

WACONIA PARK BOARD MEETING AGENDA



Thursday, February 17, 2022
6:30 PM

VISION STATEMENT

A thriving, connected community with deep roots: a great place to live for a lifetime.

MISSION STATEMENT

A city that leads, serves, and governs to enhance the quality of life for all community members.

MAYOR:	KENT BLOUDEK
COUNCILMEMBER, WARD I:	RANDALL SORENSEN
COUNCILMEMBER, WARD I:	NICOLE WALDRON
COUNCILMEMBER, WARD II:	CARL PIERSON
COUNCILMEMBER, WARD II:	PETER LEO

NOTE: TO ENSURE THAT YOU ARE PRESENT FOR ITEMS OF INTEREST, PLEASE BE PRESENT AT 6:00 P.M.

Those with items on the agenda should reach out to their staff contact. Others who wish to participate in the meeting, please contact the City Administrator at 952-442-3100 or sfineran@waconia.org to make certain that you are called upon during the meeting.

- 1. Call Meeting to Order**
- 2. Approval of Agenda**
- 3. Approve Meeting Minutes**
 - 1) [Approve Park Board Meeting Minutes of January 20, 2022](#)
Motion to approve Park Board meeting minutes of January 20, 2022.
- 4. Regular Business**
 - 1) [Parks & Trails Capital Investment Plan Review](#)
Discussion & Direction
 - 2) [Brook Peterson Park Improvements](#)
Discussion & Direction
- 5. Staff Update**
 - 1) [Waterford Park Site Development Plans, Emerald Ash Borer, Turf to native](#)
Review
- 6. Board Updates and Questions**
- 7. Adjourn**

Upcoming Meetings March 17

April 21



REQUEST FOR CITY COUNCIL ACTION

Meeting Date:		February 17, 2022					
Item Name:		Approve Park Board Meeting Minutes of January 20, 2022					
Originating Department:		Administration					
Presented by:		Shane Fineran					
Previous Council Action (if any):							
Item Type (X only one):		Consent		Regular Session	X	Discussion Session	
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED <i>(Include motion in proper format.)</i>							
Motion to approve Park Board meeting minutes of January 20, 2022.							
EXPLANATION OF AGENDA ITEM <i>(Include a description of background, benefits, and recommendations.)</i>							
Attachments: 1. 1.20.22 PB Minutes.pdf							
FINANCIAL IMPLICATIONS: Funding Sources & Uses:				ADVISORY BOARD RECOMMENDATIONS:			
Budget Information: ☐ Budgeted ☐ Non Budgeted ☐ Amendment Required				Planning Commission			
				Parks and Recreation Board			
				Safari Island Advisory Board			
				Other			

**CITY OF WACONIA
MINUTES OF SCHEDULED MEETING
PARKS & RECREATION BOARD
Thursday, January 20, 2021**

Pursuant to due call and notice thereof, the Regular Meeting of the Waconia Parks & Recreation Board was called to order at 6:31 p.m. by Shaw.

Park Board Members Present: Lacey Shaw, Leah Soltis, Andrew Anauro

Park Board Members Absent: Tom Adamini, Adam Hegeholz

Council Liaison: Carl Pierson (Absent)

Staff Present: Shane Fineran, Craig Eldred, Deanna La Plant, Lane Braaten

Guests: Terry Hartman

Adopt Agenda

Anauro made a motion to approve the agenda, seconded by Soltis. All in favor.

Approval of Minutes from November 18, 2021, Meeting

Anauro made a motion to approve the November 18, 2021, meeting minutes, seconded by Soltis. All in favor.

Board Chair and Vice-Chair

Anauro made a motion to nominate Lacey Shaw as board chair, seconded by Soltis. All in favor.

Soltis made a motion to nominate Andrew Anauro as board vice-chair, seconded by Shaw. All in favor.

Cardinal Property Sketch Plan

Community Development Director, Lane Braaten presented the sketch plan of the Cardinal property. This property is approximately 15.2 acres directly adjacent and to the south of the existing Woodland Creek neighborhood. Staff is seeking a recommendation from the board regarding the preference to accept land donation or cash in lieu of to satisfy park dedication requirements. The estimated land donation requirement is 1.16 acres or \$69,900. The proposed development seeks to build small lot detached villas maintained by an association. The target market for these properties will be empty nesters.

