

6:30 PM

A thriving, connected community with deep roots: a great place to live for a lifetime.

A city that leads, serves, and governs to enhance the quality of life for all community members.

CHAIR:	CHAD GENZ
MEMBER:	JOE POLUNC
MEMBER:	BRUCE PAULSEN
MEMBER:	KEVIN KAMERUD
MEMBER:	DARYL PETERSON
ALTERNATE MEMBER:	JACOB WECKMAN

NOTE: TO ENSURE THAT YOU ARE PRESENT FOR ITEMS OF INTEREST, PLEASE BE PRESENT AT 6:30 P.M.

Those with items on the agenda should reach out to their staff contact. Others who wish to participate in the meeting, please contact the Community Development Director at 952-442-3106 or lbraaten@waconia.org to make certain that you are called upon during the meeting.

1. **Call meeting to order and roll call**
2. **Adopt Agenda**
3. **Minutes Approval**
 - 1) [November 7th, 2024 Planning Commission Meeting Minutes](#)
Motion to adopt the November 7th, 2024 Planning Commission Meeting Minutes
4. **New Business**
 - 1) [Site Plan & Design Review - Tractor Supply Co. - 880 Marketplace Drive](#)
Provide a recommendation to the City Council regarding the Site Plan & Design Review application for the proposed Tractor Supply Company proposed to be located at 880 Marketplace Drive.
5. **Old Business**
 - 1) [CONT. - PUBLIC HEARING - Addition of Chapter 515. Cannabis and Amending Chapter 900. Zoning Ordinance and Chapter 1100. Fee Schedule](#)
Motion to Close the Public Hearing
Motion recommending either approval or denial of the proposed amendments to the City Code related to Cannabis regulation.
6. **Other**
 - 1) Staff Update

Adjourn



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date:		December 5, 2024					
Item Name:		November 7th, 2024 Planning Commission Meeting Minutes					
Originating Department:		Community Development					
Presented by:		Lane Braaten					
Previous Commission Action (if any):							
Item Type (X only one):		Consent		Regular Session	X	Discussion Session	
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED <i>(Include motion in proper format.)</i>							
Motion to adopt the November 7th, 2024 Planning Commission Meeting Minutes							
EXPLANATION OF AGENDA ITEM <i>(Include a description of background, benefits, and recommendations.)</i>							
Attachments: 1. November 7th 2024 Planning Commission Meeting Minutes.docx							
FINANCIAL IMPLICATIONS: Funding Sources & Uses:							
Budget Information: _____ Budgeted _____ Non Budgeted _____ Amendment Required							

WACONIA PLANNING COMMISSION MEETING AGENDA
Thursday, November 7, 2024
6:30PM

1) [Call meeting to order and roll call](#)

Pursuant to due call and notice thereof the regular meeting of Planning Commission of the City of Waconia was called to order by Commissioner Chair Genz. Commissioner Kamerud was absent from the meeting and alternate member Weckman was in attendance.

2) [Adopt Agenda](#)

No change to the agenda.

Motion by Paulsen, seconded by Peterson to adopt the agenda. All in favor voted aye. MOTION CARRIED.

3) [Minutes Approval](#)

3.1 [October 3rd, 2024 Planning Commission Meeting Minutes](#)

[Cover Page](#)

[October 3, 2024 Planning Commission Meeting Minutes.pdf](#)

Motion by Polunc, second by Paulsen to approve the minutes from October 3rd, 2024. All in favor voted aye. MOTION CARRIED.

4) [New Business](#)

4.1 [CONTINUED - Holbrook Preliminary Plat, PUD Zoning Request & Comprehensive Plan Amendment - 9550 Little Avenue, 9780 Little Avenue and 10080 Little Avenue](#)

[Cover Page](#)

[Location Map.pdf](#)

[Holbrook Preliminary Plat.pdf](#)

[TIA Summary Falk Saltire.pdf](#)

[ISD110 Comments_B Gersich.pdf](#)

[Example Ag Use Language.pdf](#)

Braaten reminded the Commission that the Holbrook Preliminary Plat, PUD and Comprehensive Plan Amendment was continued at the October 3rd, 2024 regular meeting. The Commission conducted the public hearing on October 3rd, 2024 and closed the public hearing. The Commissioners requested additional information related to traffic and traffic improvements. Braaten displayed the location of the properties showing future roads, future round-a-bout and a residential development to the south.

Braaten indicated that the packet materials included the following additional information:

- Traffic summary provided by Westwood.
- Comments from the superintendent of Waconia Schools.
- lanuge related to agricultural uses in close proximity to residential developments used by the County and the City of Vicotria.

The developer has proposed dedicating the road right of way for the future round about at the intersection of future County Road 92 and County Road 10.

Paulsen wondered about the traffic study. Jake Saulsbury, City Engineer, gave background information regarding this project and stated the corridor study was completed in 2020. The traffic impact analysis is recent.

Paulsen asked about the covenant processes. Discussion followed.

Dean Lotter, Pulte Homes, 1650 West 82 Street West, Bloomington, MN

The HOA covenants are recorded against the land with the plat. Standard disclosures will be added in the records.

Polunc asked questions about the roundabout, and the homes being built before the roundabout. Saulsbury stated that this is both common and reasonable.

Tara Hough, 9014 102nd Street, Waconia, MN 55387

Asked about the timing of the development and the roundabout. Saulsbury response stating the timing of the roundabout is uncertain the county knows it's coming, but it will be synced by the pace of the development.

Cheryl Luce, 9455 102nd Street, Waconia, MN 55387

Questions about timing.

John Zimmerman, Waconia Township

Wondered about the ownership of 102nd and Little Avenue. Braaten stated that the City's intent is to annex the entire segment of Little Avenue from County Road 10 to 102nd Street and it will be improved as a part of this project if the project is approved by the City Council.

Discussion followed regarding including language in the developers agreement related to agricultural uses in close proximity to residential development.

Motion by Paulsen, seconded by Polunc to recommend approval of the Preliminary Plat Application, Comp Plan Amendment and Rezoning application including the 17 conditions stated in the staff memo and the addition requiring language related to agricultural uses in close proximity to residential development.
All in favor voted aye. MOTION CARRIED.

4.2 PUBLIC HEARING – Variance – 241 Lake Street West

Cover Page

Public Hearing Notice (1 Page)

Existing Site Plan (1 Page)

Application and Letters (5 Pages)

Proposed Plan (7 Pages)

Stormwater Plan (2 Pages)

Nelson presented an impervious surface variance application for 241 Lake Street West showing the location of the property. Nelson displayed the existing survey showing house, garage, deck, shed and sidewalks. The applicant is requesting to remove everything existing on the property, which is currently built out to 38% impervious surface versus the 25% allowed in the Shoreland Overlay District. The sketch site plan overlay on the existing site survey shows the proposed house/garage, driveway, trench drain system and down spouts. The site plan shows setbacks and hard cover improvements. There are discrepancies in impervious cover, and elevations. Nelson displayed the variance criteria for review by the Commission.

Paulsen wondered about using the same footprint of the house to build. Direct replacement could be done with the non-conforming rules and regulations and would not need a variance.

Genz to opened the public hearing.

Andy Vasek, Mathews Vasek Construction and Greg James, property owner.

The presentation and submittal provided was to receive input from the Commissioners to see if this is a feasible request regarding the impervious surface.

Vasek went through other residential developments and the percentage of impervious that's allowed comparing in lot size. They plan to scrap the site which was at 38% impervious and replace with a new home and garage and they were hoping to remain at 38% impervious with a storm water management plan.

Polunc mentioned the gravel driveway in the plans and reminded the applicants that it would need to be improved as the City Code does not allow gravel driveways. Paulsen went through the variance criteria and stated that the application as presented did not meet the

variance criteria. Additionally, he stated that it was confusing not knowing the size of the house and garage as the plans were not complete, nor consistent.

Genz gave examples of other variances that the Commission had reviewed. He brought up the fact of different Commission members after the 1st of the year. Braaten responded that typically the Planning Commission was seeing a reduction in hardcover in variance proposal with the installation of a stormwater mitigation plan.

Motion by Paulsen, seconded by Peterson to close the public hearing. All in favor voted aye. MOTION CARRIED.

Braaten mentioned there is still plenty time for a continuation of the application to gather information and make decisions before the 60-day time frame.

Motion by Paulsen to recommend denial of the variance as the application does not meet the variance criteria, second by Peterson. MOTION FAILED. 3-2

Motion by Genz, second by Weckman to table the variance to allow the applicant more time to finalize and clarify the plan. All favor voted aye. MOTION CARRIED.

4.3 PUBLIC HEARING - Site Plan, Design Review & Variance Amendment - Olive & Second Mixed-Use Project

Cover Page

Amendment Narrative.pdf

Olive and Second Amend Plans.pdf

Resolution No. 2024-177.pdf

Resolution No. 2024-178.pdf

Braaten presented an amendment and revisions to the site plan for Olive & Second project that was approved in August. The applicants are not proposing to change the height or footprint but are asking for modifications on the 4th and 5th floor. Braaten described and displayed the previous plan along with the proposed plan showing the 4th and 5th floor.

Polunc asked about the TIF agreement regarding the change. Braaten stated he would look into it, but the application was about the modifications to the 4th and 5th floor.

Genz opened the Public Hearing.

Craig Hartmann, Principal Momentum Design Group, 755 Prior Avenue N, Suite 301 A, St. Paul, MN 55104

Hartmann talked about bearing walls and egress strategy for the reasoning behind the changes.

Genz doesn't see anything on the 4th floor that indicates a structural issue. Hartmann mentioned this was a two-prong issue and is needed for a new egress stair on the north side of the roof deck.

Motion by Paulsen, seconded by Polunc to close the public hearing. All in favor vote aye. MOTION CARRIED.

Motion by Polunc, seconded by Peterson to approve the Site Plan Amendment. All in favor voted aye. MOTION CARRIED.

4.4 PUBLIC HEARING – Variance – 141 2nd St. E.

Public Hearing Notice (1 Page)

Application & Letter (5 Pages)

Site Photos and Proposed Pavilion (3 Pages)

Existing and Proposed Site Plan (2 Pages)

Nelson presented the variance request for the property located at 141 2nd Street East. The request is to expand their accessory structure beyond the maximum of 1,000 gross square feet. The applicant is requesting a footprint of 1,280 sq ft. Nelson displayed the existing survey showing the hard surface coverage and location of the proposed gazebo type structure.

Genz opened the Public Hearing.

Tom Simons, owner of Express Home Services, 6844 Washington Avenue S, Eden Prairie, MN.

Craig Hessenius, homeowner, 141 Lake Street East, Waconia, MN 55387.

Mr. Hessenius stated the reason for the roof structure is for shade as well as cleaning sidewalks.

Eric Salden, neighbor, 241 South Spruce Street, Waconia, MN.

Salden noted that the structure makes sense in shading for this particular property.

Motion by Paulsen, seconded by Weckman to close the Public Hearing. All in favor voted aye. MOTION CARRIED.

Motion by Paulsen, seconded by Polunc to recommend approval of the Variance for 141 2nd Street East with the condition recommended in the staff memo. All in favor voted aye. MOTION CARRIED.

4.5 Moving Permit - 16 2nd Street West

Cover Page

Moving Permit Application (3 Pages)

Structure Elevations (6 Pages)

Proposed Moving Route (1 Page)

Inspection Report (1 Page)

Nelson presented the moving permit for a garage structure located at 16 2nd Street West, displaying the location to where the garage will be moved.

Motion by Paulsen, seconded by Polunc to approve the moving permit for 16 2nd Street West. All in favor voted aye. MOTION CARRIED.

4.6 PUBLIC HEARING - Addition of Chapter 515. Cannabis and Amending Chapter 900. Zoning Ordinance and Chapter 1100. Fee Schedule

Cover Page

Chapter 515 Cannabis Amendments (Draft 10-31-2024).pdf

Chapter 900 Zoning Amendments for Cannabis (Draft 10-31-2024).pdf

Chapter 1100 Fee Schedule Amendments (10-31-2024).pdf

Braaten presented a summarized version of the cannabis ordinance:

SUMMARY- Add/Update-Chapter 515-Cannabis-regulation, licensing & definition section.

- B-1, B-2, & B-3 Districts-Retail uses with Special Restrictions.
- I-1 & I-2 Cultivation, Manufacturer, Wholesale, Transportation, Delivery, Medical & Low Potency Hemp Edible Manufacturer – Uses Permitted with Special Restrictions.
- A, Agricultural District – Cultivation – Uses Permitted with Special Restrictions.

Buffer Requirements – Supplementary Regulations

School = 1,000 ft. buffer min.

Daycare = 500 ft. buffer min.

Residential Treatment Facility = 500 ft. buffer min.

Public Park Attraction = 500 ft. buffer min.

Polunc wondered about the restrictions for the Carver County Fair grounds. The fairgrounds fall under a different set of rules and regulations. Braaten indicated that he would gather more information related to this question.

Genz opened the Public Hearing.

Motion by Paulsen, seconded by Peterson to continue the discussion related to cannabis regulation to the December 5th, 2024 Planning Commission meeting. All in favor voted aye. MOTION CARRIED.

5) Old Business

None

6) Other

Staff Update:

New Homes- 108 total which includes both detached single family and townhomes.

City Council approved the Variance for 241 Olive Street S.

City Council approved the Site Plan and Variance for 80 8th Street.

December meeting will consist of the Design and Site Plan Review for Tractor Supply, the Cannabis ordinance, and possibly the continued residential variance.

Motion by Polunc, seconded by Weckman to adjourn. All in favor voted aye. MOTION CARRIED.

Adjourn

ATTEST: _____

Brenda Stein, Office Assistant



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date:		December 5, 2024				
Item Name:		Site Plan & Design Review - Tractor Supply Co. - 880 Marketplace Drive				
Originating Department:		Community Development				
Presented by:		Lane Braaten				
Previous Commission Action (if any):						
Item Type (X only one):	Consent		Regular Session	X	Discussion Session	

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)

Provide a recommendation to the City Council regarding the Site Plan & Design Review application for the proposed Tractor Supply Company proposed to be located at 880 Marketplace Drive.

EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)

BACKGROUND

Applicant: David Soto

Owner: Atwater Waconia MN LLC

Addresses: 870, 880, & 910 Marketplace Drive

PIDs#: 755040100, 755040090, & 755040080

Zoning: B-1, Highway Business District

Design District: Highway District

REQUEST

The applicant, David Soto, has submitted an application for Site Plan & Design Review to construct a 21,930 square foot Tractor Supply Company building on the subject properties identified above.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05 - District Regulations, Subd. 2.F - B-1, Highway Business District
2. Section 900.06 - Supplementary Regulations, Subd. 9 - Architectural Design Standards
3. Section 900.07 - Landscaping and Fencing
4. Section 900.08 - Performance Standards
5. Section 900.09 - Off-Street Parking, Loading, and Access Regulations
6. Section 900.10 - Sign Regulations
7. Section 900.12 - Administration, Enforcement and Procedures
 - a. Subdivision 10. - Site Plan Review

SITE PLAN REVIEW

City Ordinance requires Site Plan Review “*in order to further promote the safe and efficient use of land and to further enhance the value of property in the City.*” City Ordinance requires Site Plan Review for any construction for which a building permit is required, except for construction of detached, single-family residential structures or structures accessory thereto.

ZONING

The property is zoned B-1, Highway Business District which allows rural retail use as a permitted use with special restrictions subject to the following:

1. Outdoor storage and display of new merchandise without screening shall be permitted along the storefront, adjacent to the building, and in other areas designated on a site plan approved by the City Council that are not within drainage and utility easement areas;
2. Outdoor storage and display of rental equipment shall be permitted without screening in areas designated on a site plan approved by the City Council that are not within drainage and utility easement areas;

3. A moveable loading dock may satisfy loading berth requirements and (i) shall not require screening while in use and (ii) shall be considered screened if stored in the rear of the building and outside the drive aisle when not in use; and
4. Tubed aluminum or black vinyl chain link fencing up to 12 feet in height is permitted when used for outdoor storage and display areas immediately adjacent to the retail building.
5. Except as expressly allowed by the proceeding provisions, no outdoor storage is allowed.

LOT REQUIREMENTS

The subject properties are located in the B-1, Highway Business District. Section 900.05, Subd. 2.F of the City Ordinance states “The purpose of this district is to provide for an appropriate range of businesses that will be utilized by area residents as well as vehicular traffic generated from the surrounding area.” The Lot Requirements for the Highway Business District are indicated in Table 1-1 below.

Table 1-1.	B-1 - Lot Requirements	Proposed/Existing
Lot Area	17,500 sq. ft. min.	188,179 sq. ft./4.3 acres
Lot Width	100 ft. min.	Conforming
Maximum Hardcover Surface	80% max.	69.99%
Maximum Principal Structure Height	35 ft. max.	32 ft. 8 inches*
Front Yard Setback	25 ft. min.	288.78 ft.
Side Yard Setback - Street	20 ft. min.	54.89 ft./168.71 ft.
Rear Yard Setback	20 ft. min.	64.5 ft.

*Building height measured to the top of the roof peak

The structure setbacks, building height, and hardcover surface requirements stated above have been satisfied based on a review of the Site Development Plan– C102 dated November 26, 2024 and the Exterior Elevations – A2 dated November 21, 2024.

Based on staff review the proposed project meets all hardcover, structure height, and setbacks required in the zoning district.

SCREENING OF EQUIPMENT

The proposed plans do not indicate any mechanical equipment. Any future mechanical, rooftop or ground mounted, are required to be screened from view.

OFF-STREET PARKING

The off-street parking requirements for retail sales are as follows: Four (4) spaces for each 1,000 square feet of gross floor space, less storage space.

Building Area = 21,930 sq. ft.- 4,464 storage space = 17,466 square feet of retail floor space
 $17,466 \text{ sq. ft.} / 1,000 = 17.47 \times 4 = 69.84 \text{ spaces required/or } 70 \text{ spaces required}$

The applicant is proposing 71 total parking spaces, which conforms to City Code requirements.

LANDSCAPING

Section 900.07, Subd. 2.B of the City Ordinance requires one (1) tree for every one thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.

The site perimeter is greater than the total building floor area calculation, which requires 34.9/35 trees. In addition the City Code requires additional plantings for properties located on Highway 5. The standard is stated below and this is in addition to the typical requirements.

Additional plantings shall be required for properties fronting on State Highway #5. The following will be required for every 40 feet of frontage along Highway #5:

- a. One (1) three-inch minimum deciduous tree, or*
- b. One (1) eight-foot minimum coniferous tree*

The plans accurately reflect the required number of trees with the correct Highway 5 oversizing stated above. The total number of trees to be planted is 49, which conforms to City Code requirements.

SIGNS

The applicant has included concept signage as shown on Exhibit J. All signage shall require a permit through the City and shall conform to Section 900.10.

Section 900.10 prohibits pylon signs in all districts. If the applicant intends to install freestanding signage in the area identified it shall be consistent with rules and regulations identified in for the B-1 and B-4 Districts. Specifically, one (1) monument sign is allowed per premises of record and the maximum square footage is based on street frontage (see applicable section of the City Code).

Additionally, wall signs are regulated under 900.10, B-1 and B-4 Districts. Please review the applicable section of the City Code to determine the most appropriate application of the rule. But, in summary, one wall sign covering a maximum of 10% for the building face is allowed. The current plan indicates two (2) signs on the front face including the tractor supply sign and the garden center sign. The plan needs to be revised accordingly.

The applicant has indicated that they will apply for sign permits based on the City's sign regulations, noting that pylon signs are not allowed.

LIGHTING

Section 900.08, Subd. 1.C provides standards for exterior lighting. The proposed lighting plan is in conformance with City Code requirements.

VEHICULAR ACCESS

Three proposed access points to local streets, including two entrances on Marketplace Drive and one entrance on Mill Lane.

Concrete aprons are required from Marketplace Drive and Mill Street to the back of the sidewalk. Additionally, the applicant shall verify that the Mill Street entrance is aligned with the distillery access across Mill Street.

PEDESTRIAN ACCESS

The applicant is proposing a sidewalk connecting to the Marketplace Drive sidewalk located along the southern boundary of the project. The Planning Commission should determine if a pedestrian connection should be provided to the trail along Highway 5.

TRASH

City Ordinance requires *“All trash and trash handling equipment to be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure.”*

The application indicates “an enclosed dumpster will be located along the rear wall.” The plans reflect the walls of the trash enclosure will be constructed of 8” smooth face CMU with the paint color to match the building. The applicant shall clarify the gate details as the plans reference details on sheet AS-3, which was not submitted with the plan materials.

GRADING, DRAINAGE & UTILITIES

The City Engineer and Public Services Director have conducted an initial review of the grading, drainage and

utilities. Any approval of the plan should include a condition requiring the applicant to work with the City Engineer to revise the utility and grading information to the satisfaction of the City prior to any work commencing on site.

PLANNING & SITE PLAN ANALYSIS AND STAFF REVIEW COMMENTS:

1. The proposed rural retail use is consistent with the requirements stated in City Code. Previously, at the request of the applicant, the City Council approved Ord. No. 775 which defined rural retail and identified the specific performance standard associated with the use.
2. Staff has included the Pedestrian and Bicycle Access Highway District Design Standard below as it requires further clarification and/or discussion by the Planning Commission. This statement shall not preclude the Commission from reviewing any additional Highway District Design Standards they decide need further discussion. The section below was the design element staff identified based on the initial review of the submitted information. Based on staff review it appeared that all other design standards for the project have been met.

SEWER AVAILABILITY CHARGE (SAC) AND CITY TRUNK FEES

New construction, a new business, a change in location or change in the use of space in a way that creates more potential demand on the wastewater system will require submission to the Metropolitan Council for a Sewer Availability Charge (SAC) determination. The SAC determination made by the Metropolitan Council informs the City sewer and water trunk fees associated with the potential development, redevelopment and/or remodeling of the subject property, location, or business. City Code requires that for every SAC unit determined by the Metropolitan Council, the project will require the payment of one City sewer trunk fee and one City water trunk fee. The 2024 SAC and City trunk fees are included below for convenience.

SAC Charge	\$2,485 per SAC unit determined by the Metropolitan Council
Sewer Trunk Fee	\$3,600 per SAC unit determined by the Metropolitan Council
Water Trunk Fee	\$5,100 per SAC unit determined by the Metropolitan Council
Stormwater Trunk Fee	\$11,200 per acre
Stormwater Access Fee	\$1,6000 per acre

*Please note that the city reviews the trunk and access fees annually and staff anticipate some slight increases to the per unit costs indicated above.

DESIGN REVIEW - HIGHWAY DISTRICT

City Ordinance requires Design Review with the understanding that *“the visual character and historic resources of the City are important attributes of its quality of life.”* City Ordinance requires Design Review to be conducted as part of the Site Plan Review process.

E. Design standards, highway district.

19. Pedestrian and bicycle access.

- a. Objective: To ensure that pedestrians and bicyclists have safe and convenient access to all retail establishments.
- b. Standards:
 - 1) Sidewalks may be required along some or all public streets that abut the proposed development in order to provide pedestrian connections from all adjacent neighborhoods and activity centers.
 - 2) A well-defined pedestrian path shall be provided from the sidewalk to each principal customer entrance of a building. Walkways shall be located so that the distance between street and entrance is minimized. Walkways shall be at least five (5) feet in width, and shall be distinguished through pavement material from the surrounding parking lot. Walkways shall be landscaped for at least fifty (50) percent of their length with trees, shrubs, and planting beds.
 - 3) Sidewalks of at least eight (8) feet in width shall be provided along all front building facades that abut public parking areas.

