105 OR 45 MBH EACH (VARIES BY LOCATION)
- GAS FIRED RADIANT HEATERS:
-THREE (3) AT 75 MBH EACH (FOR 6 BAY LINEAR BUILDING LAYOUT)
-FOUR (4) AT 75 MBH EACH (FOR ALL OTHER BUILDING LAYOUTS)

PHONE/CABLE

- PHONE:
-CONDUIT: TWO (2) 4"
-POTS LINES: NINE (9)
- CABLE:
-CONDUIT: ONE (1) 2" OR ONE(1) 4"
-CABLE QUANTITY: ONE (1) COAXIAL CABLE
- POINT OF ENTRY: UNDER SLAB UP INTO 36"X36" TELEPHONE BACKBOARD CABINET

EXTERIOR WALL SIGNS

- TYPICAL SIGNAGE INCLUDES FOUR (4) EXTERIOR WALL SIGNS WITH A TOTAL SIGN AREA OF 190.31 SF
- FRONT ELEVATION: "ALIGNMENT-BRAKES-SHOCKS" 50.00 SF
- REAR/SHOWROOM ELEVATION: "LES SCHWAB LOGO" 46.77 SF
- SHOWROOM ELEVATION: "LES SCHWAB LOGO" 46.77 SF
- LOADING ELEVATION: "LES SCHWAB LOGO" 46.77 SF

FREE STANDING SIGN

- AS ALLOWED BY CODE. LES SCHWAB PREFERS ONE MONUMENT SIGN AND ONE PYLON SIGN.



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PROTOTYPICAL BUILDING UTILITIES

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