Terry Hartman, representing the development group, provided an overview of the parcel and areas identified as possible land donations, which include approximately 0.9 acres of land central to the development which would allow for extension of the existing trail segment in Woodland

Creek across the subject parcel and features a wooded area and possible small wetland. To the southeast of the subject parcel on the east side of Carver Creek is approximately 1.9 acres of rolling field area also proposed as donated land.

Discussion was had by the board about the future connectivity of the field parcel to existing city owned land to the north, relationship to land to the east that could be developed in the future, access across Carver Creek, possible open space uses that are not prevalent in other city parks, proximity to other active play areas near the proposed development, the need for a small tot lot in the area and possible location, and future trail connectivity along Carver Creek as identified in the city's comprehensive plan.

Soltis made a motion to recommend land donation to satisfy park dedication requirements, seconded by Anaño. All in favor.

Staff Updates

Parks Maintenance Supervisor, Deanna LaPlant provided an update to the board regarding winter maintenance activities of staff.

Public Services Director, Craig Eldred provided updates regarding completion of 2021 capital investment projects as well as progress reports of 2022 capital investment projects to include the Inclusive Playground, Reitz Lake Fishing Pier and City Square Park ADA improvements.

Eldred provided an update to the concept previously reviewed by the board regarding the reconditioning and relocation of existing equipment from the Waterford Park playground to the park located in Lakeview Terrace. The board will review future capital investment projects and priorities at the February meeting.

Adjournment

Soltis motion to adjourn. Anaño second. All in favor. Adjourn at 7:32p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Soltis", with a stylized, looping flourish at the bottom.

Shane Fineran
City Administrator



REQUEST FOR CITY COUNCIL ACTION

Meeting Date:		February 17, 2022					
Item Name:		Parks & Trails Capital Investment Plan Review					
Originating Department:		Administration					
Presented by:		Shane Fineran					
Previous Council Action (if any):							
Item Type (X only one):	☐ Consent	☐	☐ Regular Session	☒ X	☐ Discussion Session	☐	☐
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED <i>(Include motion in proper format.)</i>							
Discussion & Direction							
EXPLANATION OF AGENDA ITEM <i>(Include a description of background, benefits, and recommendations.)</i>							
Attached is the 2023 - 2032 Capital Investment Plan items related to park and trail development in the community. This does not include all future trail or park development within the community that maybe related to development, but rather those investments planned for by the City in existing parks or trail corridors. Items of note include: Waterford Park Facility (2023) - staff to review site development improvements associated with the playground project which may reduce estimated cost of this item Playground Equipment Upgrades - need to add the relocation of items from Waterford Park to Lakeview Terrace Park, which may reshuffle planned years of replacement. Sudheimer Park Additions (2024) - Park Board should discuss planning and scoping effort related to this park development so that adequate budget can be developed Trail Infrastructure - a number of planned trail connections are occurring within or adjacent to County Road right of way. According to the County comprehensive plan these trail corridors are considered "Linking Trails" and trail development per the County's trail construction cost share are split 50/50 with municipalities. Based upon programmed road improvements by the County in the next 5 years and their desired participation in these projects, this may shuffle the timing of these projects. Staff will be convening with County staff to discuss these items. Items Added for Consideration Shelter replacement at City Square Park Add Sidewalk, Sparrow Rd Add Trail, Orchard Park Development Add Trail, Hwy 5 Add Trail, Airport Rd <u>Attachments:</u> 1. Custom_ProjectFundingSourcesByDepartment (version 1).pdf							
FINANCIAL IMPLICATIONS:				ADVISORY BOARD RECOMMENDATIONS:			
Funding Sources & Uses:							
Budget Information:				Planning Commission			
☐ Budgeted				Parks and Recreation Board			
☐ Non Budgeted				Safari Island Advisory Board			
☐ Amendment Required				Other			