- 4) Walkways and sidewalks should be defined by design features such as towers, arcades, porticoes, pedestrian-scale light fixtures, planters, and other architectural elements.
- 5) Bicycle parking shall be provided in a convenient and visible location no farther from the principal entrance than the closest automobile parking space, at a ratio of one (1) space per twenty-five (25) automobile parking spaces. Bicycle parking shall consist of a bike rack designed so that the bicycle frame can be locked to the rack, subject to the review of the City Engineer.

Based on staff review the application meets all other sections of the Highway District Design Standards.

CONCLUSION/RECOMMENDATION

The Planning Commission should review the pertinent information and make a recommendation to the City Council regarding the Site Plan & Design Review application to construct a 21,930 square foot Tractor Supply Company building on the subject properties. Upon a formal recommendation from the Planning Commission this item will be forwarded to the City Council for review at their upcoming meeting scheduled for December 16th, 2024.

If the Planning Commission chooses to recommend approval of the land use applications stated above, staff would recommend the approval upon the following conditions:

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall work with the City Engineer and Public Services Director to revise the grading, drainage, and utility information to the satisfaction of the City prior to any work commencing on site.
4. The applicant shall provide the City with a letter of credit/ escrow funds to guarantee the proper installation and growth of the approved landscape plan. The letter of credit/escrow funds shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The letter of credit/escrow funds shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
5. Final placement of the required tree and/or any replacement species shall be approved by the Public Services Department to ensure the placement does not interfere with any on site utilities and complies with City Code requirements.
6. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
7. A sign permit shall be required for all signage and shall conform to Section 900.10.
8. The applicant shall combine the three parcels into one (1) parcel via an application with Carver County and provide documentation that this has been completed prior to building permit issuance.
9. Any future mechanical, rooftop or ground mounted, is required to be screened from view and the screening plans shall be submitted to staff for review and approval prior to permit issuance.
10. The applicant shall contact the City Planning Department for a final site inspection when all conditions of approval regarding this application have been completed.

Attachments:

1. [Location Map.pdf](#)
2. [Applicant Statement Doc.pdf](#)
3. [ALTA Survey.pdf](#)
4. [Civil & Landscape Set TSC.pdf](#)
5. [TSC - Site Plan.pdf](#)
6. [Exterior Elevations TSC.pdf](#)
7. [Photometric Plan TSC.pdf](#)
8. [Dimension Floor Plan TSC.pdf](#)
9. [Exhibit I_Detail Sheet.pdf](#)
10. [Sign Details.pdf](#)

11. [TSC Propane Tank.pdf](#)

FINANCIAL IMPLICATIONS:

Funding Sources & Uses:

Budget Information:

_____ Budgeted

_____ Non Budgeted

_____ Amendment Required

LOCATION MAP



November 7, 2024

Lane Braaten
Community Development Director
City of Waconia
201 Vine Street
Waconia, MN 55387

Via Email
LBraaten@waconia.org

Re: Site Plan for Tractor Supply Company Retail Site on Marketplace Drive

Dear Mr. Braaten:

We represent Atwater Waconia MN LLC with regard to its application for site plan approval to construct a new Tractor Supply Company ("TSC") retail store in Waconia to be located on the south side of Highway 5 and at the northeast quadrant of the intersection of Mill Lane and Marketplace Drive (the "Property"). TSC is excited to bring a rural retail use to Waconia and this letter provides background information regarding the proposed development of the Property.

1. TSC Background

For over 85 years, TSC (NASDAQ: TSCO) has been passionate about serving the needs of recreational farmers, ranchers, homeowners, gardeners, pet enthusiasts, and all those who enjoy living "Life Out Here." TSC is the largest rural lifestyle retailer in the U.S., ranking #291 on the Fortune 500. TSC employs more than 50,000 Team Members who are known for delivering legendary service and helping customers pursue their passions, whether that means being closer to the land, taking care of animals, or living a hands-on, DIY lifestyle. In-store and online, TSC provides what customers need—anytime, anywhere, any way they choose—at the low prices they deserve.

TSC prides itself on unique merchandising, which has driven its financial success and earned high marks in brand and customer satisfaction. Part of this success stems from embracing the "Life Out Here" lifestyle and showcasing items in outdoor displays that celebrate both the lifestyle and the brand.

As of December 30, 2023, TSC operated 2,216 stores in 49 states. For more information on TSC, visit www.tractorsupply.com.

2. The Property

The Property consists of three contiguous parcels located at 870, 880, and 910 Marketplace Drive in Waconia, as shown in Exhibit A. The Property measures 4.43 acres (roughly 188,179 square feet) and is platted as Lots 1, 2, and 3, Block 3 of WACONIA MARKETPLACE. The Property is assigned PID numbers 755040080, 755040090, and 755040100. The Property is currently served by trunk utilities for water, sewer, and sanitary sewer and does not require any

new roadways. A platted drainage and utility easement surrounds the north, west, and southern portions of the Property and includes a wetland area in the northwesterly corner. An existing sidewalk runs along the southern edge and a trail runs along the western and northern edges of the Property. The Property is generally flat with a westerly slope and is well-suited for development of the TSC store, as shown on the site grading plan in Exhibit D.

The Property is located in the B-1 Highway Business District (the “B-1 zoning district”), which applies to the neighboring properties to the west, east, and southeast along the south side of Highway 5, as noted on zoning map inset below. The B-1 zoning district is designed to allow for a range of businesses that serve area residents as well as vehicular traffic generated from the surrounding area. Several business uses are allowed with special restrictions, making them permitted when certain conditions and standards are met to ensure compliance with the underlying zoning district. Permitted uses include commercial activities related to retail sales and service businesses intended to attract both local and area residents, which aligns with the intended use of the TSC store at this location.

Consistent with the B-1 zoning district, the surrounding area is characterized by heavy commercial activity along the adjacent Highway 5, which utilizes local streets to provide direct and adequate access to other nearby businesses, including industrial uses in the I-1 zoning district immediately to the south and southwest.



3. The Use

TSC proposes to develop a *rural retail* use for the Property. This is a newly created permitted use with special restrictions in the B-1 zoning district, providing more flexibility to retail businesses regarding the outdoor storage and display of merchandise, as approved by Resolution 2024-204 and Ordinance No. 775. A rural retail use allows for outdoor storage and display along the storefront, within a fenced area adjacent to the retail building, and in designated areas on a site plan. This flexibility is only allowed for businesses that meet those certain requirements in Code §§ 900.04 and 900.05.07, which address property characteristics and categories of retail merchandise that are consistent with outdoor lifestyle products. TSC has worked with City staff over the last several months to ensure compliance with these requirements. As shown on the site development plan attached in Exhibit C, TSC will incorporate each of these elements.

4. The Building

The Property will include a retail building with a total of +/-21,930 square feet, as noted on the civil drawings, with 17,466 square feet designated for the sales floor, as noted on Exhibit C, and the remainder for the stockroom. The primary entrance will be on the west elevation, directly accessible from the parking area. There will be two doorways and a 10-foot roll-up door on the south elevation that connect the building to the fenced outdoor display area. The east elevation (rear of building) will include a service and delivery entrance and a roll-up door.

The building will be set back over 25 feet from the Property lines. The one-story building will measure 24 feet at the top of block, with a maximum height of 32' 8" at the peak rooftop, as shown on building elevation in Exhibit E.

The design elements used by TSC are intended to create an attractive, orderly, and welcoming atmosphere for customers. They have been selected to present a coordinated appearance. The primary building materials will be 8-inch split-face concrete masonry units (CMUs), with accent materials including galvanized steel panels. The building design includes facade articulation and roof design features to meet the City's Highway Design Standards District requirements, providing visual interest consistent with the district's guidelines. Additional details are shown on the civil, architectural, and elevation plans submitted along with this letter.

5. The Parking Area

The Property will include 71 parking spaces, including spaces for handicapped parking and oversized vehicles, arranged into three parking aisles. The parking spaces will be 10 feet wide and 20 feet deep, meeting the Code requirements, as shown in Exhibit C. Each parking aisle will connect to the primary drive aisle, which will loop around the building, fenced outdoor display area, and parking. Both the parking aisles and the drive aisle will be 28 feet wide.

There will be three access points to local streets, including two entrances on Marketplace Drive and one entrance on Mill Lane, each designed to meet the city engineer's requirements. The Mill Lane access point will provide easy access for the customers to the storefront parking aisle. It will also allow emergency vehicles to reach both the front and rear of the retail building and fenced outdoor display area without requiring maneuvers in the parking area. This layout will facilitate simple access to the rear of the building for delivery vehicles. The 28-foot width of the parking and drive aisles is adequate to allow emergency vehicles and WB-65 tractor trailers making turning movements on the Property.

The Code requires one parking space per 250 square feet of gross floor space for retail businesses, less storage space. As noted above, the building includes a total of 17,466 square feet of sales area, which equates to 70 parking spaces.¹ The parking shown on the proposed site plan exceeds the minimum parking space requirement.

Landscaping will be provided in the parking area as shown on the landscaping plan attached as Exhibit G.

¹ For reference motor vehicle sales and service establishments are also required to provide one space per 250 square feet of "gross floor space" meaning that the *outdoor display areas for motor vehicle sales businesses are not included in the calculation* for required parking and the same should be true for TSC.

6. Outdoor Display Areas

TSC will utilize outdoor display areas on the Property in a manner that is consistent with the special restrictions for rural retail use in the B-1 zoning district. These areas include: (i) along the storefront, (ii) within the fenced outdoor display area, and (iii) in the trailer display area. Each of these is discussed below.

a. Sidewalk Display

The sidewalk display will consist of an area between the parking lot and the front of the store, extending from the north edge of the retail building to the south edge of the fenced outdoor display area. Merchandise displayed in this area will be neatly positioned and organized.

b. The Fenced Outdoor Display Area

The fenced outdoor display area is located immediately south of the retail building and is shown on the site plan as the area in yellow. This area will be approximately 18,375 square feet and enclosed by fencing up to 12 feet in height, constructed from black vinyl chain link, shown in Exhibit E. The fence height and proposed material are permitted for rural retail uses. The fence will include two manual and one automatic rolling gates, allowing access into this area without entering the retail store. When closed, the fencing will provide a contiguous boundary around the fenced outdoor display area.

The fenced outdoor display area will feature two distinct retail elements typical of TSC stores. First, the Live Goods Center will be placed within the fenced area, along the south side of the retail building at the westerly storefront. This is a canopied structure, approximately 1,627 square feet, used to display live plants and plant materials. A doorway on the building will lead directly from the retail store into the Live Goods Center, though customers will also be able to access it from within the fenced outdoor display area.

Second, a 19,000-gallon propane tank will be located in the southwest corner of the outdoor display area for the sale of propane in refillable tanks. This is a common feature at TSC stores nationwide and is important to TSC's rural customer base, shown in Exhibit I. This area will only be accessible from the fenced outdoor display area. It will be located far from vehicle traffic and protected by concrete-filled bollards to ensure safety, following stringent safety protocols.

c. Trailer Display Area

Trailers will be displayed along the western portion of the site, shown in Exhibit C. Available for both purchase and rent, these trailers are displayed as permitted under site plan approval for a rural retail use. This display, located in the southwest corner of the Property, will cover approximately 3,000 square feet. All display trailers are flatbeds and will not obstruct visibility.

7. The Loading Area

The loading area will be located along the eastern elevation at the rear of the building. TSC will utilize a prefabricated steel loading dock and ramp outside of the drive aisles on the Property. Deliveries to TSC are minimal, typically once per week by truck and trailer. The site plan provides adequate truck movement and circulation space, allowing a full-size tractor trailer to navigate around the parking areas and building, approach the loading area, and exit the site without difficulty on Marketplace Drive.

The loading area will be screened by the building on the west and by landscaping on the north, east, as shown on the landscaping plan in Exhibit G. Additionally, an enclosed dumpster will be located along the rear wall.

8. Landscaping

The Property will be landscaped as shown on the landscaping plan attached as Exhibit G, in accordance with the City requirements. A variety of trees and bushes will be planted throughout the Property to soften its appearance from Highway 5, local streets, and neighboring properties. Perimeter plantings will screen the view of the loading area and rear portions of the building.

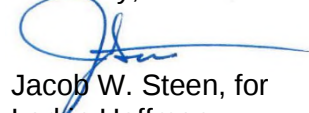
9. Wetlands

A wetland area is located in the northwest corner of the site, designated for stormwater management, as shown in Exhibit H. Final delineation of this wetland area is to be determined, pending further assessment and coordination with the appropriate regulatory agencies.

In closing, TSC is excited about its future in Waconia. City approval of this project will bring in-demand rural retail to the city and meet the strong, unmet local demand for outdoor lifestyle goods and materials. TSC has collaborated with Waconia staff to present this plan, and for all the reasons discussed above, we respectfully request that the City approve TSC's site plan development application.

Please contact me with any questions about this letter or the information contained within.

Sincerely,



Jacob W. Steen, for
Larkin Hoffman

Direct Dial: 952-896-3239

Direct Fax: 952-842-1738

Email: jsteen@larkinhoffman.com

cc: David Soto
Peter Coyle, Esq.
J. Michael Melchert, Esq.

ALTA/NSPS LAND TITLE SURVEY FOR:

Atwater Waconia MN, LLC
An Illinois limited liability company

Legal Description

Lots 1, 2 and 3, Block 3, WACONIA MARKETPLACE, according to the recorded plat thereof, Carver County, Minnesota.

Note Corresponding to Schedule B, Part II

The following are survey related exceptions set forth in Schedule B, Part II of the herein referenced Title Commitment :

- 3

Item 3 - Observed above ground encroachments as shown hereon. See 'Statement of Encroachments'.
- 9

Item 9 - Drainage and utility easement(s) as shown on the recorded Plat of Waconia Marketplace filed July 17, 2002, as Doc. No. 320351. Partially released by Release of Easements dated September 1, 2002, filed September 27, 2002, as Document No. A326113 affect property as shown.
- 10

Item 10 - Utility and drainage easement dated December 16, 1996, filed December 30, 1996, as Document No. 205260 affects property as shown.
- 11

Item 11 - Easements claimed by Northern States Power Company as created in Book F of Misc., Page 505, as Document No. 32112 and Book F of Misc., Page 560, as Doc. No. 32886. Partially released by Partial Release as Doc. No. 164635, and Partial Release, as Doc. No. 185419 have been released as shown in Doc. No. A326113 and do not affect the property. (easement not shown)
- 13

Item 13 - Power and light transmission line easement as originally granted in Book F of Misc., page 506 as Doc. No. 32113, and as amended in Book 6 of Satis., page 183 as Doc. No. 96856. Remaining portion of easement lies within the abandoned railroad right of way which the location cannot be determined.
- 14

Item 14 - Item deleted.
- 15

Item 15 - Item deleted
- 16

Item 16 - Easement in favor of Northern States Power Company as contained in Easement as Doc. No. A326106 affects property as shown.
- 17

Item 17 - Property subject to Declaration of Easements, Covenants, Conditions, and Restrictions Affecting Land as Doc. No. A471610. Amended by First Amendment to Declaration of Easements, Covenants, Conditions, and Restrictions Affecting Land as Doc. No. 655825. Further amended by Second Amendment to Declaration of Easements, Covenants, Conditions, and Restrictions Affecting as Doc. No. A729214. Items not plottable.
- 18

Item 18 - Terms and conditions of Trail Easement as Document No. A607953 affects property as shown.
- 19

Item 19 - Property subject to terms and conditions of Declaration of Restrictive Covenants as Document No. A655828. Items not plottable
- 20

Subject to the following matters as shown on the survey prepared by Demarc Land Surveying & Engineering, dated October 5, 2023, and designated as Job No. 90506:
a) Concrete sidewalk located on the property without the benefit of an easement still affect property as shown.

NOTE: The Schedule B, Part II Exceptions not listed on the Survey are not survey matters.

Table A Certification Items

1. Monuments placed at all major corner of the boundary of the property, unless already marked or referenced by existing monuments are shown hereon.
2. Address of the property: 910, 880 and 870 Marketplace Drive, Waconia, MN 55387
3. By graphic interpretation only, this property is in Flood Zone "X" (Areas generally outside Special Flood Hazard Area 1% annual chance flood) per FEMA panel map number 27019C0183D, effective on 12/21/2018
4. Area of Property as described: 186,249 sq. ft
5. Elevations shown based on a benchmark located as shown hereon. See Miscellaneous Note #7
- 6 (a)(b). Zoning information per letter from the City of Waconia dated May 2nd 2024.
- 7(a). No buildings on site
- 7(c). No buildings on site
8. Substantial above ground features observed in the process of conducting field work as shown.
9. No parking stalls on site
- 11(a)(b). Observed evidence of existing utilities as shown hereon. Underground utility information shown per maps by others. Not all underground utilities may be shown, before any digging contact Gopher State One Call (651-454-0002 or 811)
13. Adjoining owners information per County Tax Records.
14. Distance to nearest intersection street as shown hereon.
17. The Surveyor is unaware of any changes in street right-of-way lines either completed or proposed as available from the controlling jurisdiction. There is no observable evidence of recent street or sidewalk construction or repairs.
18. Appurtenant easements per Schedule B, Part II of listed title commitment are shown hereon.
19. Surveyor has professional liability insurance in the amount of \$1,000,000 which is effective through the year 2024.

ALTA/NSPS Land Title Survey Certification

To Atwater Waconia MN LLC, an Illinois limited liability company; Tractor Supply Company, a Delaware corporation; Dubin Singer Phillips PC; Commercial Partners Title; and Chicago Title Insurance Company as follows:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA, and NSPS, and includes Items 1, 2, 3, 4, 6(a)(b), 7(a)(c), 8, 9, 11(a), 13, 14, 17, 18 and 19 of Table A thereof.
The field work was completed on September 19, 2023
Dated this 5th day of October, 2023.
Revised 4/29/2024 Attorney comments letter dated 11/1/23
Revised 5/3/2024 per email request dated 5/2/24
Revised 8/21/2024 gopher one utility locations
Revised 10/10/2024 pond depth, inverts

Prepared by:

7601 73rd Avenue North
Minneapolis, Minnesota 55428

F.B. No. Proj. No. 90506

Signed:

Gregory R. Prashch Registration No. 24992

field by:

drawn by: 

File No. F:\survey\waconia marketplace- carver c01-3 Bk 301 Surveying - 9050601 CAD01 Source01 Survey Base.dwg

Miscellaneous Notes

- MN 1

Legal description and easements per title commitment from Commercial Partners Title, Order Number CP72679, dated March 27, 2024, issued on April 17, 2024.
- MN 2

The Schedule B, Part II Exceptions not listed on the Survey are not survey matters.
- MN 3

The surveyed property is the same as that described in the title commitment (Commitment No. CP72679) issued by Commercial Partners Title, a division of Chicago Title Insurance Company, dated March 27, 2024, issued on April 17, 2024.
- MN 4

The Lots of the surveyed property and the adjoining parcels and public rights-of-ways are contiguous with no gaps, gores or overlaps.
- MN 5

Property Address: 910, 880 and 870 Marketplace Drive, Waconia, MN 55387
PID No.: 755040080, 755040090 and 755040100
- MN 6

Total Area of Parcel = 186,249 sq. ft.
- MN 7

Vehicle access is gained to the subject property from Marketplace Drive, a public right of way.
- MN 8

Property located in Section 23, Township 116, Range 25, Carver County, Minnesota.
- MN 9

Basis of bearings per Carver County coordinates.
- MN 10

Benchmark: Top nut of hydrant located at the intersection of Marketplace Drive and Mill Street as shown hereon. Elevation = 970.78 feet
- MN 11

The surveyed property is the same as that described in the title commitment (Commitment No. CP72679) issued by Commercial Partners Title, a division of Chicago Title Insurance Company, dated March 27, 2024, issued on April 17, 2024.
- MN 12

The Lots of the surveyed property and the adjoining parcels and public rights-of-way are contiguous with no gaps, gores, or overlaps.
- MN 13

As to item 7 of exception letter date 11/1/2023 the lines in question are former easement lines that are vacated and underlying description lines for the description of the plat which no longer affect this property.
- MN 14

The Schedule B, Part II Exceptions not listed on the Survey are not survey matters.
- MN 15

The surveyed property is the same as that described in the title commitment (Commitment No. CP72679) issued by Commercial Partners Title, a division of Chicago Title Insurance Company, dated March 27, 2024..
- MN 16

The Lots of the surveyed property and the adjoining parcels and public rights-of-way are contiguous with no gaps, gores, or overlaps.

Statement of Encroachments

- A

Public using concrete sidewalk located on property without the benefit of an easement.