City of Waconia, Minnesota
Capital Improvement Plan
2023 thru 2032

PROJECTS & FUNDING SOURCES BY DEPARTMENT

Department	Project #	Total Ranking	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Culture & Recreation												
Public Services - Trails												
Infrastructure Projects												
Infrastructure 2023 - Highway 10 Interlaken Trail and Sidewalk	128-B	71	110,800									
PIR Cash			110,800									
Infrastructure 2024 - Trail - Sterling Hills to Waconia Parkway North/Hilks Lake	129-D	73		1,600,000								
PIR Cash				1,600,000								
Infrastructure 2025 - Trail Connection - County Road 10 - North of Crosswinds Development	131-C	61				120,000						
PIR Cash						120,000						
Infrastructure 2025 - Sidewalk -8th/Pine St - Frontage Rd to Future Development	131-E	58			50,000							
PIR Cash					50,000							
	131-											
Public Services-Parks												
Legacy Village Park Equipment Upgrades	288	75		225,000								
PIR Cash				225,000								
Windmill Creek Park Equipment Upgrades	290	75		268,650								
PIR Cash				268,650								
Future Community Park Land Purchase	348								3,000,000			
Park Ded Cash									3,000,000			
Wildhurst Park Equipment Upgrades	385	70					260,000					
PIR Cash							260,000					
Fox Run Park Equipment Upgrades	386	70			278,200							
PIR Cash					278,200							
Interlaken Park Equipment Upgrades	387	70				265,000						
PIR Cash						265,000						
Pinehill Park Equipment Upgrades	388	70						255,000				

<i>PIR Cash</i>				255,000
Sudheimer Park Additions	517		500,000	
<i>GO Bonds</i>			500,000	
City Square Park Play Equipment Replacement	580			350,000
<i>PIR Cash</i>				350,000
Lakeview Terrace Park Equipment		150,000		
<i>PIR Cash</i>		150,000		
Waterford Park Facility Improvement	597	2,300,000		
<i>GO Bonds</i>		2,300,000		
Upgrade Brook Peterson Park Fields 1-4 Lighting	623	77	830,000	
<i>PIR Cash</i>			830,000	

TBD

Shelter Repalcement City Square Park

Add Sidewalk, Sparrow Rd

Add Trail, Orchard Park Development

Add Trail, Hwy 5

Add Trail, Airport Road

Total

110,800

110,800

1,600,000

1,600,000

120,000

120,000

50,000

50,000

225,000

225,000

195,000

195,000

3,000,000

3,000,000

260,000

260,000

260,000

260,000

265,000

265,000

255,000

255,000

500,000

500,000

350,000

350,000

2,300,000

2,300,000

830,000

830,000



REQUEST FOR CITY COUNCIL ACTION

Meeting Date:	February 17, 2022
Item Name:	Brook Peterson Park Improvements
Originating Department:	Administration
Presented by:	Shane Fineran

Previous Council Action (if any):

Item Type (X only one):	Consent		Regular Session	X	Discussion Session	
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RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED *(Include motion in proper format.)*

Discussion & Direction

EXPLANATION OF AGENDA ITEM *(Include a description of background, benefits, and recommendations.)*

Late summer of 2021 representatives of the youth baseball association met with staff and began the lobby of the City Council to consider improvements to Brook Peterson Park, and specifically Fields 5-8, which are the fields in the northwest corner of the park. The desired vision expressed by the association was to model the improvements of these fields after the Kent Hrbek fields in Bloomington, MN and dedicate the improvements and use for expressly baseball purposes. The current fields are a multi-use and host baseball, softball, and other athletic programming.

Desired Improvements Include:

- Conversion of the fields 5-8 to dedicated baseball fields including turf infields, groomed grass, dugouts, pitcher's mounds, lights, and score boards.
- Shade elements, or safe areas to watch a game due to potential foul-balls.
- Trails Landscaping, and irrigation

Staff assembled estimated costs associated with the requests:

Fencing Updates to Field 5 – 8;	\$76,400.00
Bleacher Shades;	\$64,000.00
Dugout, Shades;	\$64,000.00
Turf Infield and Irrigation;	\$20,000.00
Score Boards & Electricity;	\$94,760.00
Lighting, MUSCO, 2020 Pricing;	\$1,250,000.00
Fence Guard and Foul Pole	\$18,040.00
Trails and Landscaping;	\$9,000.00
Total Estimated Costs	\$1,616,200.00

The above noted costs do not include the dugouts and fencing needs for fields 1 - 4.