Legend

- Denotes Found Iron Monument
- Denotes Iron Monument Set
- ⊗

Bollard
- ✱

Light
- ⚡

Power Pole
- Ⓢ

Sanitary Manhole
- Ⓜ

Storm Manhole
- Manhole (use not determined)
- ▒

Catch Basin
- ⚓

Sign
- Ⓣ

Telephone Pedestal Riser
- Ⓜ

Communication Pedestal Riser
- ⚡

Flared End Section
- GAS —

Gas Main
- UT —

Underground Communications
- UE —

Underground Electric
- < < —

Sanitary Sewer
- < —

Storm Sewer
- I —

Watermain
- W —

Overhead Wires
- SBL —

Minimum Building Setback Line
- FO —

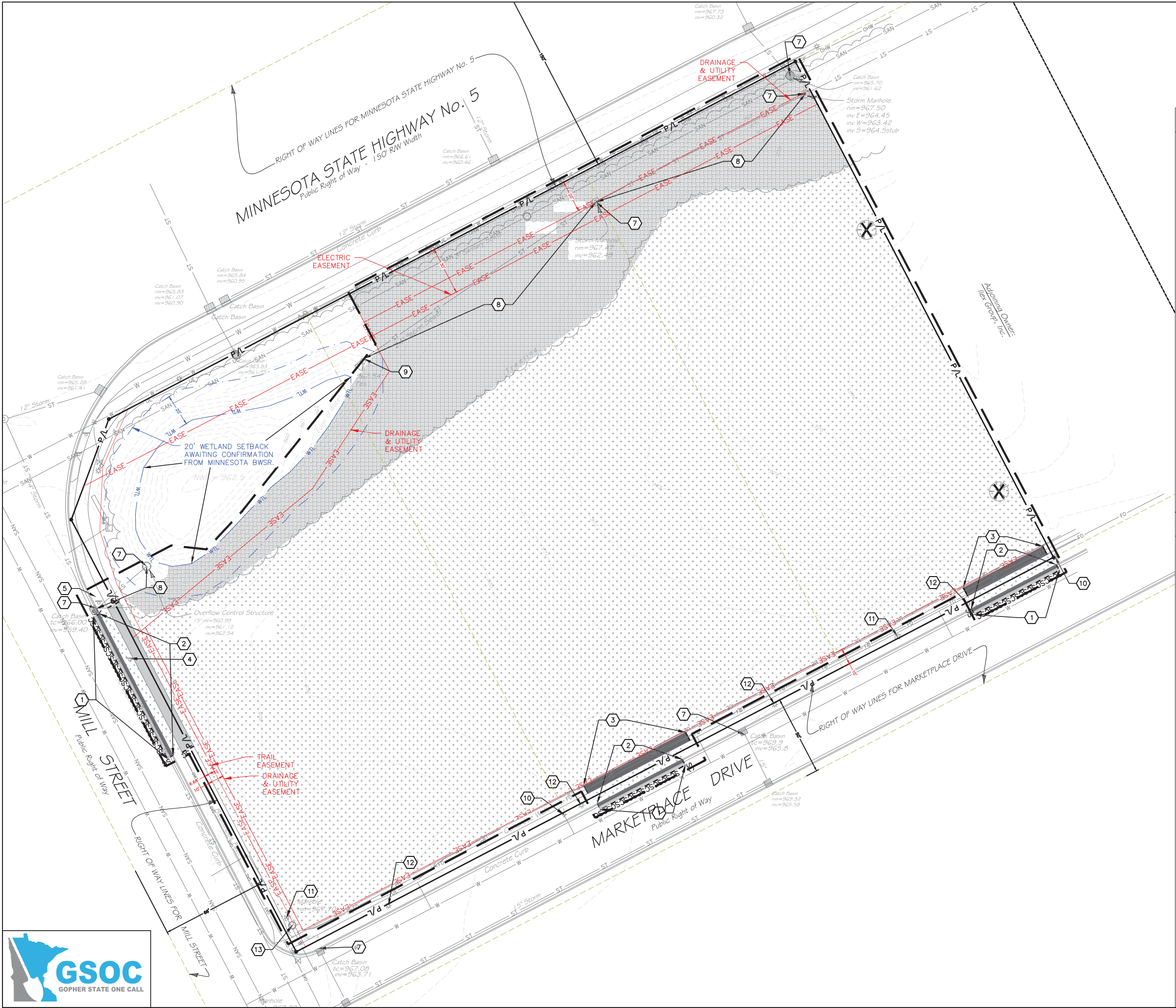
Underground Fiber Optic

Current Zoning Information

Source of Information: Report from National Due Diligence Services			
City Address: 201 South Vine Street, Waconia, MN 55387			
City Phone: 952-442-2184			
Subject Property Address: 840 Marketplace Drive, Waconia, MN 55387			
Zoning District(s): B-1			
Zoning Definition: B-1 Highway Business District			
Building Setback Requirements for principal structures			
	Observed	Required	Notes
Front Yard Setback	N/A	25 feet	50' setback from arterial streets such as Hwy 5, per §900.06 3.C.1.a, does not apply to the subject property per Ethan Nelson, Assistant Planner;
Side Yard Setback	N/A	15 feet	
Rear Yard Setback	N/A	20 feet	
Corner Yard Setback	N/A	20 feet	
Parking Tabulation			
	Observed	Required	Notes
Regular Spaces	N/A	see note	Parking requirements dependent on use of property.
Handicapped Spaces	N/A	see note	
Total Parking Spaces	N/A	see note	
Height Restrictions			
	Observed	Max. Allowed	Notes
Maximum Height	N/A	35 feet	
Bulk Restrictions			
	Observed	Required	Notes
Lot Area	55,442Sq. Ft.	17,500 sq.ft	
Max. Hardcover Surface	vacant	80%	
Other:	N/A	N/A	

NOTE: Because there may be a need for further interpretation of the applicable zoning codes, we refer you to the above referenced municipality and the applicable zoning codes.





DEMOLITION NOTES

- CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
- THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDRM, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
- FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL.
- ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE ALTA/NSPS LAND TITLE SURVEY LAST DATED (10-10-24), PREPARED BY DEMARC LAND SURVEYING & ENGINEERING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

KEY INDEX

PROJECT LIMITS

PROPERTY LINE

EASEMENT LINE

WETLAND LINE

VEGETATION TO BE REMOVED & DISPOSED OF OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED. UNUSED & UNSUITABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY.

ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED FULL DEPTH TO SUB-BASE & DISPOSED OF OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY.

CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. CONCRETE & BASE THICKNESS MAY VARY.

CLEAR & GRUB VEGETATION, REMOVE ROOTS & STUMPS. REMOVE & DISPOSE OF OFFSITE.

SAWCUT FULL DEPTH

TREES & STUMPS TO BE REMOVED

SAWCUT APPROXIMATELY 2' OF ASPHALT PAVEMENT OFF THE EDGE OF THE ROADWAY TO PROVIDE A SMOOTH EDGE FOR INSTALLATION OF NEW PAVEMENT.

REMOVE & DISPOSE OF EXISTING CONCRETE CURB & GUTTER

SAWCUT CONCRETE SIDEWALK AT NEAREST JOINT BEYOND SHOWN LOCATION TO PROVIDE A SMOOTH EDGE FOR INSTALLATION OF NEW SIDEWALK.

REMOVE & DISPOSE OF EXISTING SIGN POST AND FOOTING. EXISTING SIGN TO BE RETURNED TO OWNER.

EXISTING SIGN TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING WET POND TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING STORM SEWER STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING STORM SEWER TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING FLARED END SECTION TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING HYDRANT TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING VALVE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING LIGHT POLE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

EXISTING MANHOLE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.

788 N Jefferson Street, Suite 900
Milwaukee, Wisconsin 53202

kapurinc.com

PROJECT:

TRACTOR SUPPLY COMPANY

LOCATION:

840 MARKETPLACE DRIVE, WACONIA, MN 55387

CLIENT:

RELEASE:

PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE:

1" = 30'

SEAL:

all in

SHEET:

SITE DEMOLITION PLAN

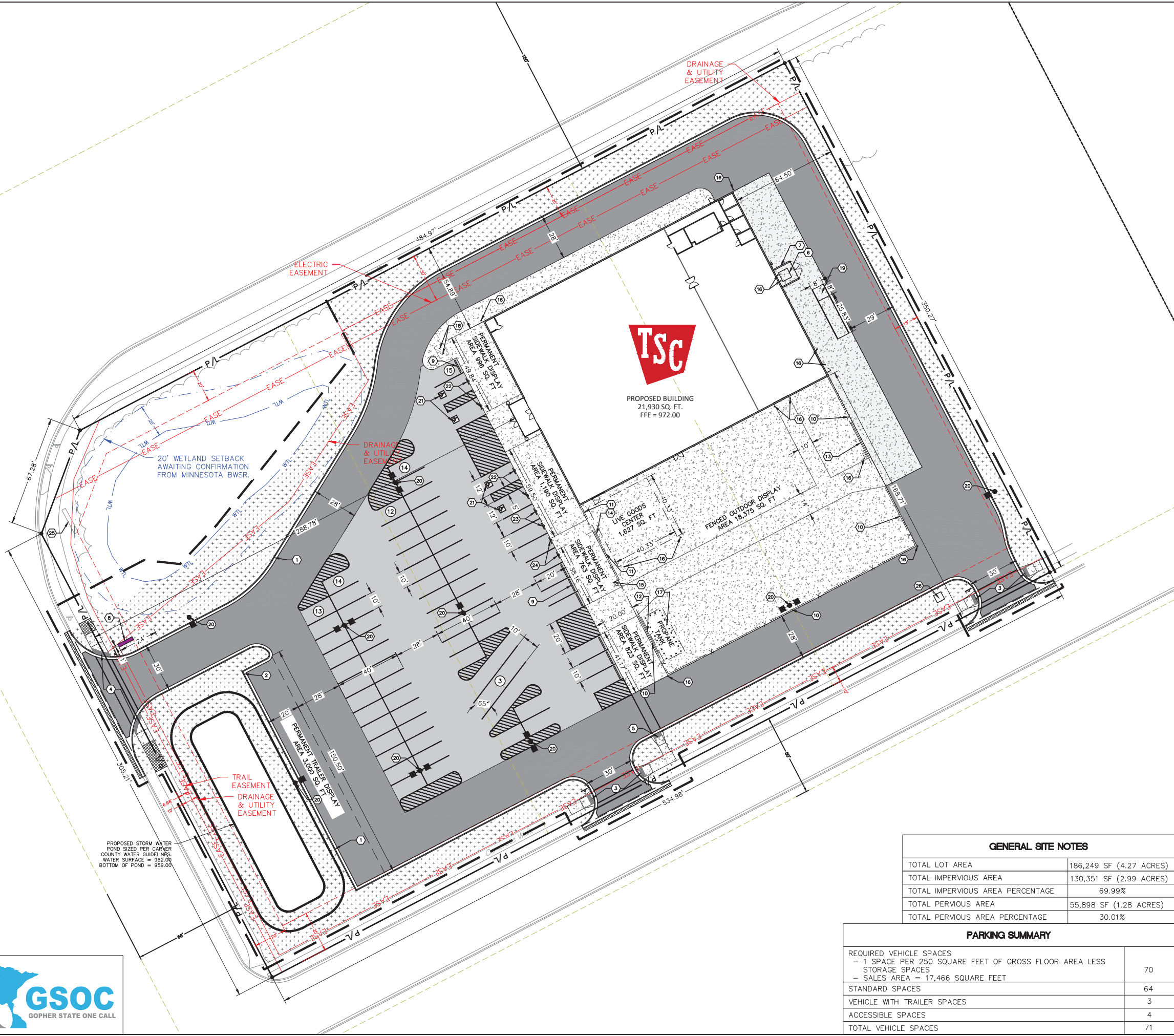
PROJECT MANAGER: GG

PROJECT NUMBER: 24.0777

DATE: 11/26/2024

SHEET NUMBER:

C101



PROPOSED BUILDING
21,930 SQ. FT.
FFE = 972.00

GENERAL SITE NOTES	
TOTAL LOT AREA	186,249 SF (4.27 ACRES)
TOTAL IMPERVIOUS AREA	130,351 SF (2.99 ACRES)
TOTAL IMPERVIOUS AREA PERCENTAGE	69.99%
TOTAL PERVIOUS AREA	55,898 SF (1.28 ACRES)
TOTAL PERVIOUS AREA PERCENTAGE	30.01%

PARKING SUMMARY	
REQUIRED VEHICLE SPACES - 1 SPACE PER 250 SQUARE FEET OF GROSS FLOOR AREA LESS STORAGE SPACES - SALES AREA = 17,466 SQUARE FEET	70
STANDARD SPACES	64
VEHICLE WITH TRAILER SPACES	3
ACCESSIBLE SPACES	4
TOTAL VEHICLE SPACES	71

KEY INDEX

PROJECT LIMITS

PROPERTY LINE

EASEMENT LINE

WETLAND LINE

AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.

ASPHALT PAVEMENT (LIGHT DUTY)
1.25" SURFACE COURSE
2.25" BINDER COURSE
8.00" AGGREGATE BASE COURSE

ASPHALT PAVEMENT (HEAVY DUTY)
1.25" SURFACE COURSE
2.75" BINDER COURSE
10.00" AGGREGATE BASE COURSE

ASPHALT PAVEMENT TO MATCH EXISTING PAVEMENT SECTION.

CONCRETE SIDEWALK
5.00" CONCRETE
6.00" AGGREGATE BASE COURSE

HEAVY DUTY CONCRETE PAVEMENT
6.00" CONCRETE
6.00" AGGREGATE BASE COURSE

HIGH-SIDE CONCRETE CURB & GUTTER
24" BARRIER UNLESS OTHERWISE NOTED

LOW-SIDE CONCRETE CURB & GUTTER
24" BARRIER UNLESS OTHERWISE NOTED

DEPRESSED CONCRETE CURB & GUTTER
24" DEPRESSED UNLESS OTHERWISE NOTED

1

3' WIDE CURB CUT

2

3' WIDE CURB CUT

3

ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS

4

ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS

5

ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS

6

DUMPSTER

7

TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.

8

GROUND MOUNTED SIGN. REFER TO TSC SIGN VENDOR FOR MORE INFORMATION.

9

PRECAST CONCRETE WHEEL STOPS (COUNT = 7)

10

12' HIGH BLACK VINYL CHAIN LINK FENCE

11

8' HIGH BLACK VINYL CHAIN LINK FENCE

12

20' WIDE MANUAL ROLLING CANTILEVERED GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.

13

20' WIDE AUTOMATIC ROLLING CANTILEVERED GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.

14

8' WIDE MANUAL ROLLING CANTILEVERED GATE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.

15

8' HIGH BY 4' WIDE BLACK VINYL CHAIN LINK FENCE SWING GATE WITH EGRESS HARDWARE.

16

6" CONCRETE BOLLARD
TOTAL COUNT = 13

17

4" CONCRETE BOLLARD SURROUNDING PROPANE TANK
TOTAL COUNT = 24

18

(2) "MADRAX" LOFTY BIKE RACKS OR EQUIVALENT. INSTALL PER MANUFACTURER SPECIFICATIONS AND DETAILS.

19

PREFABRICATED STEEL LOADING DOCK AND RAMP.

20

LIGHT POLE. REFER TO PHOTOMETRIC PLAN FOR MORE INFORMATION.

21

ACCESSIBLE PARKING SYMBOL

22

ACCESSIBLE SIGNS

23

VETERAN PARKING SIGNS

24

ONLINE ORDER PICK-UP PARKING SIGNS

25

EXISTING SHARED PYLON SIGN

26

TRANSFORMER. CONTRACTOR TO CONFIRM LOCATION WITH UTILITY OWNER.

PRELIMINARY - NOT FOR CONSTRUCTION

788 N Jefferson Street, Suite 900
Milwaukee, Wisconsin 53202

kapurinc.com

PROJECT:
TRACTOR SUPPLY COMPANY

LOCATION:
840 MARKETPLACE DRIVE, WACONIA, MN 55387

CLIENT:

RELEASE:
PRELIMINARY

REVISIONS:		
#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 30'

SEAL:

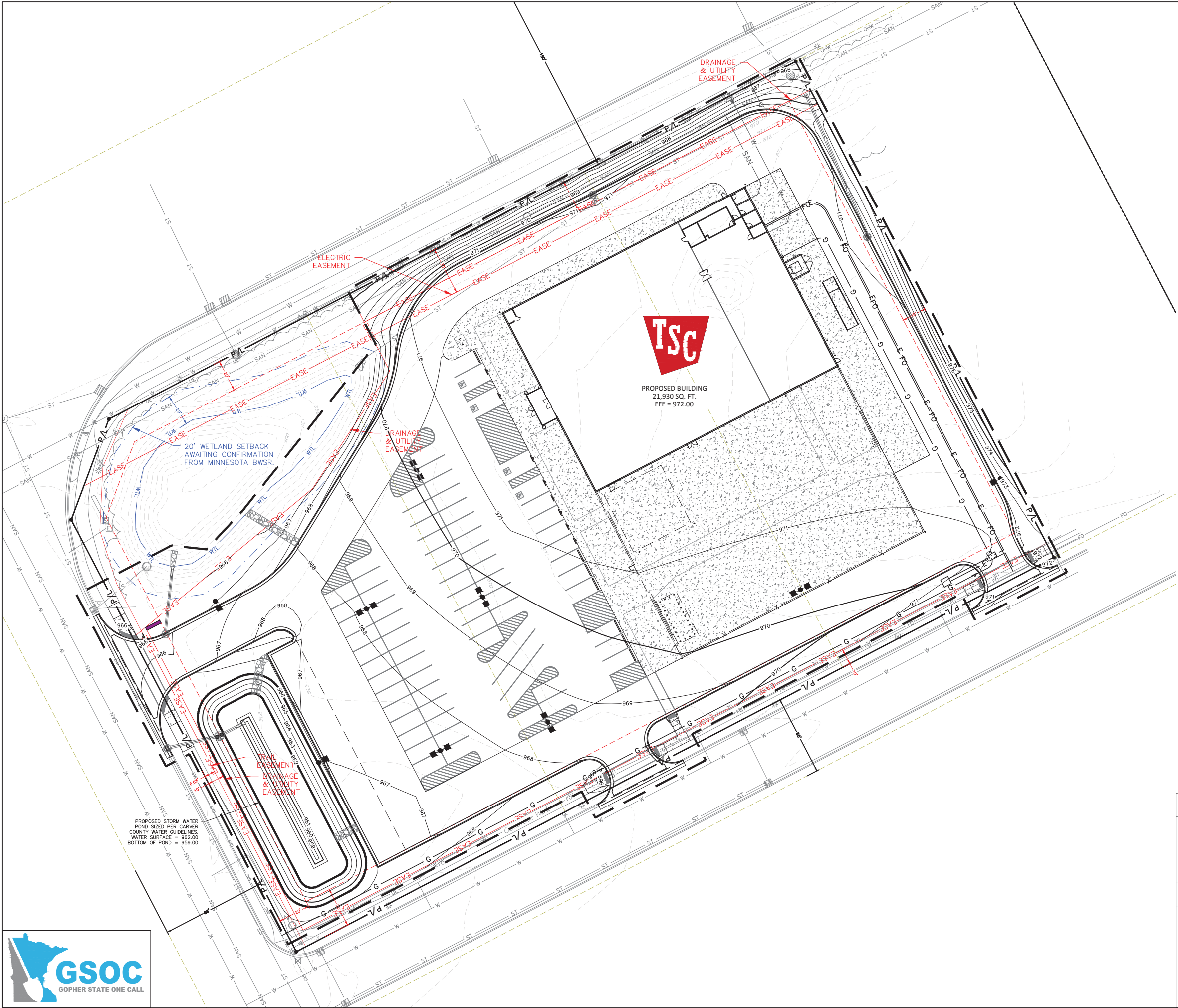
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SHEET:
SITE DEVELOPMENT PLAN

PROJECT MANAGER: GG
PROJECT NUMBER: 24.0777
DATE: 11/26/2024

SHEET NUMBER:
C102

FILENAME: S:\Minnesota\Waconia\240777 - Waconia Tractor Supply\Design\C104 - SITE GRADING PLAN.dwg



PROPOSED STORM WATER POND SIZED PER CARVER COUNTY WATER GUIDELINES. WATER SURFACE = 962.00 BOTTOM OF POND = 959.00

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

	PROJECT LIMITS
	PROPERTY LINE
	EASEMENT LINE
	WETLAND LINE
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	PROPOSED CONTOUR MAJOR

PRELIMINARY - NOT FOR CONSTRUCTION



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Milwaukee, Wisconsin 53202

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PROJECT:
TRACTOR SUPPLY
COMPANY

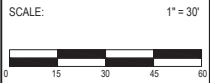
LOCATION:
840 MARKETPLACE
DRIVE, WACONIA,
MN 55387



RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION



SEAL:

all in

SHEET:
SITE GRADING
PLAN

PROJECT MANAGER: GG
PROJECT NUMBER: 24.0777
DATE: 11/26/2024

SHEET NUMBER:
C104



- 

	PROJECT LIMITS
	PROPERTY LINE
	EASEMENT LINE
	WETLAND LINE
	STORM CATCH BASIN WITH CURB BOX FRAME & GRATE
	RCP APRON ENDWALL
	RIP RAP
	WATER MAIN TEE
	WATER MAIN VALVE
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	ELECTRICAL ROUTING FOR COORDINATE FINAL LOCATION
	GAS ROUTING FOR COORDINATE FINAL LOCATION
	FIBER OPTIC ROUTING FOR COORDINATE FINAL LOCATION

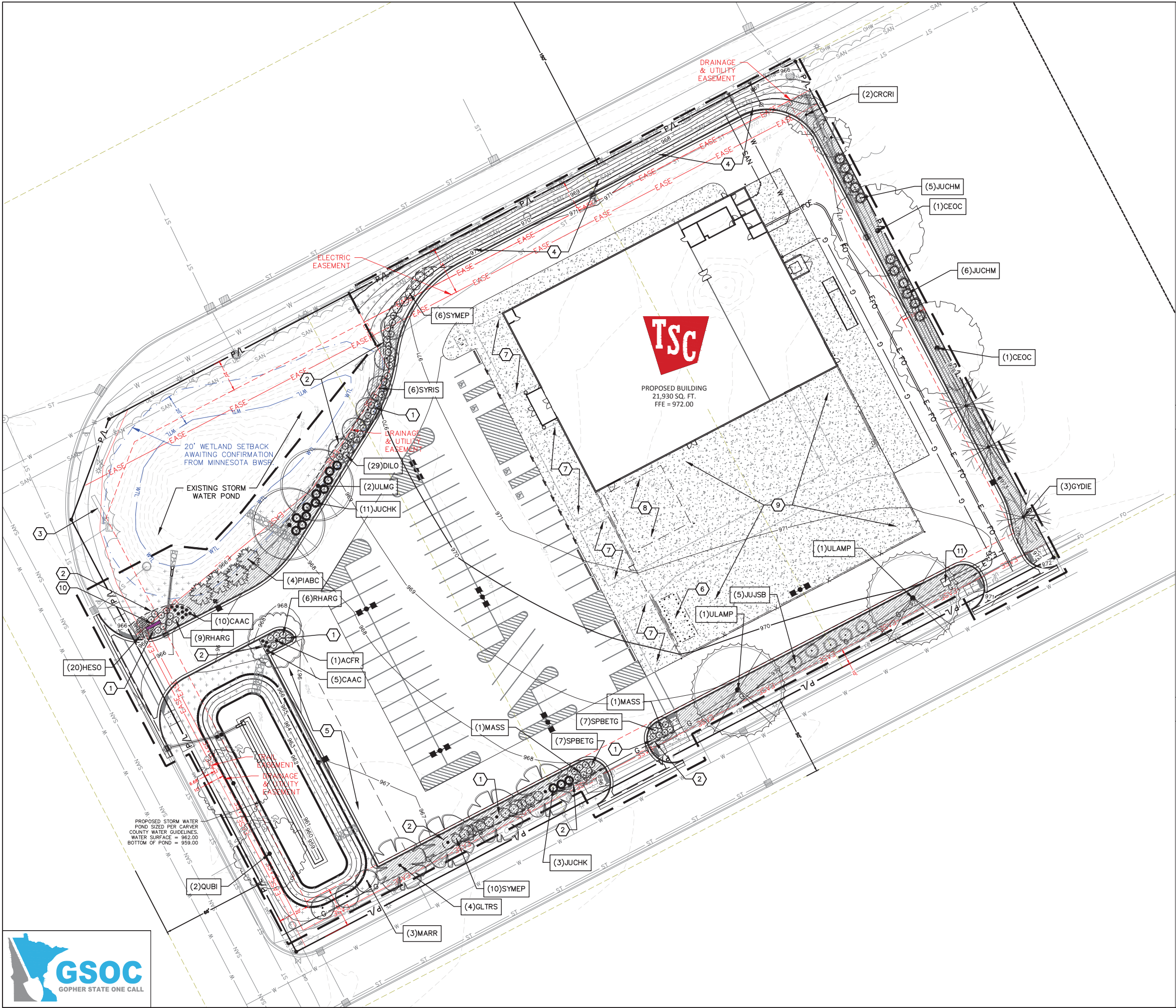
	PROJECT LIMITS
	PROPERTY LINE
	EASEMENT LINE
	WETLAND LINE
	STORM CATCH BASIN WITH CURB BOX FRAME & GRATE
	RCP APRON ENDWALL
	RIP RAP
	WATER MAIN TEE
	WATER MAIN VALVE
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	ELECTRICAL ROUTING FOR COORDINATE FINAL LOCATION
	GAS ROUTING FOR COORDINATE FINAL LOCATION
	FIBER OPTIC ROUTING FOR COORDINATE FINAL LOCATION

C105

STORM SEWER STRUCTURE TABLE					
STRUCTURE NAME:	TYPE (FRAME AND GRATE):	RIM ELEVATION:	PIPES IN:	PIPES OUT	BOTTOM:
CB-1	48" DIAMETER (R-3067-R)	970.45	N/A	ST-1, 15" NW INV = 965.48	963.98
CB-2	48" DIAMETER (R-3067-R)	970.68	N/A	ST-2, 12" SE INV = 966.68	965.18
CB-3	48" DIAMETER (R-3067-R)	965.82	N/A	ST-3, 12" N INV = 962.86	961.36
CB-4	48" DIAMETER (R-3067-L)	963.61	ST-5, 15" E INV = 961.67 EX ST, 18" SE INV = 960.35±	EX ST, 18" NW INV = 960.35±	960.17
EX ST MH-1	N/A	968.52	ST-1, 15" SE INV = 964.50 EX ST, 12" NE INV = 964.45±	EX ST, 24" W INV = 963.42±	963.42±
EX ST MH-2	N/A	970.92	ST-2, 12" NW INV = 966.63 EX ST, 24" NE INV = 962.49±	EX ST, 24" W INV = 962.49±	962.49±
FES-1	12" RCP APRON ENDWALL	N/A	ST-3, 12" S INV = 962.50	N/A	N/A
FES-2	15" RCP APRON ENDWALL	N/A	N/A	ST-4, 15" SW INV = 959.00	N/A
OS-1	60" OUTLET STRUCTURE WITH WEIR	966.27	ST-4, 15" NE INV = 962.00	ST-5, 15" W INV = 962.00	960.50

PRELIMINARY - NOT FOR CONSTRUCTION

FILENAME: S:\Minnesota\Waconia\240777 - Waconia Tractor Supply Design\L100 - SITE LANDSCAPING PLAN.dwg



PROPOSED STORM WATER POND SIZED PER CARVER COUNTY WATER GUIDELINES. WATER SURFACE = 962.00. BOTTOM OF POND = 959.00.