Those costs are reflected below and associated with pricing for Fields 5 – 8.

Fencing Updates;	\$76,000.00
Bleacher Shades;	\$64,000.00
Dugout Shades;	\$64,000.00
Turf Edge Improvements	\$20,000.00
Score Boards & Electricity;	\$48,760.00
Lighting Upgrade;	\$830,000.00
Fence Guard & Foul Poles;	\$18,040.00
Trails & Landscaping;	\$9,000.00
Total Estimated Costs	\$1,129,800.00

We do have a project to update lighting on Fields 1-4 in our current Capital Improvement Plan for 2024 at a price

of \$830,000.00. This programmed improvement includes leaving the current poles in place and adding two poles per-field. We recently met with MUSCO Lighting to define the scope in greater detail. We have visited with Magic Turf on reworking the turf areas where the in-fields meet the turf areas. We have completed some fencing replacements and staff aerated and dormant seeded all eight fields this fall with an athletic turf seed.

The old concession stand structure within Fields 1 – 4 is another item we are evaluating and feel there is a better objective for this structure going forward. The unit has potable water and a sewer service.

Staff is seeking discussion and direction by the Park Board as to the priority of these improvements in the park, potential timing, phasing, change in scope of use, and or desired partnership with others related to the financial investment of these improvements. The Waconia Fire Relief has committed to providing funds related to dugout improvements at the park and have recently made a \$10,000 donation toward that investment. If any or all of the proposed improvements are desired evaluation and input into the capital planning process would be the next steps.

Attachments:

1. [Bloomington Fields.pdf](#)
2. [Ball Field Layout Electrical.pdf](#)
3. [Ball Field Layout Irrigation.pdf](#)

<i>FINANCIAL IMPLICATIONS:</i>		<i>ADVISORY BOARD RECOMMENDATIONS:</i>	
Funding Sources & Uses:			
Budget Information: _____ Budgeted _____ Non Budgeted _____ Amendment Required		Planning Commission	
		Parks and Recreation Board	
		Safari Island Advisory Board	
		Other	