788 N Jefferson Street, Suite 900
Milwaukee, Wisconsin 53202
kapurinc.com

PROJECT:
TRACTOR SUPPLY COMPANY

LOCATION:
840 MARKETPLACE DRIVE, WACONIA, MN 55387

CLIENT:

RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:

SCALE: 1" = 30'

SEAL:

HATCH LEGEND

	PROJECT LIMITS
	PROPERTY LINE
	EASEMENT LINE
	WETLAND LINE

ALUMINUM EDGING

AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.

CONTRACTOR TO COORDINATE AND SUPPLY A CODE COMPLIANT IRRIGATION SYSTEM DESIGN, MATERIALS, AND INSTALLATION AS A DESIGN-BUILD CONTRACT. THIS WORK SHALL INCLUDE CONNECTION TO THE EXISTING WATER SUPPLY SYSTEM, AND ELECTRONIC CONNECTION TO THE EXISTING POWER SUPPLY SYSTEM. CONTRACTOR SHALL ALSO PROVIDE AND COORDINATE PLACEMENT OF SLEEVES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 4" SCHEDULE 40 PVC PIPE. IRRIGATION SYSTEM SHALL NOT SPRAY WATER ONTO ADJACENT PAVEMENTS. PROVIDE AN IRRIGATION PLAN SHOP DRAWING THAT INDICATES THE LOCATION, SIZE, MANUFACTURER AND MODEL OF PROPOSED IRRIGATION PIPING, SLEEVES, CONTROL VALVES, DRIP IRRIGATION LINES FOR PLANTING BED AREAS, POINT OF WATER CONNECTION, BACKFLOW PREVENTER AND IRRIGATION CONTROLLER.

PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE

QUANTITY OF PLANTS IN THE PLANT GROUPING

LEADER LINE

PLANT SYMBOL (SYMBOL VARIES)

KEY INDEX

1	SHREDDED HARDWOOD MULCH
2	ALUMINUM EDGING AT PLANTING BED
3	EXISTING MONUMENT SIGN (TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION)
4	NO TREES PROPOSED IN THIS AREA BECAUSE OF OVERHEAD UTILITY LINES, ELECTRIC EASEMENT AND DRAINAGE & UTILITY EASEMENT.
5	PERMANENT TRAILER DISPLAY AREA
6	PROPANE TANK
7	PERMANENT SIDEWALK DISPLAY AREA
8	LIVE GOODS CENTER
9	FENCED OUTDOOR DISPLAY AREA
10	TRACTOR SUPPLY MONUMENT SIGN
11	TRANSFORMER

FILENAME: S:\Minnesota\Waconia\240111 - Waconia tractor Supply\Design\L200 - Site Landscaping Plan.dwg

Plant Schedule						
Code	Scientific Name	Common Name	Quantity	Spacing	Install Size	Mature Size
						(Height/Spread)
Canopy Trees: (Install in accordance with detail 1/L202)						
ACFR	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	1	Per Plan	2.5" caliper B&B	40'-50'/35'-40'
CEOC	Celtis occidentalis	Common Hackberry	2	Per Plan	2.5" caliper B&B	40'-60'/40'-60'
GLTRS	Gleditsia tricanthos 'Skycole'	Skyline Honeylocust	4	Per Plan	2.5" caliper B&B	50'-60'/35'-45'
GYDIE	Gymnocladus dioicus 'Espresso'	Espresso Kentucky Coffee Tree	3	Per Plan	2.5" caliper B&B	50'/35'
QUBI	Quercus bicolor	Swamp White Oak	2	Per Plan	2.5" caliper B&B	50'/40'
ULAMP	Ulmus americana 'Princeton'	Princeton Elm	2	Per Plan	2.5" caliper B&B	60'-80'/40'-60'
ULMG	Ulmus 'Morton Glossy'	Triumph Elm	2	Per Plan	3" caliper B&B	55'/45'
Ornamental Trees: (Install in accordance with detail 1/L202)						
CRCRI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	2	Per Plan	3" caliper B&B	20'-30'/25'-35'
MARR	Malus x 'Royal Raindrops'	Royal Raindrops Crabapple	3	Per Plan	2.5" caliper B&B	20'/15'
MASS	Malus x 'Spring Snow'	Spring Snow Crabapple	2	Per Plan	2.5" caliper B&B	20-25'/15-20'
SYRIS	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6	Per Plan	3" caliper B&B	25'/15'
Evergreen Trees: (Install in accordance with detail 2/L202)						
JUCHM	Juniperus chinensis 'Mountbatten'	Mountbatten Chinese Juniper	11	Per Plan	6' tall B&B	15'/6'-8'
JUJSB	Juniperus chinensis 'J.N. Select Blue'	Siar Power Juniper	5	Per Plan	6' tall B&B	17'/7'-9'
PIABC	Picea abies 'Cupressina'	Columnar Norway Spruce	4	Per Plan	8' tall B&B	30'/10'
Deciduous Shrubs: (Install in accordance with detail 3/L202)						
DILO	Diervilla lonicera	Dwarf Bush Honeysuckle	29	Per Plan	18" tall pot	2'-3'/4'-5'
RHARG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	15	Per Plan	5 Gallon pot	2'-3'/6'-8'
SPBETG	Spirea betulifolia 'Tor Gold'	Glow Girl Spirea	14	Per Plan	18" tall pot	3'-4'/3'-4'
SYMEP	Syringa meyeri 'Palibin'	Meyer Lilac (Dwarf Korean Lilac)	16	Per Plan	24" tall pot	4'-4.5'/5'-7'
Evergreen Shrubs: (Install in accordance with detail X/L201)						
JUCHK	Juniperus chinensis 'Pfitzeriana Kallay'	Kallays Compact Juniper	14	Per Plan	18' spread pot	3'/6'-8'
Perennials: (Install in accordance with detail 4/L202)						
CAAC	Calamagrostis x acutiflora Karl Foerster	Karl Foerster Reed Grass	15	Per Plan	#1 cont.	5'-6'/18"-24"
HESO	Hemerocallis 'Stella De Oro'	Stella De Oro Daylily	20	Per Plan	#1 cont.	16"-18"/16"-24"
NOTE: Plant quantities indicated in the plant schedule are for convenience only. Installation contractor is responsible for verifying plant count or the landscape plan. When discrepancies between the plant schedule, labels and the landscape plan occur, the quantity drawn on the landscape plan shall be the official quantity.						

1

L201

PLANT SCHEDULE

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES" PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
4. LANDSCAPE EDGING TO BE ALUMNUM EDGING IN COLOR BLACK.
5. ALL PLANTING AREAS, TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR PROFESSIONAL WEED BARRIER FABRIC WITH LANDSCAPE EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN.
6. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
7. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC.. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC.. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
8. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
9. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
10. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
11. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
12. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
13. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
14. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
15. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
16. FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
17. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
18. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE 3 INCHES OR GREATER IN CALIPER. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH CABLE, WIRE, EYE BOLTS AND TURNBUCKLES. STAKES SHALL BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
22. REFER TO SPECIFICATIONS 329200 TURF AND GRASSES, AND 329300 PLANTS FOR ADDITIONAL INFORMATION.
23. LIGHT POLES AND UNDERGROUND UTILITIES INDICATED ON THIS PLAN ARE SHOWN FOR CONVENIENCE ONLY. SEE SITE LIGHTING PLAN FOR OFFICIAL LIGHT POLE LOCATIONS AND SURVEY/CIVIL PLANS FOR OFFICIAL GRADING AND UNDERGROUND UTILITY LOCATIONS. ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY TO AVOID LIGHT POLES AND UNDERGROUND UTILITIES

3

L201

LANDSCAPE NOTES

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

LANDSCAPE CALCULATIONS		
City of Waconia, Minnesota - Landscaping Requirements		
Site Zoning = B-1 (Highway Business District) Total parking spaces = 71 parking spaces Total building area = 21,933 square feet Total site perimeter length = 1743 linear feet Frontage along State Highway "5" = 552.3 linear feet		
Landscape requirements	Required	Provided
B-1 (Highway Business District) Landscape Requirements		
One (1) tree for every one thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.		
21,933 sf of total building floor area / 1,000 sf x 1 tree = 21.9 trees	22 trees	Not applicable
(1743 lf of total site perimeter / 50 lf) x 1 tree = 34.9 trees	35 trees (greater therefore minimum required)	35 trees provided
The light from automobile headlights and other sources shall be screened whenever it may be directed onto adjacent residential windows.	Headlight screening towards adjacent residential windows across State Highway "5" required	Headlight screening towards adjacent residential windows across State Highway "5" provided
Loading docks and loading berths that face a residentially zoned area shall be screened so as not to be seen from the residential area.	Loading docks and loading berths that face a residential zoned area shall be screened.	Loading docks and loading berths do not face a residential zoned area - screening not required.
Parking lots that serve a highway business use or health care use or public district that face or abut a residentially zoned area shall be screened so as to minimize the visual impact of the large expanses of asphalt and automobiles. This screening can be accomplished by an earth berm with shrub plantings or by a hedge with various deciduous and coniferous trees or by other combination approved by the planning commission.	Parking lot screening required to minimize the visual impact of the large expanses of asphalt and automobiles.	Parking lot screening provided to minimize the visual impact of the large expanses of asphalt and automobiles.
Trees planted to satisfy the requirements of the 3 rows above, shall not be counted towards the requirement of one (1) tree per 1000 square feet of building or one (1) tree per 50 feet of site perimeter unless otherwise specified by the planning commission.	Trees planted to satisfy the requirements of the 3 rows above, shall not be counted towards the requirement of one (1) tree per 1000 square feet of building or one (1) tree per 50 feet of site perimeter.	Trees planted to satisfy the requirements of the 3 rows above, are not counted towards the requirement of one (1) tree per 1000 square feet of building or one (1) tree per 50 feet of site perimeter. (10) 3" caliper deciduous trees and (4) 8' tall coniferous trees = (14) total trees provided (All trees are located outside of the electric easement and drainage & utility easement that runs along State Highway "5".
Additional plantings shall be required for properties fronting State Highway #5. One (1) three-inch minimum deciduous tree or one (1) eight-foot minimum coniferous tree will be required for every forty (40) feet of frontage along Highway #5	552.3 lf of State Highway "5" frontage / 40 lf = (13.8) 3" caliper deciduous tree -or- 8' tall coniferous tree requirec	
Landscape Requirements Applicable to All Districts		
Unless otherwise directed by the planning commission, all plantings shall be placed on the private property on which the development is taking place.	All plantings shall be placed on the private property on which the development is taking place.	All plantings are placed on the private property on which the development is taking place.
All off-street parking areas over one hundred (100) stalls shall include unpaved, landscape islands.	(71) total off-street parking stalls provided - unpaved landscape islands are not required	Not applicable
The complement of trees fulfilling the requirements of this policy shall be not less than twenty-five (25) percent deciduous and not less than thirty-three (33) percent coniferous	Tree plantings shall not be less than 25% deciduous and not less than 33% coniferous	(29) deciduous trees / (49) total trees = 59.2% deciduous trees (20) coniferous trees/ (49) total trees = 40.8% coniferous trees

2

L201

LANDSCAPE CALCULATIONS

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



788 N Jefferson Street, Suite 900
Milwaukee, Wisconsin 53202

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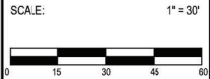
PROJECT:
TRACTOR SUPPLY
COMPANY

LOCATION:
840 MARKETPLACE
DRIVE, WACONIA,
MN 55387



RELEASE:
PRELIMINARY

REVISIONS:		
#	DATE	DESCRIPTION



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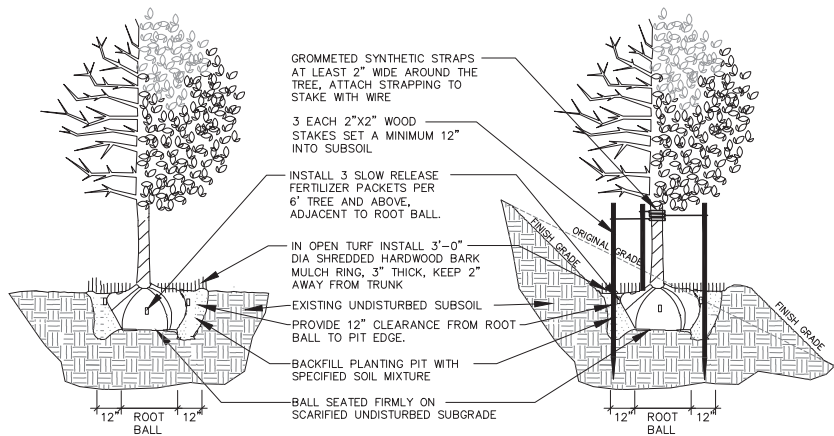
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SHEET:
SITE LANDSCAPE
DETAILS

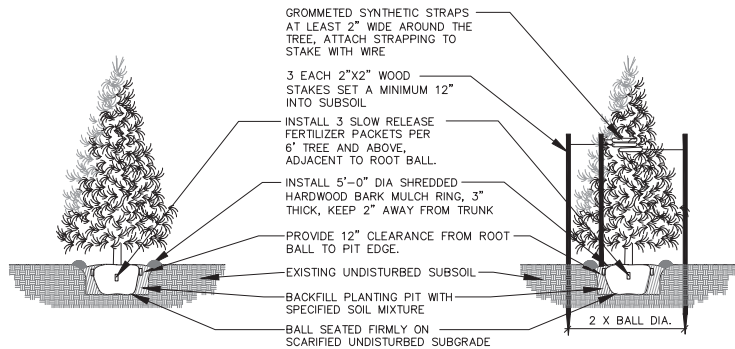
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PROJECT NUMBER: 240777
DATE: 11/28/2024

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L201

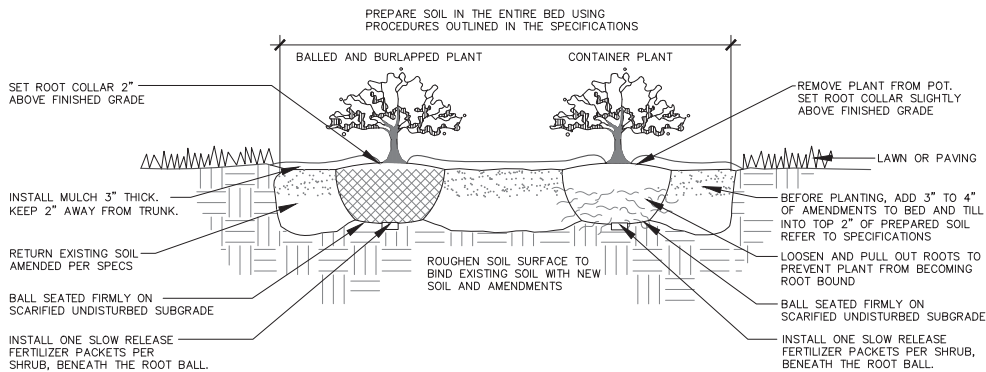
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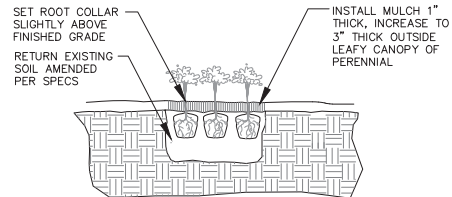
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L202
N.T.S.
DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE



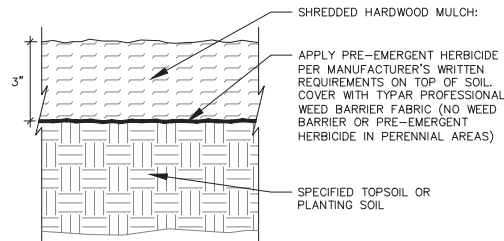
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L202
N.T.S.
EVERGREEN TREE PLANTING & STAKING



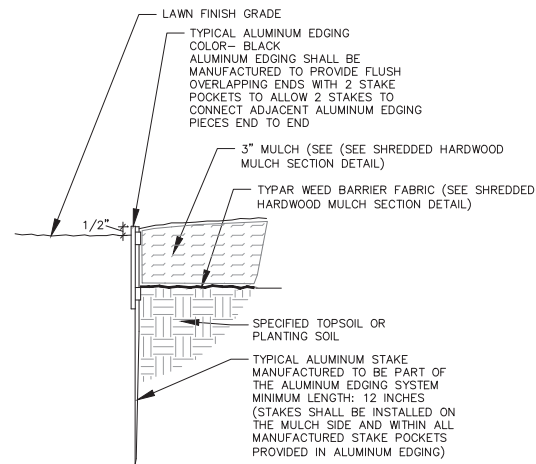
3
L202
N.T.S.
DECIDUOUS & EVERGREEN SHRUB PLANTING



4
L202
N.T.S.
PERENNIAL PLANTING



5
L202
N.T.S.
SHREDDED HARDWOOD MULCH SECTION



6
L202
N.T.S.
ALUMINUM EDGING AT PLANTING BED SECTION

PROJECT:
**TRACTOR SUPPLY
COMPANY**

LOCATION:
**840 MARKETPLACE
DRIVE, WACONIA,
MN 55387**

CLIENT:



RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 30'



SEAL:

all in

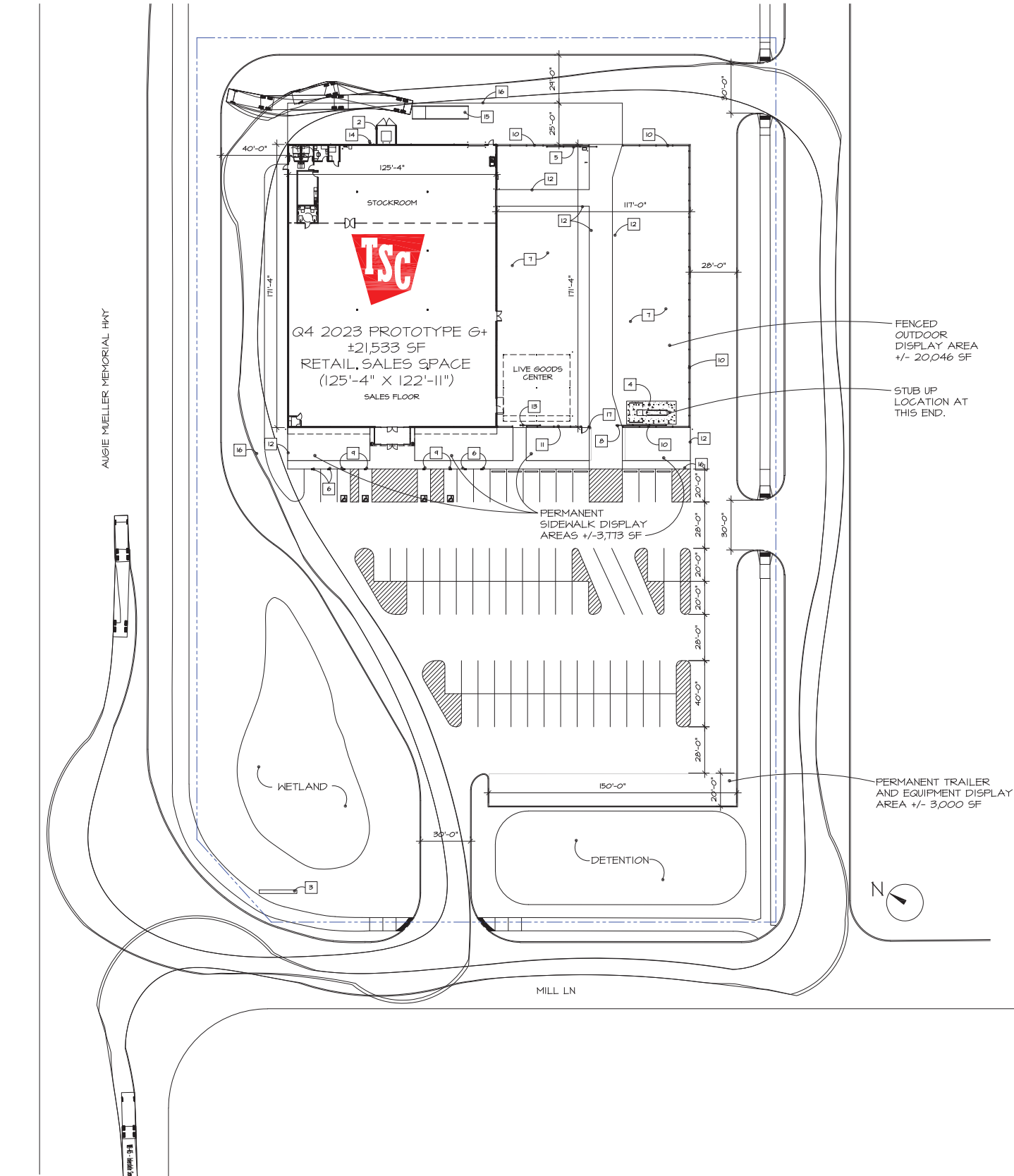
SHEET:
**SITE LANDSCAPE
DETAILS**

PROJECT MANAGER: GG
PROJECT NUMBER: 240777
DATE: 11/26/2024

SHEET NUMBER:

L202

UNLESS INDICATED AND SCALED THIS DRAWING IS A DRAFT AND NOT A LEGAL DOCUMENT.



1 AS-1 ARCHITECTURAL SITE PLAN
SCALE = 1/20

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL NEW FENCING MEASUREMENTS ONSITE AND IMMEDIATELY ALERT TSC PROJECT MANAGER AND/OR ARCHITECT OF DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
2. ALL FENCED YARDS SHOULD BE INSTALLED OVER CONCRETE AND/OR ASPHALT ONLY. NEVER INSTALL OVER DIRT, GRASS, OR LANDSCAPING.
3. CONTRACTOR TO VERIFY LOCATION OF PROPANE TANK AND CONDUIT STUB-UP WITH TSC PROJECT MANAGER PRIOR TO CONDUIT INSTALLATION.
4. CONTRACTOR TO PAINT 6" YELLOW SAFETY STRIP AT THE SIDEWALK ALONGS THE ENTIRE TSC SPACE.
5. CONTRACTOR TO PAINT STRIPES YELLOW ON CONCRETE AND WHITE ON ASPHALT, TYP.
6. SEE A-1 AND CIVIL DRAWINGS FOR MORE SITE INFORMATION, TYP.
7. VERIFY ALL UTILITIES ON SITE.
8. SEE CIVIL AND STRUCTURAL DRAWINGS FOR ALL CONCRETE SPECIFICATIONS, TYP.
9. CONTRACTOR TO PROVIDE CONCRETE WHEEL STOPS AT ALL PARKING SPACES FLUSH WITH SIDEWALKS.
10. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR SITE WORK, TYP.
11. GC TO INSTALL BOLLARDS AT ALL OUTSIDE CORNERS OF FOD AND/OR BUILDING, GREENHOUSE, DRIVE THRU CANOPY, AND REAR GATE. OPERATOR AT DRIVE AISLES FOR TRUCK AND/OR TON MOTOR PATHS. VERIFY LOCATIONS WITH TSC PROJECT MANAGER PRIOR TO BIDS.

NOT ALL NOTES MAY BE USED.

LEGEND:

- PROPERTY AND SETBACK LINES (ASSUMED)
- NEW FENCE - SEE SPECIFICATIONS
- PERMANENT SIDEWALK AND TRAILER DISPLAY AREAS

NOT ALL NOTES MAY BE USED.

FENCED OUTDOOR DISPLAY FIXTURE INSTALLATION NOTES:

1. G.C. TO VERIFY WITH TSC STORE MANAGER THAT ALL RACKS ARE PROPERLY BUILT AND POSITIONED.
2. DRILL HOLES FOR ANCHORING RACK. GENERALLY THE HOLE IN THE FOOT OF THE RACK IS 1/2" IN DIAMETER, HOWEVER, THIS MAY VARY. G.C. IS TO DETERMINE IN THE FIELD THE MOST APPROPRIATE SIZE REQUIRED TO ANCHOR RACKS.
3. RACKS ARE TO BE SECURELY ANCHORED WITH ANCHOR BOLTS IN EVERY AVAILABLE HOLE.
4. FOLLOWING INSTALLATION, REMOVE ANY RESIDUAL DEBRIS AND CLEAN AREA.

GATE OPERATOR INSTALLATION GUIDELINES:

1. CONTRACTOR IS TO ORDER AND INSTALL LIFMASTER SL50S FOR AUTOMATIC OPERATION OF REAR GATE.
2. AUTOMATIC OPERATION SHALL INCLUDE FEEDBACK LOOP WITHIN FENCED DISPLAY AREA. COORDINATE PLACEMENT WITH STRIPED STOP BAR AND TSC PROJECT MANAGER.
3. INSTALL AND PROGRAM (2) RADIO REMOTE CONTROLS AND KEYPAD FOR MANUAL OVERRIDE. COORDINATE KEYPAD LOCATION WITH TSC PROJECT MANAGER.

PROPANE RESPONSIBILITY NOTES:

- IF PROPANE IS DELIVERED PRIOR TO FIXTURE DATE:
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR INFRASTRUCTURE RELATED TO PROPANE TANK INSTALLATION.
 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL PERMITTING AND FINAL CONNECTION TO PUMP DISPENSING CONTROL PANEL.
 3. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR GAS PERMITTING OF THE TANK.
 4. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR INSTALLATION AND FINAL GAS CONNECTION OF THE TANK.
 5. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- IF PROPANE IS DELIVERED AFTER TO FIXTURE DATE:
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR INFRASTRUCTURE RELATED TO PROPANE TANK INSTALLATION.
 2. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR ELECTRICAL PERMITTING AND FINAL CONNECTION TO PUMP DISPENSING CONTROL PANEL.
 3. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR GAS PERMITTING OF THE TANK.
 4. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR INSTALLATION AND FINAL GAS CONNECTION OF THE TANK.
 5. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.

KEYED NOTES:

1. NEW LIGHT POLE LIGHT FIXTURE. SEE ELECTRICAL AND CIVIL DRAWINGS FOR MORE INFORMATION.
2. DUMPSTER ENCLOSURE LOCATION - SEE DETAIL #1 ON SHEET AS-3. COORDINATE WITH TSC PROJECT MANAGER PRIOR TO INSTALLATION.
3. LOCATION OF EXISTING PYLON SIGN.
4. PLACE BULK PROPANE TANK TO SIT LEVEL, SHIM AS REQUIRED. SEE DETAIL #10 ON SHEET AS-2 FOR PLACEMENT INFORMATION. COORDINATE/VERIFY FINAL PLACEMENT WITH TSC PROJECT MANAGER.
5. 20'-0" SLIDING CHAIN LINK GATE WITH AUTOMATIC SYSTEM AT REAR. SEE DETAIL #5 ON SHEET AS-2 FOR MORE INFORMATION.
6. CONTRACTOR TO PROVIDE AND INSTALL NEW MCUE VERTICAL SIGNAGE AT DESIGNATED VETERAN AND BUY ONLINE PARKING SPACES (2 OF EACH) PER TSC STANDARD CRITERIA PLANS. COORDINATE/VERIFY EXACT LOCATIONS WITH TSC PROJECT MANAGER. SIMILAR DETAIL #1 ON SHEET AS-2.
7. INSTALL FIXTURES IN FENCED AREA PER GUIDELINES ON THIS SHEET. SEE TSC FINAL FIXTURE PLAN FOR LOCATIONS.
8. 20'-0" MANUAL SLIDING CHAIN LINK GATE AT FRONT. SEE DETAIL #5 ON SHEET AS-2 FOR MORE INFORMATION.
9. ACCESSIBLE PARKING SIGNAGE WITH NEW MCUE SIGNS. PER DETAIL #1 ON SHEET AS-2. G.C. TO VERIFY & COORDINATE WITH LOCATIONS WITH CURRENT ADA GUIDELINES AND CIVIL DRAWINGS.
10. NEW 12'-0" HIGH CHAIN LINK FENCE EXCEPT IN FRONT OF LIVE GOODS CENTER. SEE SPECIFICATION ON THIS SHEET AND EXTERIOR ELEVATIONS, TYP.
11. NEW 8'-0" HIGH CHAIN LINK FENCE IN FRONT OF LIVE GOODS CENTER. SEE SPECIFICATIONS ON THIS SHEET AND EXTERIOR ELEVATIONS, TYP.
12. 4" PAINTED STRIPE INDICATING EXTENT OF DRIVE AISLE AND DISPLAY AREA. COORDINATE WITH FINAL FIXTURE PLAN, TYP.
13. 8'-0" WIDE MANUAL ROLLING CANTILEVER GATE AT LIVE GOODS CENTER.
14. PROPOSED GAS METER LOCATION. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
15. STEEL DOCK RAMP PROVIDED AND INSTALLED BY TSC CONTRACTOR. SEE DETAIL #4 ON SHEET AS-2. COORDINATE FINAL LOCATION WITH FIXTURE PLAN.
16. EDGE OF CONCRETE. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
17. 4'-0" SWING GATE WITH HARDWARE. SEE DETAIL #14 ON SHEET AS-2.

NOT ALL NOTES MAY BE USED.

8' FENCE SPECIFICATIONS:

1. FABRIC: 46" 4 GA. GALVANIZED (2" MESH) CHAIN LINK FABRIC.
2. TOP & BOTTOM RAIL: 1 3/8" O.D. FULL HEIGHT PIPE, 2.21 LBS. PER FOOT (MIN). TOP RAIL TO BE JOINED WITH A 1 3/8" SLEEVE. BOTTOM RAIL AT 18" ABOVE GRADE.
3. LINE POST: 2 1/2" O.D. FULL HEIGHT PIPE, 3.65 LBS. PER FOOT (MIN). SET IN 8" DIA. BY 36" DEEP CONCRETE FOOTING.
4. TERMINAL POST: 3" O.D. FULL HEIGHT PIPE, 5.74 LBS. PER FOOT (MIN). SET IN 8" DIA. BY 36" DEEP CONCRETE FOOTING.
5. GATE POST: 4" O.D. FULL HEIGHT PIPE, 4.10 LBS. PER FOOT (MIN). 8" DIA. 36" DEEP CONCRETE FOOTING.
6. (2) GATES: (I) ONE 8'-0" & (II) ONE 4'-0" SWING GATE, WITH FRAMEWORK OF 1 3/8" FULL HEIGHT PIPE, 2.21 LBS. PER FOOT (MIN). GATES BRACED & TRUSSED AS NECESSARY, SAME FABRIC AS FENCE. SEE PLAN FOR WIDTH.
- 6A. SWING GATES: DESIGN AS PER MANUFACTURERS DESIGN STANDARDS.
7. TENSION WIRE: 1 GA. COIL SPRING GALVANIZED TENSION WIRE ATTACHED TO BOTTOM OF FENCE FABRIC WITH 1 GA. ALUMINUM HOG RING SPACED 24" O.C.
8. FITTINGS: HEAVY BRACED BAND AND CARRIAGE BOLT. PRESSED STEEL LOOP CAP, PRESSED STEEL CAP, 1/2" X 3/8" TENSION BAR, HEAVY TENSION BAND AND CARRIAGE BOLT.
9. TIE WIRE: 8 3/4" 12 GA. STEEL TIE WIRE AND 6 3/4" 12 GA. STEEL WIRE SPACED 15" O.C. FOR RAILS.
10. POST FOOTINGS: TRUCK POURED CONCRETE.

12' FENCE SPECIFICATIONS:

(FOR WIND SPEEDS UP TO 130 MPH)

1. FABRIC: 142" 4 GA. GALVANIZED (2" MESH) CHAIN LINK FABRIC.
2. TOP & BOTTOM RAIL: 1 3/8" O.D. FULL HEIGHT PIPE, 2.21 LBS. PER FOOT (MIN). TOP RAIL TO BE JOINED WITH A 1 3/8" SLEEVE. BOTTOM RAIL AT 18" ABOVE GRADE. THE MAXIMUM SPACING OF INTERMEDIATE HORIZONTAL RAILS TO BE 48" MAX.
3. LINE, GATE AND TERMINAL POST: 4" O.D. 1/2" WALL THICKNESS (MIN). LINE POST TO BE SET 10' ON CENTER MAX SPACING. CONCRETE FOOTING TO BE 8" DIA. BY 60" DEEP CONCRETE.
4. TENSION WIRE: 1 GA. COIL SPRING GALVANIZED TENSION WIRE ATTACHED TO BOTTOM OF FENCE FABRIC WITH 1 GA. ALUMINUM HOG RING SPACED 24" O.C.
5. FITTINGS: HEAVY BRACED BAND AND CARRIAGE BOLT. PRESSED STEEL LOOP CAP, PRESSED STEEL CAP, 1/2" X 3/8" TENSION BAR, HEAVY TENSION BAND AND CARRIAGE BOLT.
6. TIE WIRE: 8 3/4" 12 GA. STEEL TIE WIRE AND 6 3/4" 12 GA. STEEL WIRE SPACED 15" O.C. FOR LINE POST AND 24" O.C. FOR RAILS.
7. POST FOOTINGS: TRUCK POURED CONCRETE.

TSC PARKING LOT STANDARD PAINT SPECIFICATIONS

1. 15 MIL APPLICATION (0.015 INCH THICKNESS)
2. NEW PAVEMENT SURFACE TO CURE FOR A PERIOD OF NOT LESS THAN 14 DAYS BEFORE APPLICATION OF MARKING MATERIALS.
3. REMOVE ALL DIRT, GRAVEL, DEBRIS, VEGETATION, OR OTHER MISCELLANEOUS OBJECTS FROM THE SURFACE WITH A BROOM, TRUCK OR EQUIVALENT RIGOROUS METHOD. PROVIDE A CLEAN, DUST-FREE AND COMPLETELY DRY SURFACE FOR PAINT APPLICATION. DO NOT APPLY PAINT OVER EXISTING TAPE MARKINGS.
4. CONFIRM AND RECORD PROPER AIR AND SURFACE TEMPERATURES OF 55° AND RISING AND LESS THAN 85°. IF THE SURFACE TEMPERATURE IS NOT WITH THE TEMPERATURE RANGE OR IF THE PAINT APPLICATION IS DONE UNDER ADVERSE CONDITIONS (AS DETERMINED BY THE TSC PROJECT MANAGER) SUCH AS ABOVE 75% HUMIDITY, NIGHT STRIPING, ETC., IN ORDER TO MEET TSC OPENING SCHEDULE, CONTRACTOR TO RE-SCHEDULE AND COMPLETE SURFACE STRIPING UNDER PROPER CONDITIONS A MINIMUM OF 30 DAYS PRIOR TO THE EXPIRATION OF THE (I) ONE YEAR CONSTRUCTION WARRANTY.
5. PROVIDE A 15 MIL THICK 4" WIDE CONTINUOUS STRIPE WHERE THE COLOR INDICATED. MINIMUM OF (2) TWO COATS.
6. PROVIDE PRIMER AND SEALER TO BE APPLIED PER THE MANUFACTURERS RECOMMENDATIONS ON ALL CONCRETE SURFACES AND ON ASPHALT SURFACES THAT ARE MORE THAN TWO YEARS OLD, OXIDIZED AND/OR HAVE AGGREGATE EXPOSED



PRELIMINARY

5401 VIRGINIA WAY
BRENTWOOD, TN 37027
PHONE: (615) 440-4200



PROPOSED REMODEL:
MILL LANE
WACONIA, MN 55387

JOB NUMBER:
24-09
REVISIONS:

OCTOBER 17, 2024

AS-1
ARCHITECTURAL SITE
PLAN

UNLESS SHOWN AND SEALED THIS DRAWING IS A DRAFT AND NOT A LEGAL DOCUMENT.

EXTERIOR FINISH SCHEDULE

	A	8" AND/OR 4" SPLIT FACE CMU PAINT COLOR TO MATCH PAINT SMT513 - SANDERLING, TYP. BELOW 4'-0" A.F.F. TYP.
	B	8" SPLIT FACE CMU PAINT COLOR TO MATCH PAINT SMT513 - SANDERLING, TYP. ABOVE 4'-0" A.F.F. TYP. (AT FRONT ELEVATION ONLY)
	C	8" SMOOTH FACE CMU PAINT COLOR TO MATCH PAINT SMT513 - SANDERLING, TYP. BELOW 4'-0" A.F.F. TYP. (AT REAR AND SIDE ELEVATIONS ONLY)
	D	8" SMOOTH FACE CMU PAINT COLOR TO MATCH PAINT SMT532 - URBAN PUTTY, TYP. ABOVE 4'-0" A.F.F. TYP.

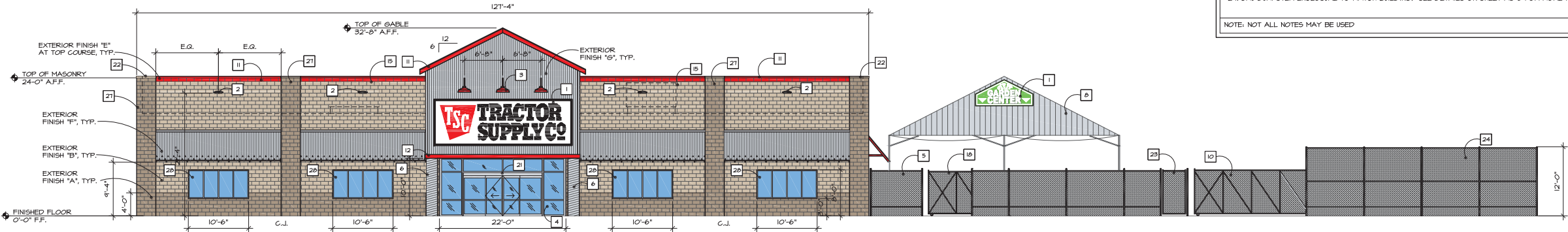
	E	8" SMOOTH FACE CMU PAINT COLOR TO MATCH PAINT SAFETY RED, TYP.
	F	22 GA. GALVANIZED CORRUGATED STEEL METAL FINISH WITH MATTE COMMERCIAL WRAP AND 3" FIRE TREATED APA RATED SHEATHING, TYP.
	G	22 GA. GALVANIZED STEEL PANEL WITH MATTE FINISH OVER TYVEK UNDERLAYMENT AND 3" FIRE TREATED CDX PLYWOOD, TYP.
	H	22 GA. GALVANIZED STEEL PANEL WITH MATTE FINISH OVER TYVEK UNDERLAYMENT AND 3" FIRE TREATED CDX PLYWOOD, TYP.

NOTES:
1) NOT ALL FINISHES/PAINTS MAY BE USED.
2) SEE TSC CRITERIA PLANS FOR ALTERNATE PPS PAINT SPECIFICATIONS
3) SEE A-1 FOR EXTERIOR PAINTING SPECIFICATIONS/COLORS.

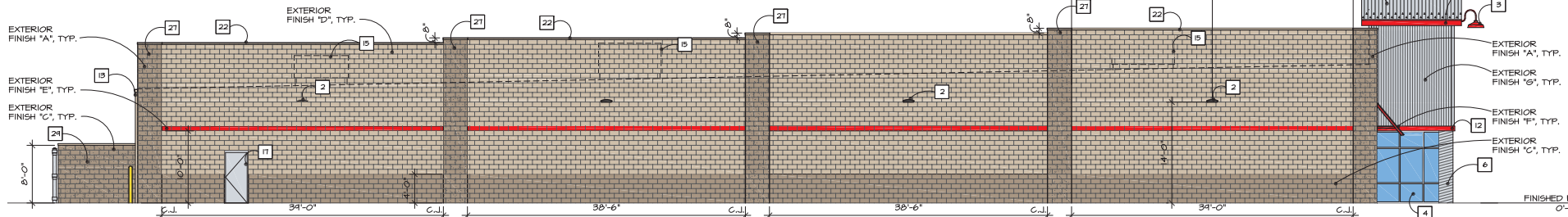
KEYED NOTES:

1. NEW SIGNAGE PROVIDED AND INSTALLED BY OTHERS. COORDINATE WITH VENDOR TO ENSURE LARGEST SIGN IS SPECIFIED. PROVIDE 3" FIRE RETARDANT PLYWOOD WHERE SIGNS ARE INDICATED, E.G. TO PROVIDE AND INSTALL JUNCTION BOX AND CIRCUIT TO PANEL.
2. EXTERIOR WALL PACK FIXTURE, TYP.
3. THREE (3) RED GOOSENECK FIXTURES MOUNTED AT 21'-6" A.F.F. TO BOTTOM OF FIXTURE, TYP.
4. ALUMINUM STOREFRONT WITH GRAY TINTED GLASS. SEE DOOR/WINDOW SCHEDULE ON SHEET A-11 FOR ADDITIONAL INFORMATION.
5. 8'-0" ALUMINUM BLACK VINYL CHAIN LINK FENCE IN FRONT OF LIVE GOODS CENTER STRUCTURE, TYP.
6. 24" DIAMETER CORRUGATED GALVANIZED PIPE ANCHORED TO STRUCTURAL PIPE COLUMN, TYP.
7. 12'-0" HIGH ALUMINUM BLACK VINYL CHAIN LINK FENCE, TYP.
8. LIVE GOODS CENTER STRUCTURE PROVIDED BY VENDOR, SEE VENDOR INFORMATION ON SHEET T-2 FOR MORE INFORMATION.
9. 36" X 36" ACCESS DOOR TO BE FIELD LOCATED WHERE THERE IS NOT INTERRUPTION OF TRUSS FRAMING. DOOR TO BE PART OF DH PAGE PACKAGE. SEE DOOR #10 ON DOOR SCHEDULE FOR MORE INFORMATION.
10. 20'-0" SLIDING GATE. SEE SHEETS AS-1 AND AS-2 FOR DETAILS AND SPECIFICATIONS.
11. ALL PRE-FINISHED FASCIA AND COPING AT FRONT FACADE TO MATCH SAFETY RED FINISH, TYP.
12. 24" DIAMETER CORRUGATED GALVANIZED PIPE ANCHORED TO STRUCTURAL PIPE COLUMN, TYP.
13. PRE-FINISHED METAL GUTTERS AND 6" DOWNSPOUTS TO MATCH UNGLAD ALMOND, TYP. CONNECT DOWNSPOUT TO STORM SEWER WITH 6" SCHEDULE 40 PVC PIPE STUB OUTS WITH FITTINGS. SEE CIVIL DRAWINGS FOR MORE INFORMATION, TYP.
14. BARRYGRAFT B55A DOWNSPOUT BOOT OR APPROVED EQUAL, TYP.
15. ROOF TOP MECHANICAL UNITS CONCEALED BEHIND PARAPET WALL, TYP. SEE STRUCTURE AND MECHANICAL DRAWINGS FOR MORE INFORMATION.
16. ALUMINUM OR STEEL (PAINTED GRAY) LADDER WITH REQUIRED SECURITY PANEL AND GUARDRAILS (AS REQUIRED BY LOCAL CODES).
17. 3'-0" X 7'-0" HOLLOW METAL MAN DOOR. SEE DOOR SCHEDULE FOR MORE INFORMATION, TYP.
18. 8'-0" SLIDING GATE. SEE SHEETS AS-1 AND AS-2 FOR DETAILS AND SPECIFICATIONS.
19. 10'-0" X 10'-0" AUTOMATIC INSULATED COILING DOOR WITH TWO (2) BOLLARDS EACH SIDE.
20. LOUVERED VENT.
21. CLEAR ANODIZED AUTO SLIDING DOORS. SEE DOOR SCHEDULE FOR MORE INFORMATION, TYP.
22. PRE-FINISHED METAL COPING TO MATCH UNGLAD ALMOND UNLESS NOTED OTHERWISE (RED), TYP.
23. 4'-0" GATE WITH EXIT HARDWARE, TYP.
24. 12'-0" ALUMINUM BLACK VINYL CHAIN LINK FENCE, TYP.
25. PRE-FINISHED METAL SCUPPERS AND 6" DOWNSPOUTS TO MATCH UNGLAD ALMOND, TYP. CONNECT DOWNSPOUT TO STORM SEWER WITH 6" SCHEDULE 40 PVC PIPE STUB OUTS WITH FITTINGS. SEE CIVIL DRAWINGS FOR MORE INFORMATION, TYP.
26. 8"x8" PRE-FINISHED METAL OVERFLOW SCUPPER PER ROOFING MANUFACTURE REQUIREMENTS. MINIMUM OF 24" AND 8" ABOVE SCUPPER AND DOWNSPOUT.
27. 4" SPLIT-FACE CMU 40" WIDE PILASTER, TYP.
28. SPANDREL PANEL WINDOWS AT FRONT ELEVATION, TYP (FROM 3'-0" TO 8'-0" A.F.F.), TYP.
29. CMU DUMPSTER ENCLOSURE TO MATCH BUILDING. SEE DETAILS ON SHEET AS-3 FOR MORE INFORMATION.