Kent Hrbek Fields

9001 Nicollet Ave, Bloomington, MN 55420

Directions

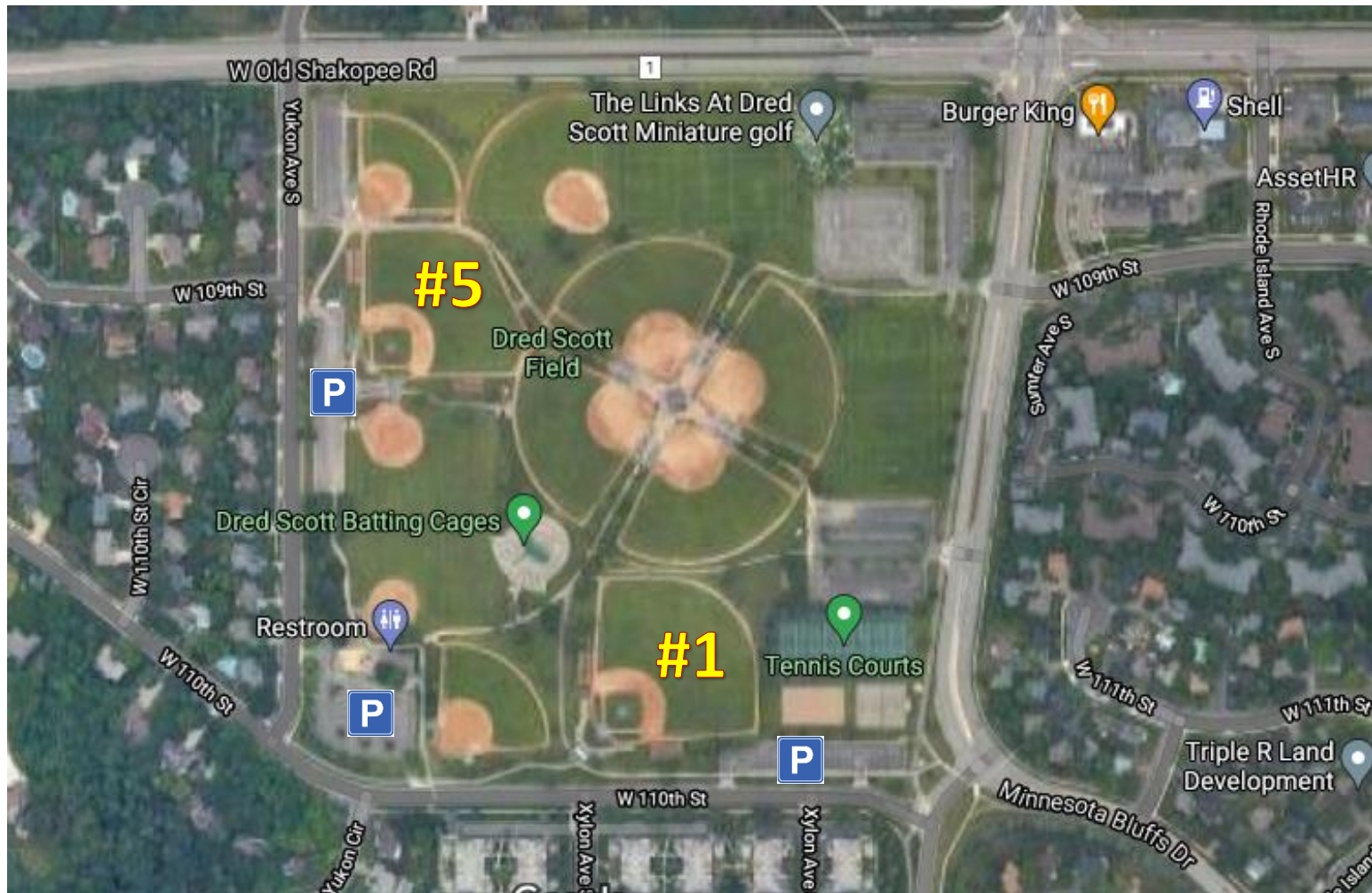
* Concessions available at the club house during most games