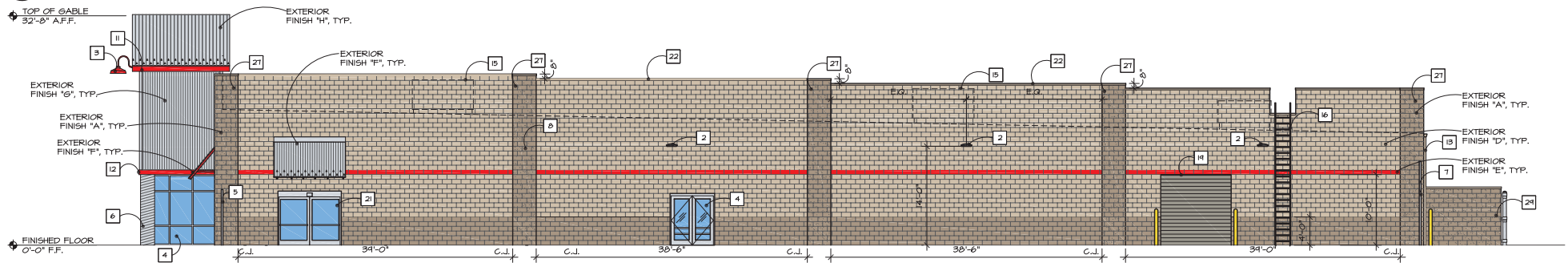
NOTE: NOT ALL NOTES MAY BE USED



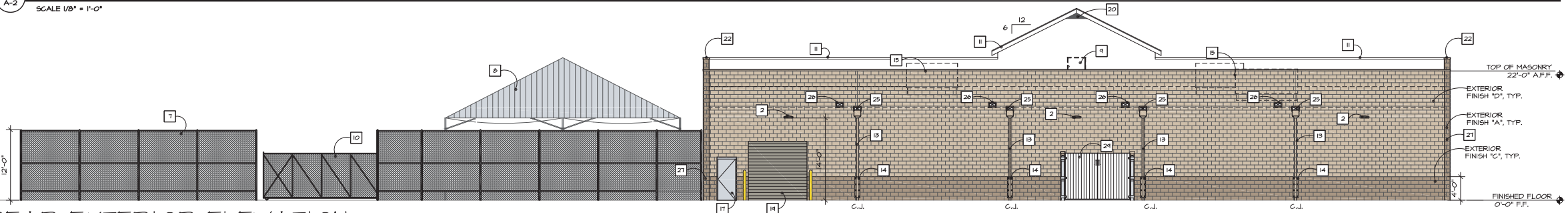
FRONT EXTERIOR ELEVATION



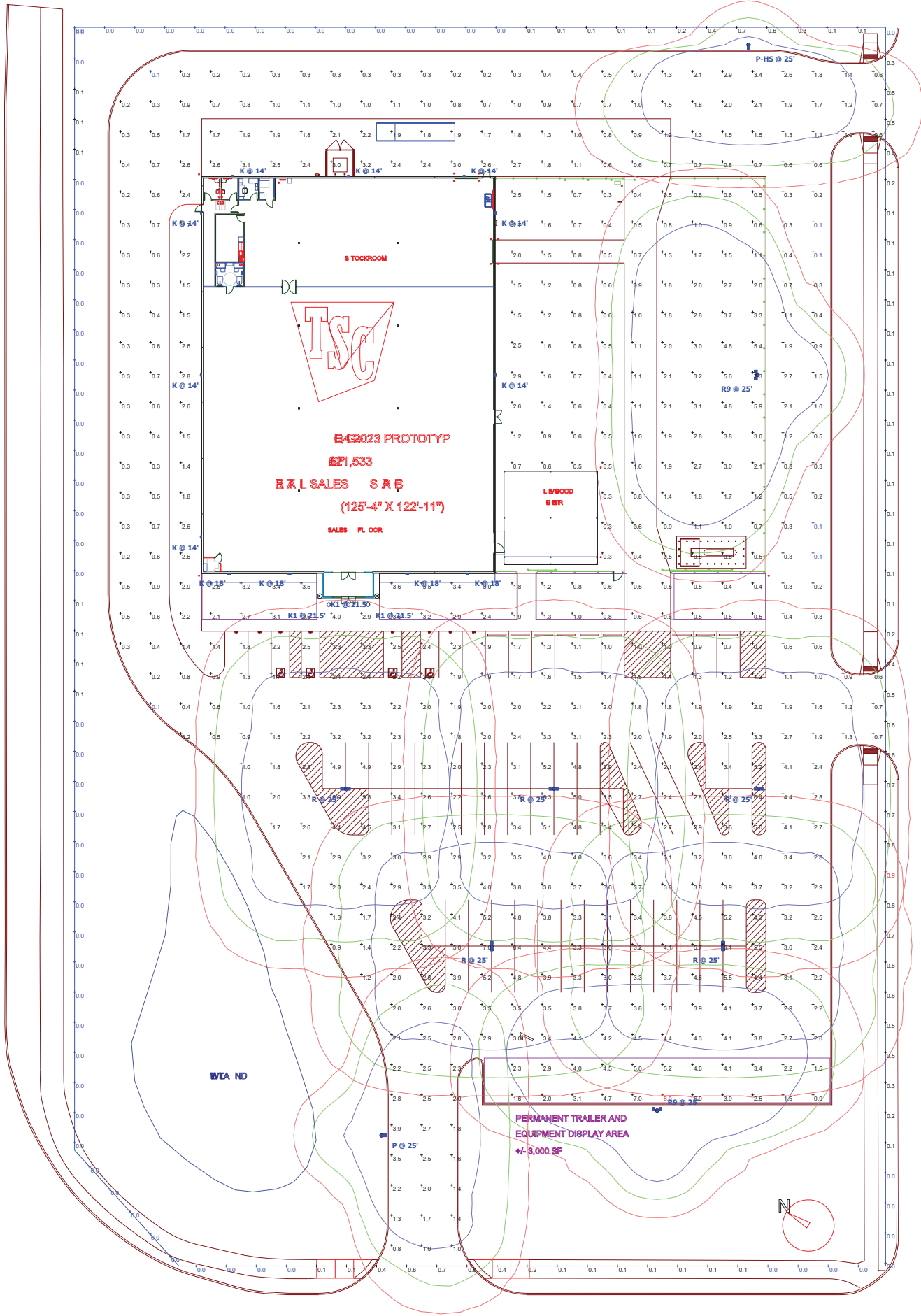
LEFT EXTERIOR ELEVATION



RIGHT EXTERIOR ELEVATION



REAR EXTERIOR ELEVATION



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line Light Levels	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A
Parking Lot Light Levels	+	2.1 fc	8.0 fc	0.1 fc	80.0:1	21.0:1

Schedule								
Symbol	Label	Quantity	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	P	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Single Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	109.44
	P-HS	1	RSX1-LED-P3-50K-R3-MVOLT-SPA-HS	Single Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) HOUSE SIDE SHIELDING & FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	10698	0.95	109.442
	R	5	RSX1-LED-P3-50K-R3-MVOLT-SPA	Double Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	218.88
	R9	2	RSX1-LED-P3-50K-R3-MVOLT-SPA	Double Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base)	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	218.88
	K	12	DSXW1-LED-10C-1000-50K-T3M-MVOLT-DBXBD	Lithonia DSXW1 Series Wall Mount LED Unit w/Type T3M Distribution (18ft. and 14ft. Fixture Mounting Heights) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	3898	0.95	38.8
	K1	3	H-15118-97/HL-AHD-27°97/21/LED2/40/D/BCM-M	Hi-Lite H15118 Series LED Goosneck Unit (21.5ft. Mounting Height) Red Finish (FULL CUTOFF DESIGN)	LED/4000K (FULL CUTOFF DESIGN)	1170	0.95	21



Tractor Supply Co - Waconia, MN
Photometric Site Lighting Design

Designer
Adam Carrier
Date
11/21/2024
Scale
Not to Scale
Drawing No.
Summary

WALL LEGEND			
1 NOTE: 1) NOT ALL PARTITIONS MAY BE USED. 2) ALL METAL STUD PARTITIONS TO BE 20 GA. MINIMUM UNLESS NOTED OTHERWISE.	2 NEW EXTERIOR MASONRY WALL - 8" CMU WITH FOAM FILLED INSULATION (COK FILL 500 OR EQUAL) JOINTS STRUCK INTERIOR AND EXTERIOR. SEE STRUCTURAL FOR REINFORCING, TYP.	3 NEW INTERIOR PARTITION - 6" METAL STUDS @ 16" O.C. TO DECK, UNLESS NOTED OTHERWISE.	4 NEW INTERIOR PARTITION - 3-5/8" METAL STUDS @ 16" O.C. TO DECK, UNLESS NOTED OTHERWISE.
	5 NEW INTERIOR PARTITION - 3-5/8" METAL STUDS AT 16" O.C., 10'-0" OR 9'-0" AFF. UNLESS NOTED OTHERWISE. SEE DETAILS ON SHEET A-6.1 AND 6.2 FOR MORE INFORMATION.	6 NEW INTERIOR PARTITION - 3-5/8" METAL STUDS AT 16" O.C. TO 12" ABOVE CEILING, UNLESS NOTED OTHERWISE.	

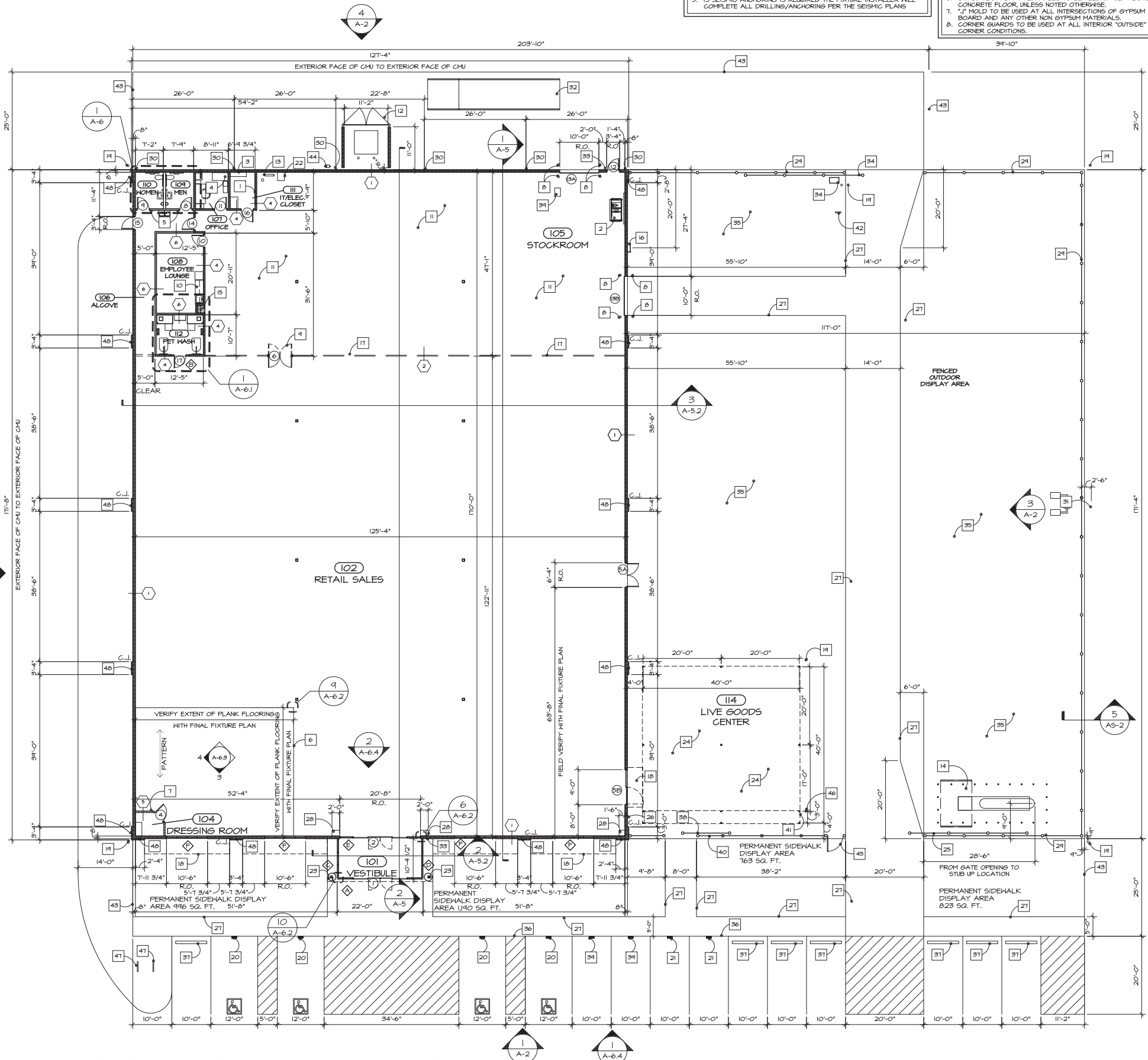
- WAREHOUSE FIXTURE INSTALLATION GUIDELINES:
- CONTRACTOR IS TO VERIFY WITH THE STORE MANAGER THAT ALL RACKS ARE PROPERLY BUILT AND POSITIONED.
 - DRILL HOLES FOR ANCHORING RACK. GENERALLY, THE HOLE IN THE FOOT OF THE RACK LEG IS 3/4" IN DIAMETER. VERIFY HOLE SIZE PER BOLT ISSUED BY RACKING MANUFACTURER (1) ONE ANCHOR PER FOOT.
 - RACKS ARE TO BE SECURELY ANCHORED WITH ANCHOR BOLTS PER MANUFACTURE SPECIFICATIONS.
 - FOLLOWING INSTALLATION, REMOVE ANY RESIDUAL DEBRIS AND CLEAN AREA.
 - IS SEISMIC ANCHORING IS REQUIRED THE FIXTURE INSTALLER WILL COMPLETE ALL DRILLING/ANCHORING PER THE SEISMIC PLANS.

- WALL FINISH NOTES:
- ALL NEW WALLS TO RECEIVE 3/4" GYPSUM BOARD ON BOTH SIDES AND EXTEND 4" ABOVE CEILING OR TO DECK AT OPEN CEILING, UNLESS NOTED OTHERWISE.
 - ALL PLUMBING WALLS TO RECEIVE WATER RESISTANT GYPSUM BOARD ON PLUMBING SIDE TO ABOVE CEILING.
 - ALL INTERIOR WALLS AT PET WASH TO RECEIVE 5/8" GEMENTHIOUS BOARD TO 48" AFF AND MOISTURE RESISTANT GYPSUM BOARD ABOVE.
 - ALL WALLS AT STOCKROOM TO RECEIVE 3/4" FIRE TREATED PLYWOOD TO 12'-0" A.F.F. WITH 3/4" GYPSUM BOARD ABOVE. SEE DETAILS ON A-6.1 FOR MORE INFORMATION ON STOCKROOM WALLS AT PET WASH.
 - ALL GYPSUM BOARD WALLS AT ALCOVE III TO BE SEALED TO DECK, TYP.
 - GYPSUM BOARD AT NEW WALLS TO BE HELD UP 1/2" ABOVE CONCRETE FLOOR, UNLESS NOTED OTHERWISE.
 - 1" HOLD TO BE USED AT ALL INTERSECTIONS OF GYPSUM BOARD AND ANY OTHER NON GYPSUM MATERIALS.
 - CORNER GUARDS TO BE USED AT ALL INTERIOR "OUTSIDE" CORNER CONDITIONS.

- GENERAL NOTES:
- CONTRACTOR TO PROVIDE AND INSTALL SOUND INSULATION ABOVE CEILING AND IN ALL PARTITIONS AROUND WOMEN'S 104, MEN'S 105 AND MANAGER'S OFFICE 106. 6" MINIMUM BATT AT BILLING.
 - SEE SHEET A-7 FOR CEILINGS, WALLS, AND FLOOR FINISHES AND NOTES.
 - CONTRACTOR TO COORDINATE ENGINEERING OF SPRINKLER SYSTEM MODIFICATION. SEE FP-1 FOR MORE INFORMATION.
 - CONTRACTOR TO PROVIDE FIRE DEPARTMENT REQUIRED KEY CARD, COORDINATE LOCATION AND TYPE WITH LOCAL AUTHORITIES.
 - INTERIOR PAVEMENT TRANSITION AT DOOR SHALL BE FLUSH WITH EXTERIOR PAVEMENT. GROSS SLOPE SHALL NOT EXCEED 1:50 PER ADA REQUIREMENTS, COORDINATE WITH CIVIL AT CONCRETE PAD OR SIDEWALK.
 - CONTRACTOR TO RECEIVE, STORE, AND INSTALL OWNER'S CHECK OUT COUNTERS, CUSTOMER SERVICE COUNTER, AND RECEIVING TABLE. COORDINATE WITH FINAL TSC FIXTURE PLAN AND TSC PROJECT MANAGER.
 - PAINT ALL EXPOSED COLUMNS IN RETAIL SALES AREA PT-5, TYP.
 - CONTRACTOR TO FILL IN ALL SAN CUT CONTROL JOINTS WITH EUCO GRIKJOINT FILLER. INSTALL PER MANUFACTURER'S INSTALLATION. CLEAN JOINT PRIOR TO APPLICATION.
 - CONTRACTOR SHALL INSTALL A DETECTABLE WARNING AT ANY REQUIRED CURB RAMP, TYP.
 - CONTRACTOR TO PROVIDE WHEEL STOPS AT ALL PARKING SPACES AROUND THE BUILDING AND FOD THAT ARE FLUSH WITH THE ADJACENT SIDEWALK, TYP.
 - MCUE COVERS ARE REQUIRED FOR ALL PIPE BOLLARDS IN FOD, TYP.

- KEYED NOTES:
- PHONE BOARD LOCATION. SEE DETAIL 3/A-6.2 FOR ADDITIONAL INFORMATION.
 - CONTRACTOR TO INSTALL NEW BALER AND SERVICE DISCONNECT (SUSPEND LINE OVERHEAD). VERIFY / COORDINATE LOCATION WITH TSC PROJECT MANAGER. CONTRACTOR TO PROVIDE AND INSTALL 4" PVC PIPE 8'-0" LONG BEHIND BALER AT 36" A.F.F. FOR BALER WIRE. SERVICE DISCONNECT ALWAYS TO BE INSTALLED ON THE RIGHT HAND SIDE OF BALER.
 - NEW ELECTRICAL PANELS AND SERVICE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - CONTRACTOR TO BOLT DOWN SAFE IN MANAGERS OFFICE. VERIFY LOCATION WITH TSC PROJECT MANAGER.
 - CONTRACTOR TO PROVIDE AND INSTALL NEW RESTROOM SIGNAGE. SEE DETAIL 4/A-6.2 FOR ADDITIONAL INFORMATION.
 - EXTENT OF VINYL PLANK FLOORING FOR EXPANDED CLOTHING AREA. USE ONE SIDED BEVEL PLANK AT POINT OF TRANSITION TO EXISTING VGT. VERIFY EXTENT OF PLANK FLOORING WITH TSC FIXTURE PLAN PRIOR TO INSTALLATION. AREA NOT TO EXCEED 3000 SQ. FT.
 - DRESSING ROOMS ARE STICK-BUILT AND INSTALLED BY CONTRACTOR. CONTRACTOR TO ASSEMBLE AND ANCHOR DRESSING ROOM BENCH TO WALL AND/OR FLOOR. CONTRACTOR TO PROVIDE AND INSTALL (2) 24" X 60" (1/4" POLISHED PLATE GLASS - 1 PIECE) ONE ON THE EXTERIOR SIDE OF ROOM WALL, PERPENDICULAR TO EXTERIOR SIDE WALL AND ONE ON THE INTERIOR WALL, PARALLEL TO THE FRONT WALL. HUNG WITH STANDARD MIRROR CLIPS PER MANUFACTURER RECOMMENDATIONS. WHERE BOTTOM EDGE OF TSH REFLECTING SURFACE IS AT 18" A.F.F., AND (4) FOUR HOOKS ON DRESSING ROOM WALL. MOUNT (2) TWO TO MEET ACCESSIBILITY. ACCESS (48" MAX. A.F.F. / 48" MAX. A.F.F. IF MOUNTED OVER THE BENCH) AND (2) TWO AT 60" A.F.F. VERIFY LOCATION WITH FINAL FIXTURE PLAN AND TSC PROJECT MANAGER. SEE ENLARGED PLAN ON A-6.2.
 - NEW 6" CONCRETE FILLED PIPE BOLLARDS, TYPICAL AT EACH SIDE OF OVERHEAD OPENINGS. SEE DETAIL 1/A-6.2 FOR ADDITIONAL INFORMATION.
 - G.C. TO SUPPLY AND INSTALL NEW DURULITE DOOR(S) AT NEW OPENING IN FIXTURE WALL AND PROPERLY SECURE ALL ANCHOR POINTS WHEN ANCHORING IN PLACE. VERIFY LOCATION WITH FINAL FIXTURE PLAN AND INSTALL. AFTER FIXTURES HAVE BEEN INSTALLED.
 - CONTRACTOR TO INSTALL NEW TSC PROVIDED COUNTER AND SINK IN EMPLOYEE LOUNGE 108. SEE DETAIL 5/A-6.2 AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - 5" CONCRETE SLAB IN STOCKROOM, TYP. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
 - DUMPSTER ENCLOSURE ON NEW CONCRETE SLAB, PER PLANS. SEE DETAIL 11 ON SHEET AS-3 FOR MORE INFORMATION.
 - NEW WATER SERVICE ENTRANCE, BACKFLOW PREVENTER, AND FIRE RISER. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
 - BULK PROPANE TANK AND CONCRETE SLAB. SEE DETAIL 110 ON AS-2 FOR MORE INFORMATION.
 - NEW MOP SINK AND TANKLESS WATER HEATER. SEE ELECTRICAL AND PLUMBING DRAWINGS FOR MORE INFORMATION.
 - PRE-MANUFACTURED ALUMINUM OR STEEL (PAINTED GRAY) LADDER WITH SECURITY GATE/PANEL AND GUARDRAILS (AS REQUIRED BY LOCAL CODES). INSTALL PER MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS. TSC STORE MANAGER TO PROVIDE LOCK FOR SECURITY GATE/PANEL.
 - CONTRACTOR TO PROVIDE AND INSTALL ANCHOR BOLTS FOR FIXTURE WALLS PER MANUFACTURER'S SPECIFICATIONS. TSC TO PROVIDE ANCHOR PLATES.
 - GALVANIZED CORRUGATED METAL AWNINGS ABOVE, TYP.
 - NEW PIPE BOLLARD TO PROTECT CORNER. PLACE 12" OFF EACH WAY. SEE DETAIL #2 ON SHEET AS-2 FOR MORE INFORMATION.
 - CONTRACTOR TO PROVIDE AND INSTALL NEW MCUE ACCESSIBLE SIGNS PER DETAIL 11 ON SHEET AS-2. SEE CIVIL DRAWINGS FOR EXACT PLACEMENT.
 - CONTRACTOR TO PROVIDE AND INSTALL NEW MCUE VETERANS SIGNS PER DETAIL 11 ON SHEET AS-2.
 - PROPOSED LOCATION OF ELECTRICAL TRANSFORMER. MUST BE 10'-0" A.F.F. AND A MIN. OF 36" AWAY FROM RISER. SEE DETAIL 111 ON SHEET A-6.2.
 - 24" DIAMETER GALVANIZED CORRUGATED METAL PIPE ANCHORED TO STEEL COLUMN, TYP. SEE EXTERIOR ELEVATIONS.
 - NEW PIPE BOLLARD TO PROTECT CORNER. PLACE 12" OFF EACH WAY. SEE DETAIL #2 ON SHEET AS-2 FOR MORE INFORMATION.
 - LIVE GOODS CENTER STRUCTURE PROVIDED BY VENDOR. SEE VENDOR CONTACTS FOR MORE INFORMATION.
 - ONE (1) MANUAL 20" SLIDING GATES AT ENTRANCE OF DRIVE AISLE WITH TSC PROVIDED SIGNAGE.
 - CONTRACTOR TO PROVIDE AND MOUNT FIRE EXTINGUISHER CABINET ADJACENT TO JUNCTION BOX.
 - 4" PAINTED YELLOW STRIPES INDICATING EXTENT OF EGRESS/DRIVE AISLE, TRAILER DISPLAY, AND PERMANENT SIDEWALK DISPLAY AREAS, TYP.
 - AREA WHERE WATER LINE, CONDUIT, OUTLETS, FIRE EXTINGUISHERS, FIRE ALARM FIXTURES, SIGNAGE, ETC. MAY BE LOCATED ON CMU. COORDINATE WITH FINAL FIXTURE PLAN, TYP. FAILURE TO COORDINATE WITH FINAL FIXTURE PLAN MAY RESULT IN HAVING TO RELOCATE ITEMS AT THEIR COST.
 - 16'-0" CHAIN LINK FENCE. SEE AS-2 FOR SPECIFICATIONS, TYP.
 - SITE LIGHTING BASE LOCATED 30" MIN. FROM INSIDE FACE OF FENCE FABRIC, TYP.
 - STEEL DOCK RAMP SET ON CONCRETE. SEE DISTRIBUTOR INFORMATION ON T-2 AND DETAIL #4 ON SHEET AS-2. VERIFY FINAL LOCATION WITH TSC PROJECT MANAGER.
 - ONE (1) 20'-0" AUTOMATIC SLIDING GATE WITH TSC PROVIDED SIGNAGE ON INDUCTIVE LOOP OPERATION WITH LIFTMASTER SL585 FOR AUTOMATIC OPERATION AND INCLUDES (2) RADIO REMOTE CONTROLS.
 - BROOM FINISHED CONCRETE PAD AT SIDYARD. MINIMUM OF 4" DEEP OVER 6" DRAINABLE BASE MATERIAL OVER COMPACTED FILL. SEE CIVIL DRAWINGS FOR CONTROL JOINTS AND GRADING.
 - 5' SIDEWALK FLUSH WITH PARKING SPACES, TYP.
 - CONTRACTOR TO PROVIDED AND INSTALL CONCRETE WHEEL STOPS AT ALL PARKING SPACES FLUSH WITH CONCRETE SIDEWALK / BUILDING, TYP.
 - ONE (1) 8'-0" MANUAL ROLLING CANTILEVERED GATE AT FRONT OF LIVE GOODS CENTER, TYP.
 - FOR LIFT CHARGER TO BE LOCATED FOR COORDINATION WITH STORE PLANNING. CHARGER PROVIDED BY VENDOR AND INSTALLED BY CONTRACTOR.
 - 8'-0" HIGH CHAIN LINK FENCE IN FRONT OF LIVE GOODS CENTER, TYP.
 - LIVE GOODS CENTER GUTTERS TO CONNECT TO INTERNAL GROSSOVER DOWNSPOUT AND DISCHARGE ONTO PAVEMENT AWAY FROM BUILDING.
 - EXIT POLE SIGN, TYP.
 - EDGE OF CONCRETE SLAB, TYP.
 - PROPOSED GAS METER LOCATION. SEE CIVIL DRAWING FOR MORE INFORMATION.
 - 4'-0" GATE. SEE DETAIL #4 ON SHEET AS-2 FOR MORE INFORMATION.
 - BOLLARD POST FOR EMERGENCY STOP OF PROPANE TANK. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - BIKE RACKS PER CIVIL DRAWINGS, TYP.
 - 4" SPLIT FACE PILASTERS PER EXTERIOR ELEVATIONS (12" BLOCK AS ALTERNATIVE) TYP.

- SYMBOLS LEGEND:
- WINDOW DESIGNATION. SEE SHEET A-7.1 FOR MORE INFORMATION.
 - DOOR DESIGNATION. SEE SHEET A-7.1 FOR MORE INFORMATION.



DEPICTIVE AND DIMENSION FLOOR PLAN
SCALE 3/32" = 1'-0"

SAORSA
ARCHITECTURE

PO BOX 1999 SPRING HILL, TN 37174
PHONE: 615-461-3315

5401 VIRGINIA WAY
BRENTWOOD, TN 37027
PHONE: (615) 440-4200

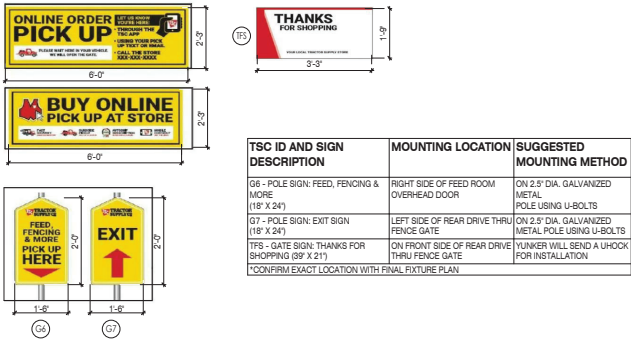
PROPOSED REMODEL:
840 MARKETPLACE DRIVE
WACONIA, MN 55587

JOB NUMBER:
24-09
REVISIONS:

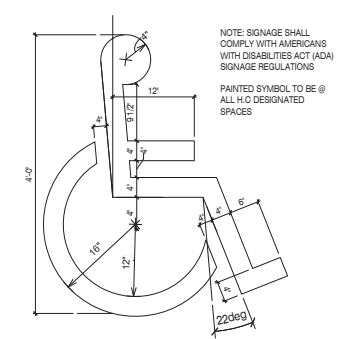
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A-1

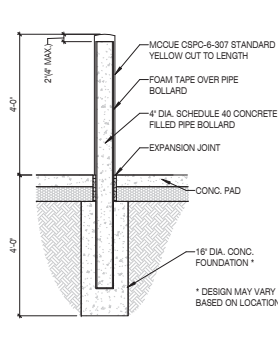
DEPICTIVE & DIMENSION
FLOOR PLAN



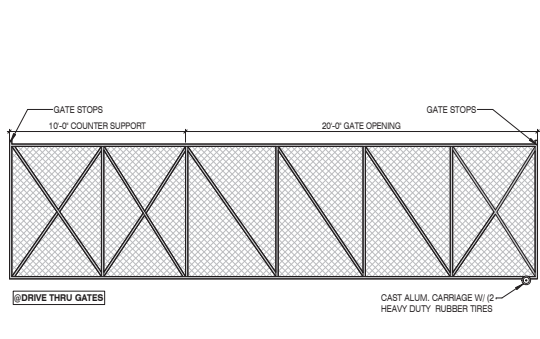
13 DETAIL
SCALE: NO SCALE
FOD LOT VERTICAL SIGNAGE



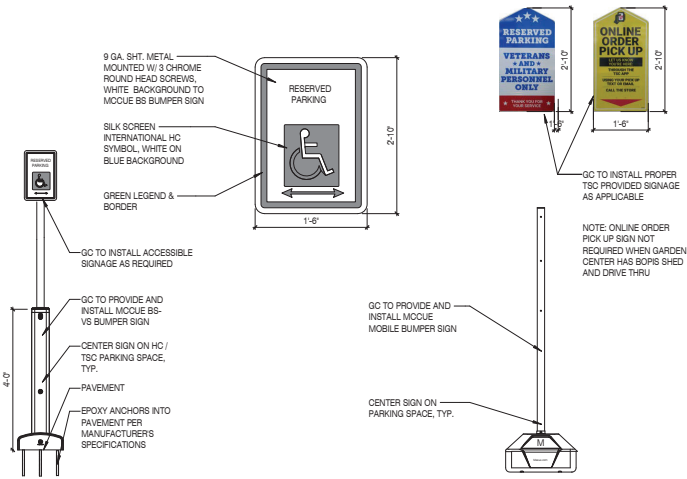
9 DETAIL
SCALE: 1" = 1'-0"
PAINTED HANDICAP PARKING LOGO



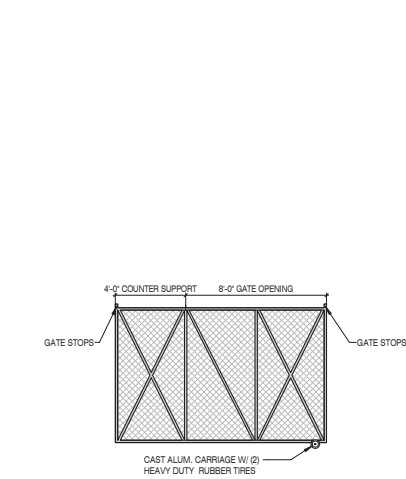
7 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"
TYPICAL BOLLARD



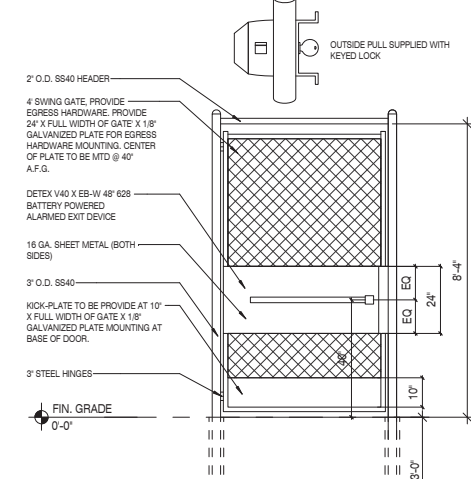
3 DETAIL
SCALE: 1/4" = 1'-0"
ROLLING CANTILEVERED GATE



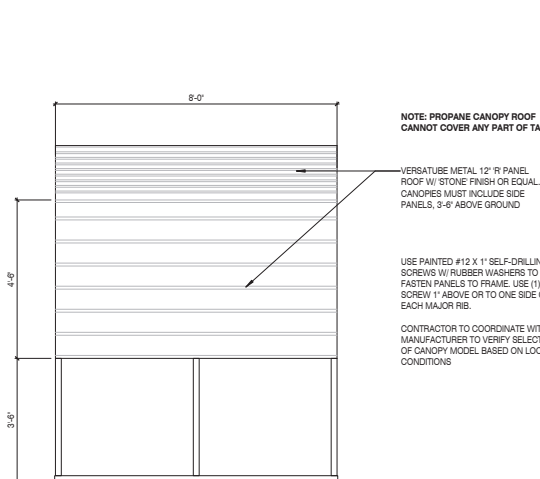
12 DETAIL
SCALE: 1/2" = 1'-0"
PARKING LOT VERTICAL SIGNAGE



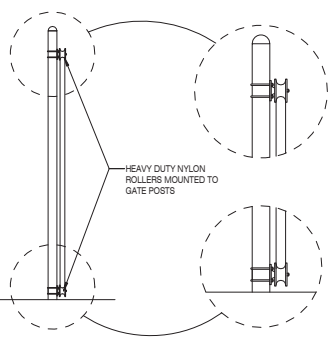
14 ALTERNATE ATTACHMENT DTL.
SCALE: 1/4" = 1'-0"
LIGHTS IN RETAIL SALES AREA



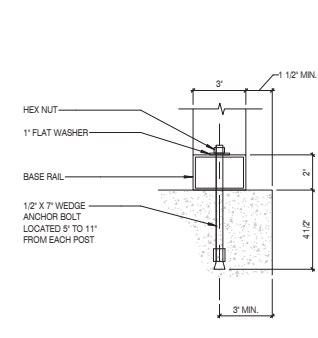
6 DETAIL
SCALE: 1/2" = 1'-0"



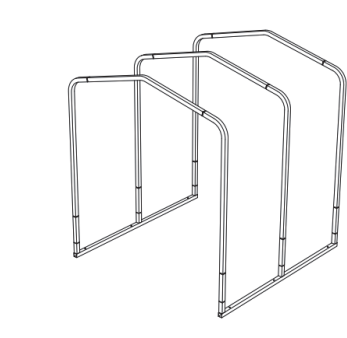
2 PROPANE CANOPY ELEVATION
SCALE: 1/2" = 1'-0"
SIDE



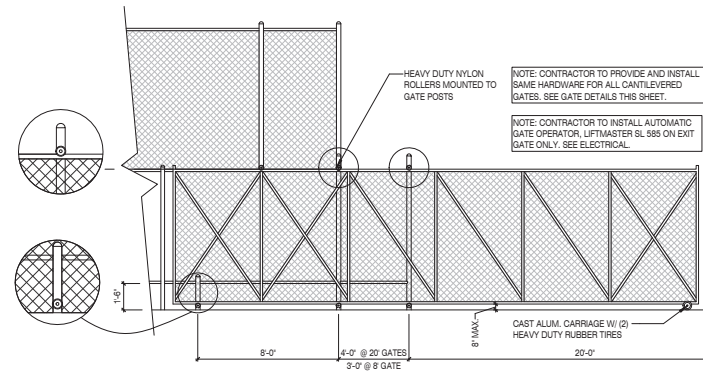
11 DETAIL
SCALE: 3" = 1'-0"
ROLLING CANTILEVERED GATE



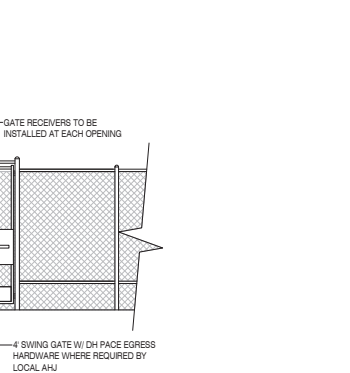
8 PROPANE CANOPY DETAIL
SCALE: 3" = 1'-0"
CONNECTION @ CONCRETE



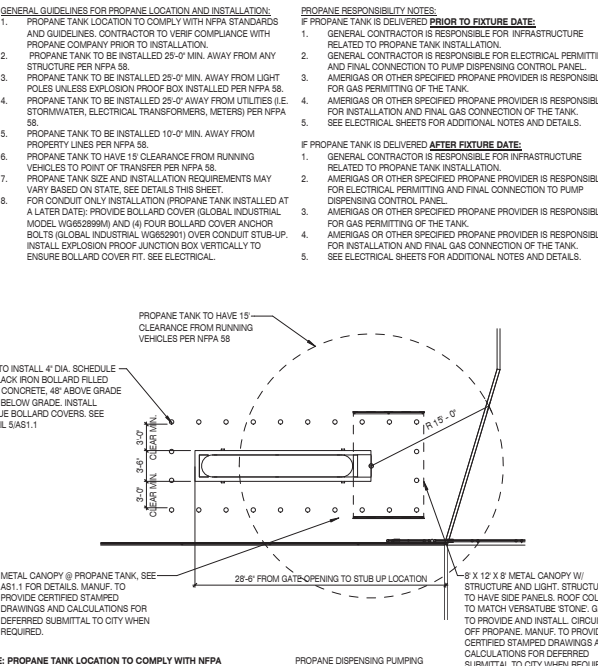
5 PROPANE CANOPY FRAME
SCALE: 1/4" = 1'-0"
ISOMETRIC



10 DETAIL
SCALE: 1/4" = 1'-0"
ROLLING CANTILEVERED GATE



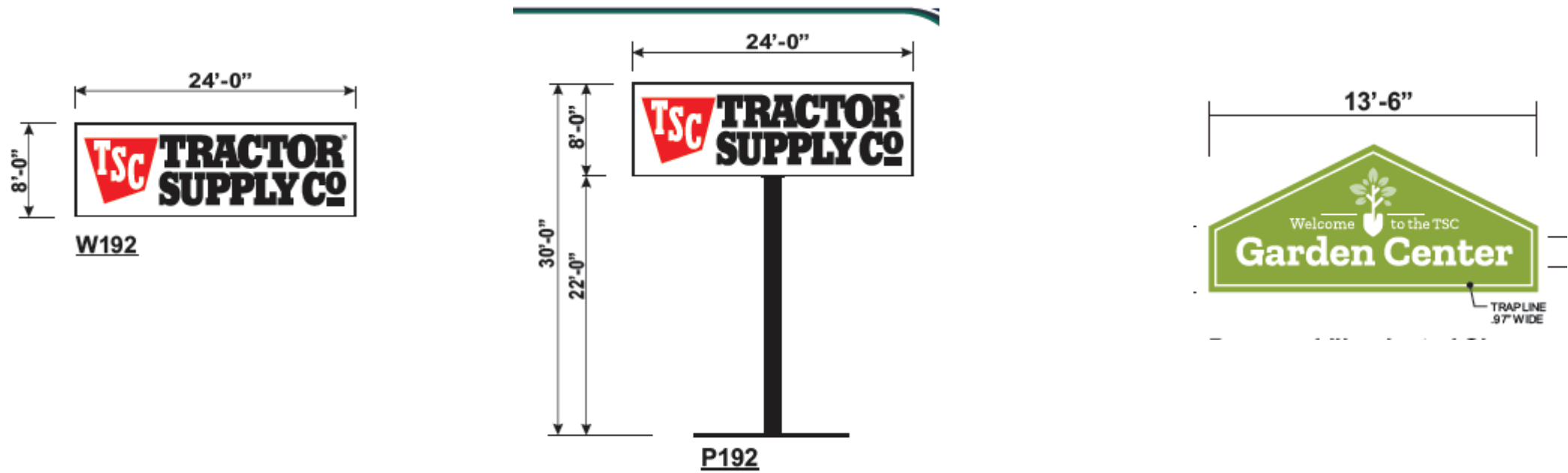
4 PROPANE CANOPY ELEVATION
SCALE: 1/2" = 1'-0"
FRONT

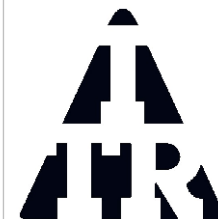
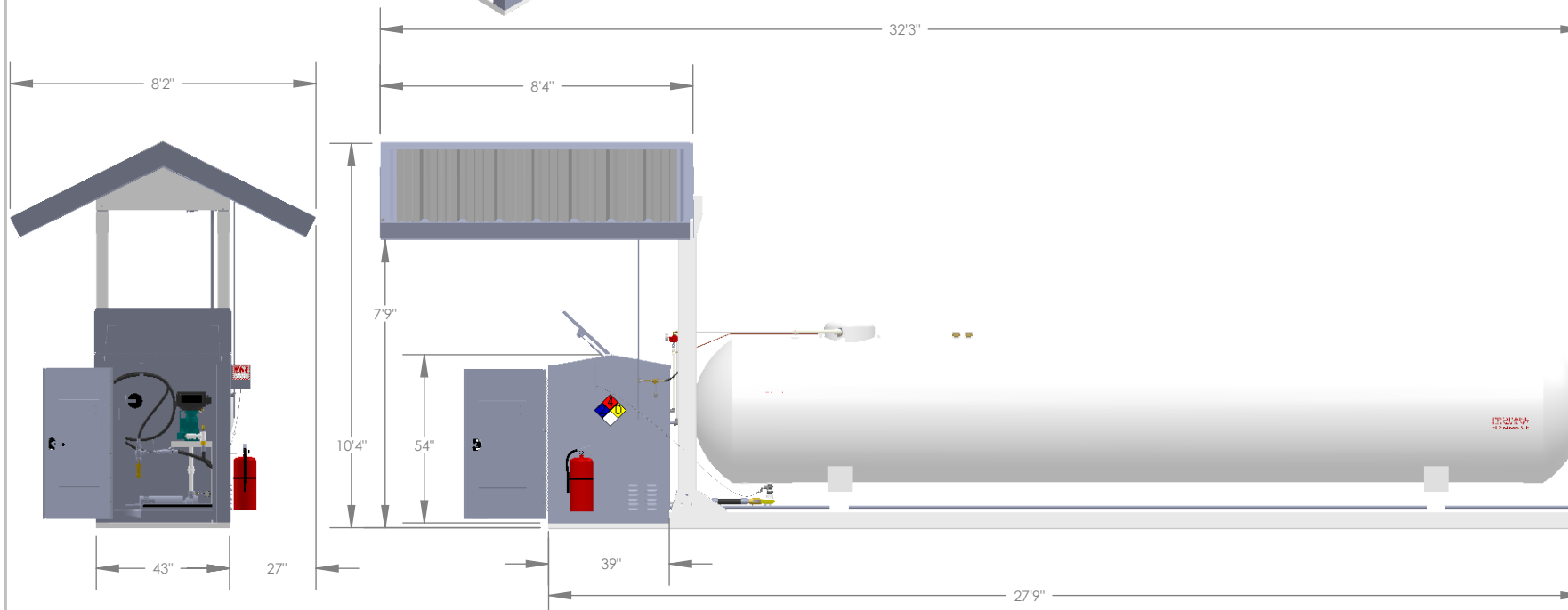
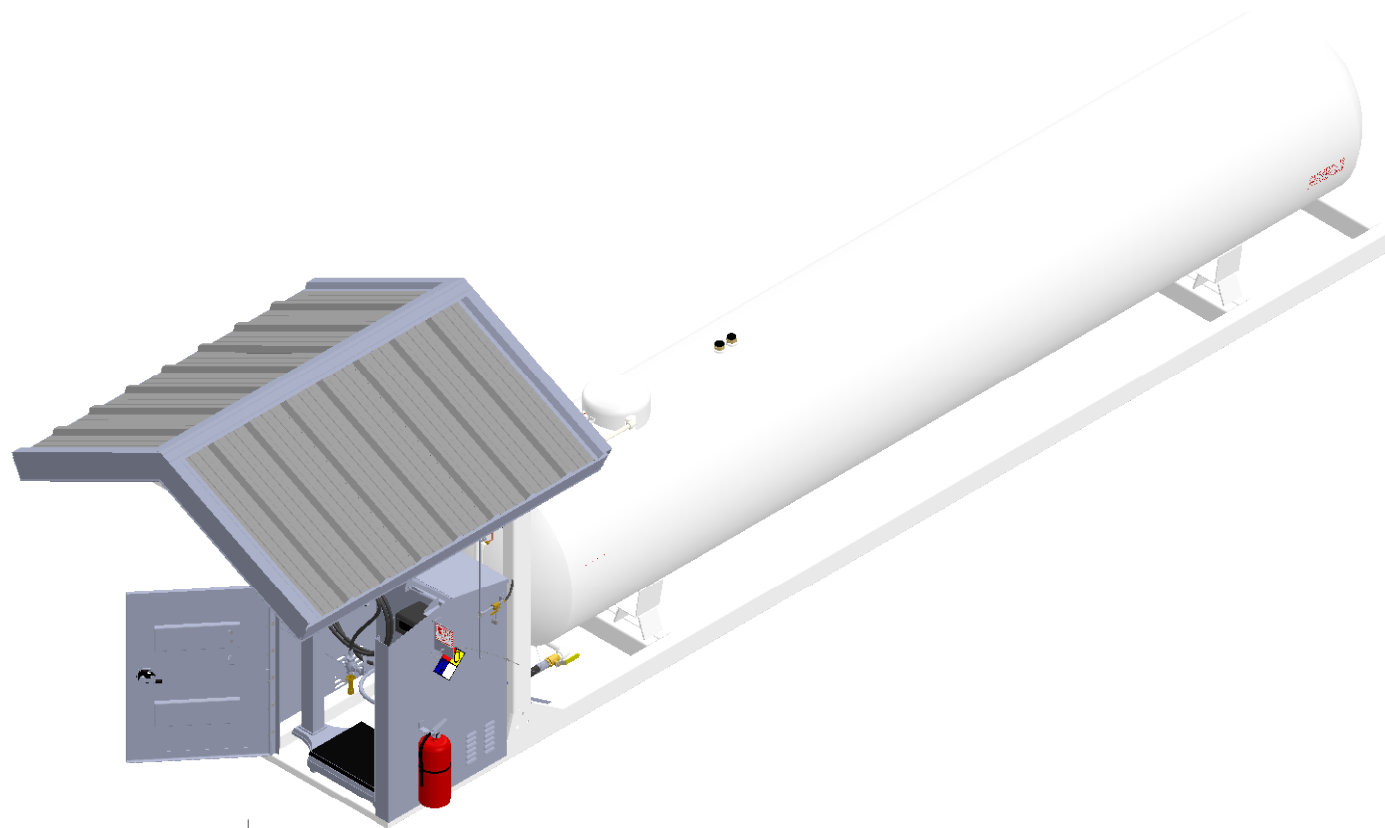


1 PROPANE PLAN
SCALE: 1/8" = 1'-0"

EXHIBIT J

Building sign size is 8'-0" x 24'-0" = 192 sq ft
Garden center sign size is 6'-3" x 13'-6" = 85 sq ft
Pylon - 7' x 21' @ 30' = 108 sq ft





INTERMOUNTAIN TRUCK
REBUILDERS

1 (801) 621-1315
2927 S American Way
Ogden, UT 84401

	NAME	DATE
DRAWN	GE	3/28/2016
VERSION	V1	3/28/2016

TITLE

010_1990GALLON
DISPENSER WITH
CANOPY

UL INFORMATION



INPUT POWER - 115/208-
230 60HZ 12.6 A. 6.6 A.

"POWER-OPERATED
DISPENSING DEVICE FOR
LPG-GAS"

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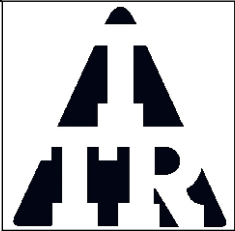
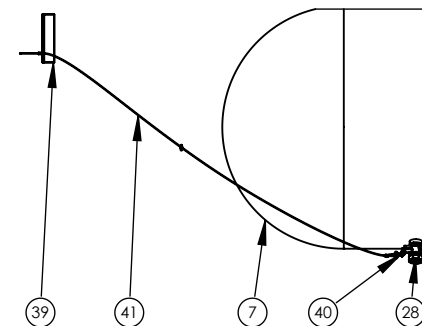
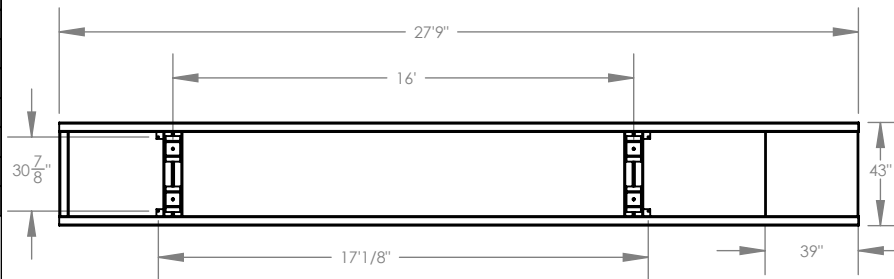
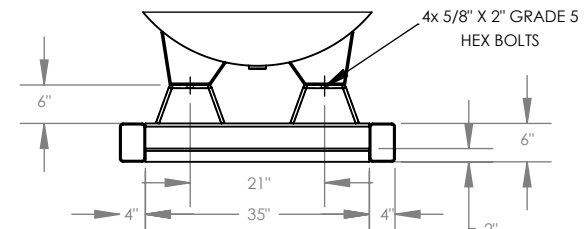
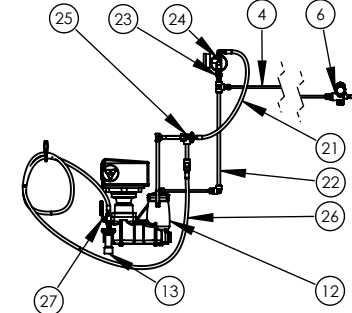
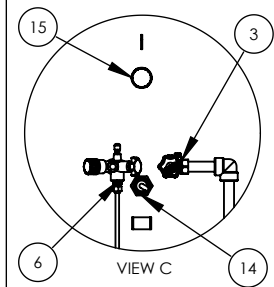
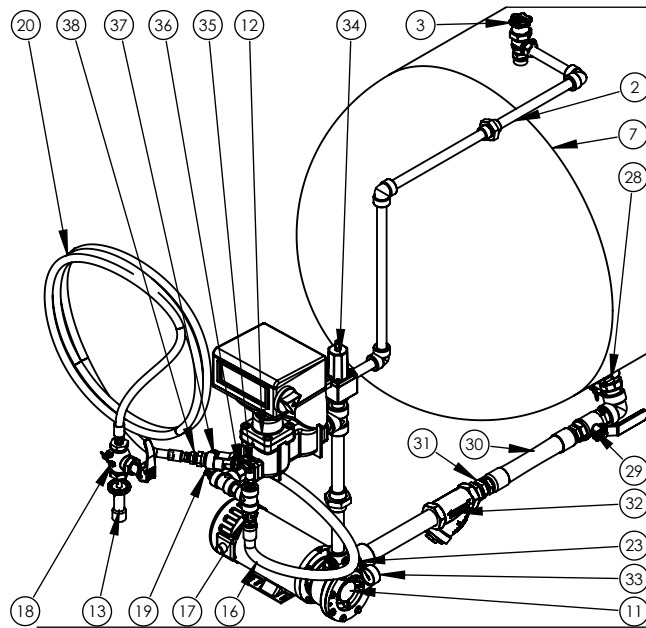
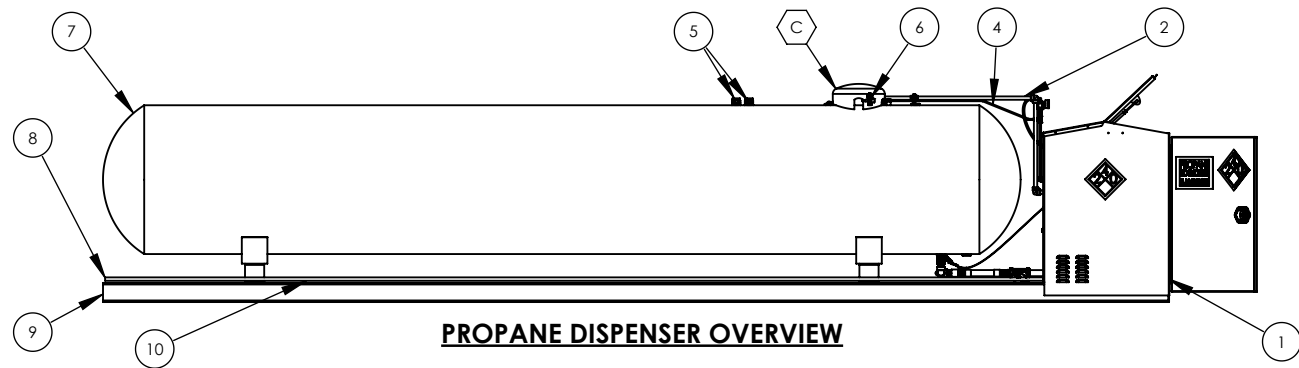
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LIST OF MATERIALS

#	DESCRIPTION	QTY
1	009_2 CABINET	1
2	LIQUID RETURN LINE	1
3	ME 449 HEX 4.6 LIQUID TRANSFER VALVE	1
4	TYPE K COPPER VAPOR TRANSFER TUBE	
5	1 -1/4" REGO 8685GT RELIEF VALVE	1
6	3/4" REGO 7556RS 12.0 MULTI-VALVE	1
7	1990 GALLON ASME CODE 250 PSI PROPANE STORGAE TANK	1
8	ELECTRICAL INPUT RED, BLACK, GREEN, 220-240 VOLT INPUT	1
9	4X6 STEEL TUBE SKID	1
10	3/4" RIGID METAL ELECTRICAL CONDUIT	1
11	CORKEN C12 PUMP/ REDSEAL PL100 PUMP	1
12	LIQUA-TECH LPM102 METER / REDSEAL RL100 METER	1
13	ME 516 ACME FILLER COUPLINGS	2
14	SHERWOOD FG 3981-005A FLOAT GAUGE	1
15	1- 1/4" REGO 7579T FILL VALVE	1
16	PARKER LPG 3/4" WHIP HOSE	1
17	ME 880-6/28 EXCESS FLOW VALVE	1
18	ME821-4 DISPENSING VALVE	1
19	MEJ 400 BLEEDER VALVE	1
20	1/2" PARKER LPG HOSE	1
21	PARKER 1/4" LPG HOSE	1
22	3/4" SCHEDULE 80 VAPOR PIPE	1
23	ME 831 NEEDLE VALVE	2
24	MEGR6120-30 REGULATOR/ 4FMC40-30 GAUGE	1
25	APOLLO CKF9 3-WAY BALL VALVE	1
26	PARKER 1/4" LPG PURGER HOSE	1
27	ME831 NEEDLE VALVE	1
28	ME990-10-85 INTERNAL VALVE	1
29	JAMAR 1-1/4" 100-706 BALL VALVE	1
30	PARKER 1-1/4" LPG HOSE	1
31	24MP-20FPX SWIVEL	1
32	ME 654SP Y-STRAINER	1
33	4FLU4 0-300 GAUGE	1
34	3/4" BYPASS VALVE CORKEN/REDSEAL	1
35	MEH 25/450 HYDROSTATIC RELIEF VALVE	1
36	ME870-6 BACK CHECK VALVE	1
37	REGO A2141A6 PULLAWAY	1
38	12ME8AP STEEL BUSHING	1
39	E-STOP PLATE	1
40	VALVE SHUTOFF SPRING	1
41	E-STOP PULL CABLE	1



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TITLE
010_1990GALLON
DISPENSER WITH
CANOPY

UL INFORMATION



E365554

INPUT POWER - 115/208-
230 60HZ 12.6 A. 6.6 A.

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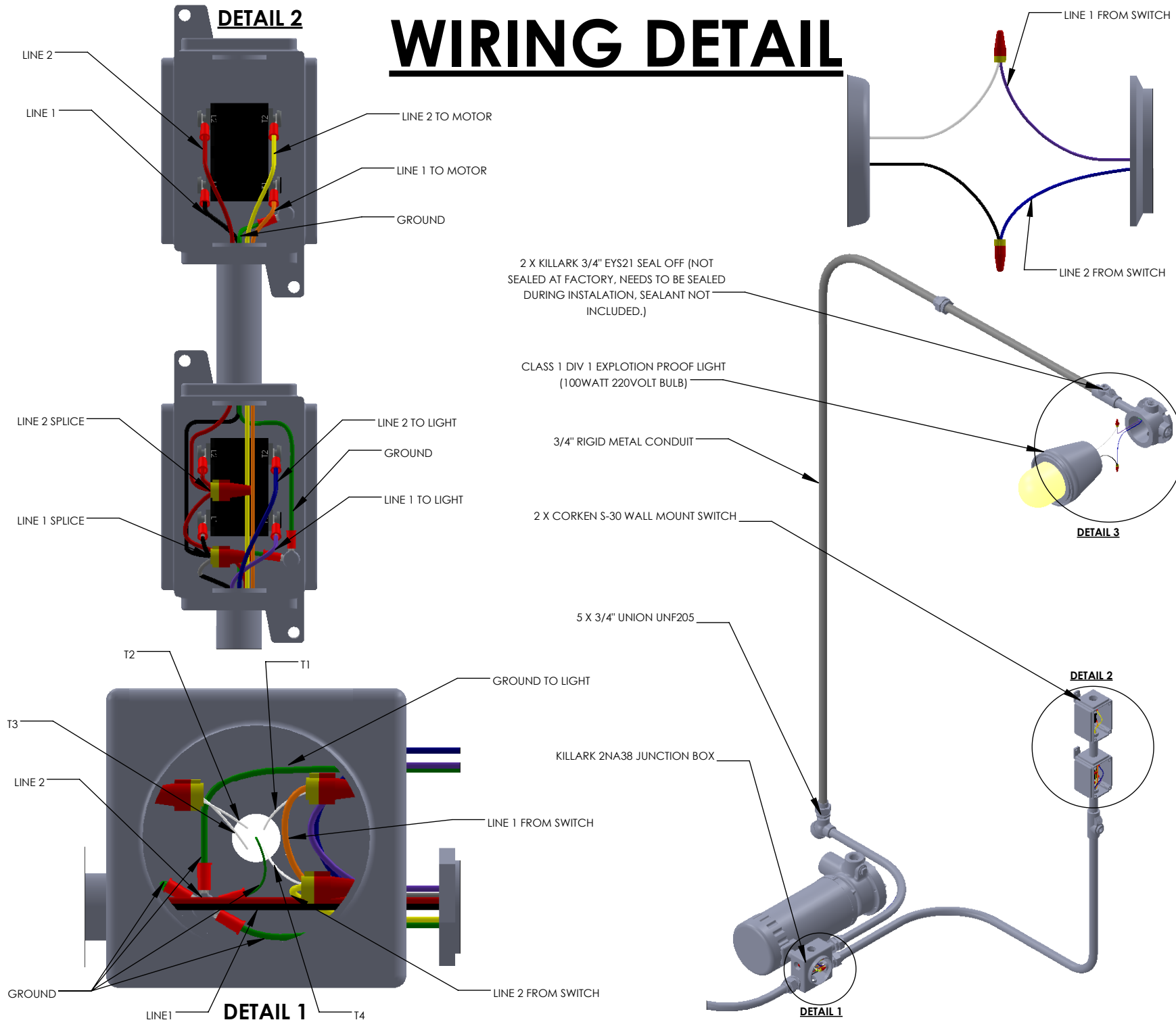
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WIRING DETAIL



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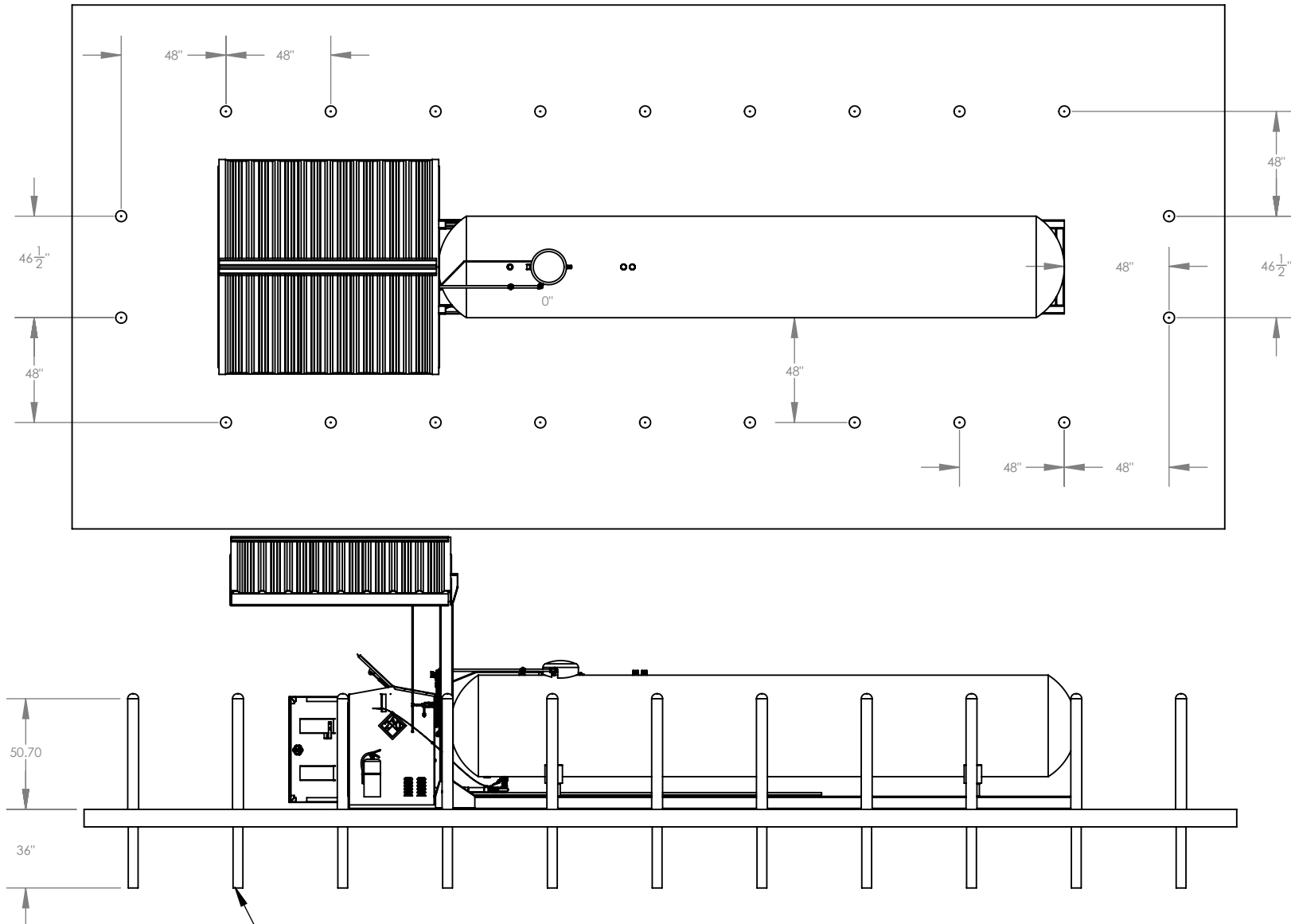
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39

CRASH POST DETAIL



4-1/2" SCHEDULE 40 STEEL
PIPE FILLED WITH AND SET IN
CONCRETE

**NOTE: ALTERNATE POST
LAYOUT REQUIRED FOR
TEXAS AND FLORIDA**



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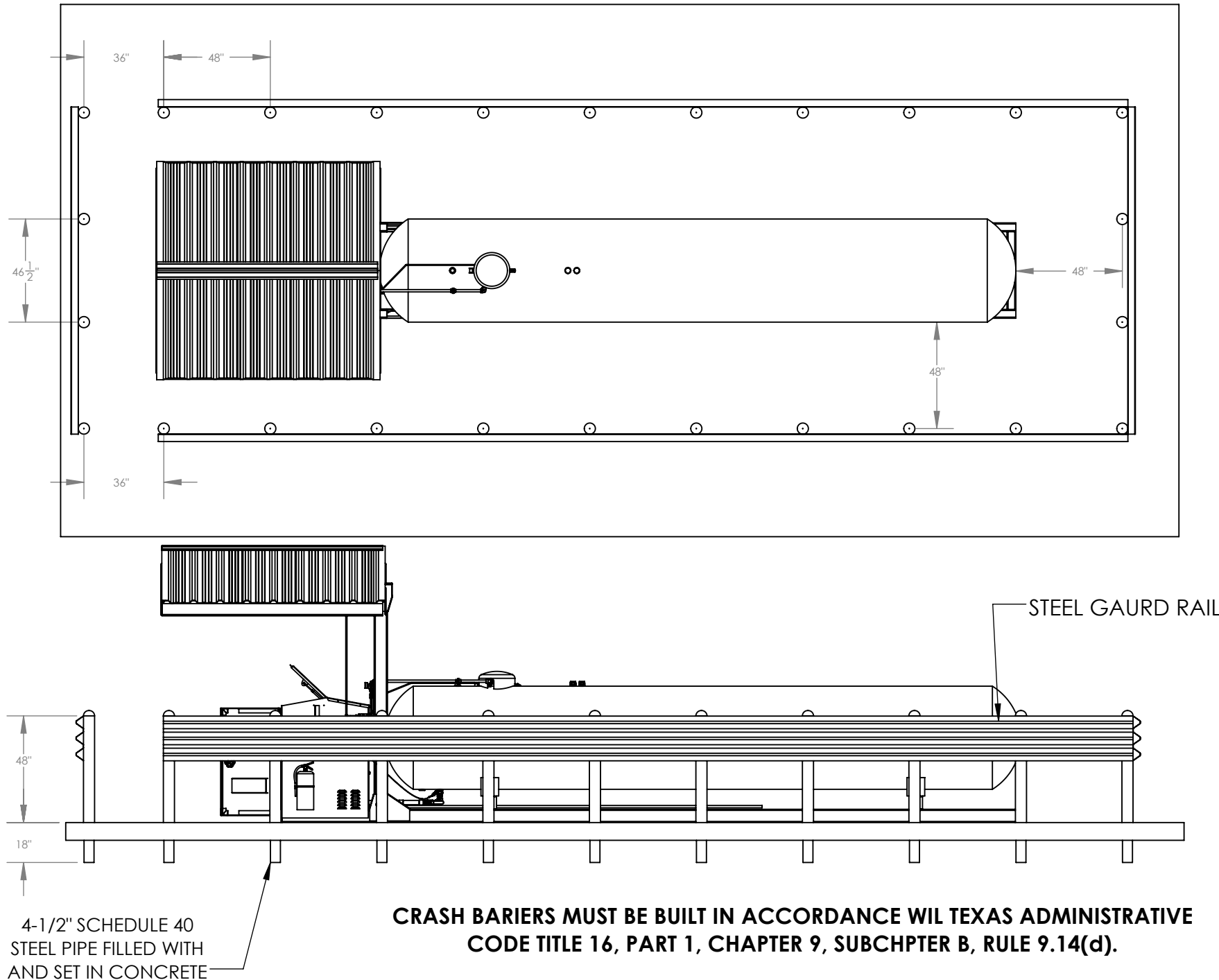
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TEXAS CRASH POST DETAIL



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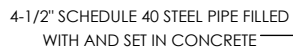
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**CRASH PROTECTION MUST BE CONSTRUCTED IN ACCORDANCE
TO FLORIDA ADMINISTRATIVE CODE CHAPTER 5J-20.045**



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date: December 5, 2024

Item Name: CONT. - PUBLIC HEARING - Addition of Chapter 515. Cannabis and Amending Chapter 900. Zoning Ordinance and Chapter 1100. Fee Schedule

Originating Department: Community Development

Presented by: Lane Braaten

Previous Commission Action (if any):

Item Type (X only one):	Consent		Regular Session	X	Discussion Session	
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RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED *(Include motion in proper format.)*

Motion to Close the Public Hearing

Motion recommending either approval or denial of the proposed amendments to the City Code related to Cannabis regulation.

EXPLANATION OF AGENDA ITEM *(Include a description of background, benefits, and recommendations.)*

The Planning Commission, at their regular meeting on November 7th, opened the public hearing and had some initial conversation related to the regulation of cannabis. The result of the discussion was the intent to have the City Attorney at the December 5th, 2024 meeting to discuss any questions or concerns the Planning Commission and public may have before making a recommendation to the City Council related to the regulations.

The City Attorney will be in attendance at the December 5th meeting to discuss the draft ordinance amendment.

PLEASE NOTE THAT THE DRAFT ORDINANCE LANGUAGE WAS INCLUDED IN THE NOVEMBER 7TH, 2024 PACKET MATERIALS AND THEREFORE HAS NOT BEEN ATTACHED TO THIS MEMO. IF A PAPER OR PDF. COPY IS NEEDED PLEASE CONTACT CITY STAFF AND WE WILL HAVE A COPY PRINTED OR EMAILED PER THE REQUEST.

Attachments:

FINANCIAL IMPLICATIONS:

Funding Sources & Uses:

Budget Information:

_____ Budgeted

_____ Non Budgeted

_____ Amendment Required