Dred Scott Fields

10820 Bloomington Ferry Rd, Bloomington, MN 55431

Directions



Gene C. Kelly Fields

185 E 102nd St, Bloomington, MN 55420

Directions

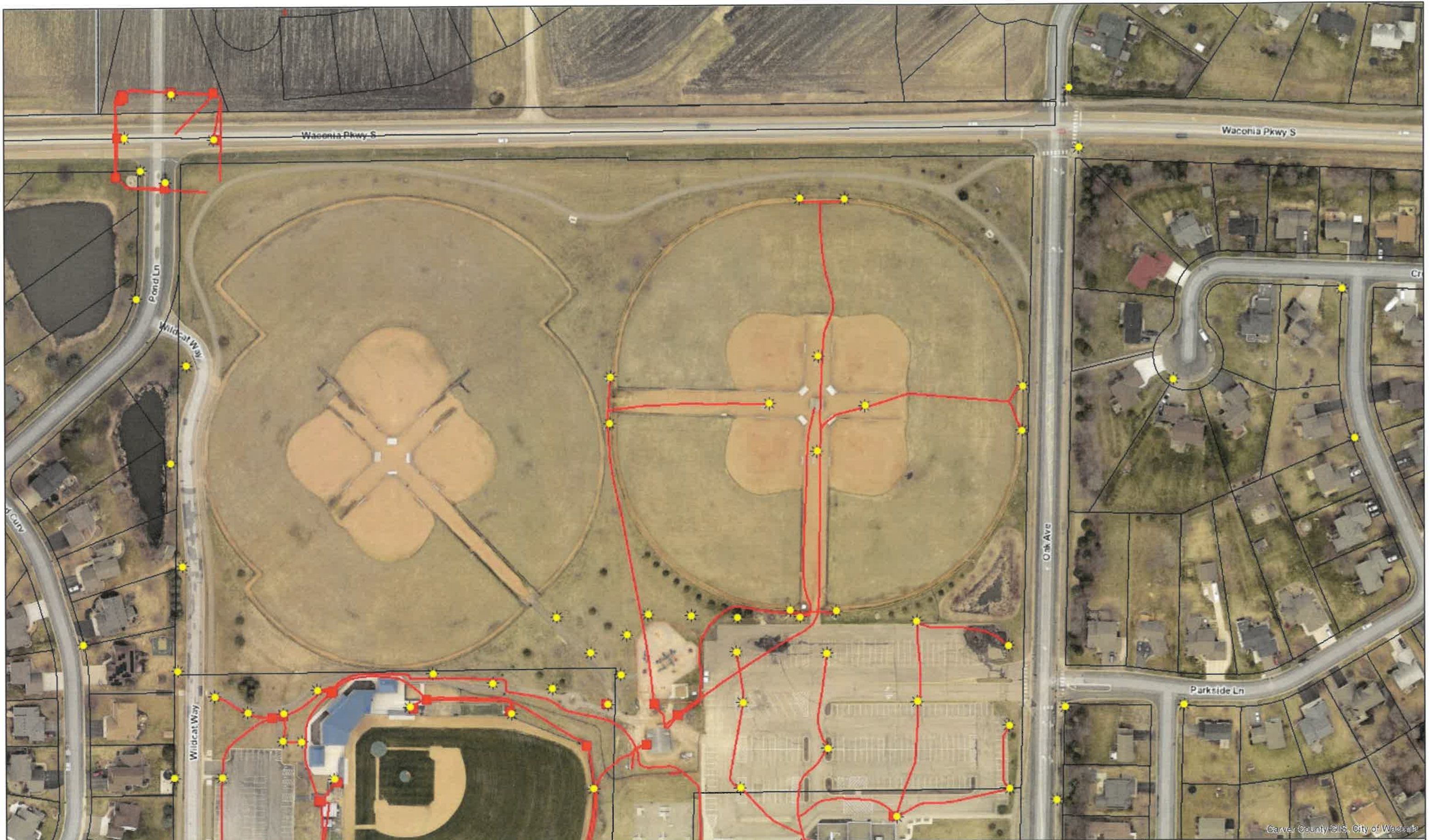


Valley View Fields

9000 Portland Ave, Bloomington, MN 55420

Directions





0 0.0076.015 0.03 0.045 0.06
mi

Coordinate System:
WGS 1984 Web Mercator Auxiliary Sphere

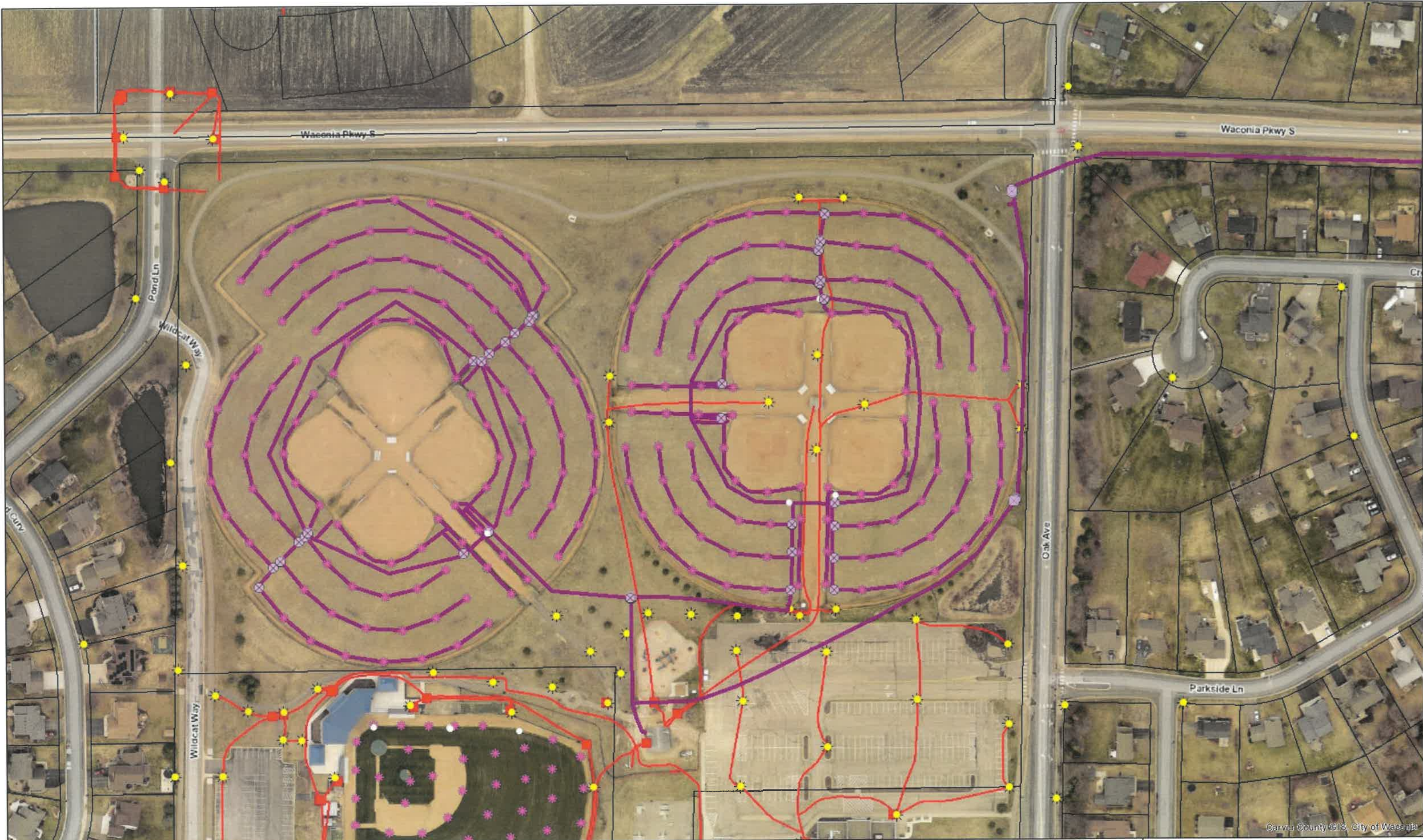
N
February 2022



City of Waconia
201 Vine Street South, Waconia, MN 55387

Waconia GIS

Carver County GIS, City of Waconia



Carver County GIS, City of Waconia



City of Waconia

201 Vine Street South, Waconia, MN 55387

Waconia GIS



REQUEST FOR CITY COUNCIL ACTION

Meeting Date:		February 17, 2022					
Item Name:		Waterford Park Site Development Plans, Emerald Ash Borer, Turf to native					
Originating Department:		Public Services					
Presented by:		Craig Eldred					
Previous Council Action (if any):							
Item Type (X only one):	Consent		Regular Session	X	Discussion Session		
RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)							
Review							
EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)							
Waterford Park: Attached are some images from the Waterford Park site plan, including updated parking and access items to the inclusive play system. Staff intend to present this to the City Council on February 22nd, for authorization to bid the site improvements in 2022. Emerald As Borer: Staff obtained permission to submit a grant application to MNDNR for EAB activities within the community. Staff were informed that we were not chosen to be funded. Staff were conducting tree pruning activities and discovered what appeared to be emerald ash bore activity in one of the Parks. Staff met with a representative of the Minnesota Department of Agriculture who confirmed the ash bore existed in the tree's staff were working on. It is our intention to submit a public notice regarding the infestation of Emerald Ash Bore in Waconia. We also intend to have MDA staff conduct some training and review of the community to find elevated areas of concern. Part of the training we hope to engage the Park Board and Council and Mayor if available. Turf to Native: Staff have been working with Carver County Management Organization officials on taking parcels held by the city and converting them to Native Planting sites to assist in reducing operational costs and assisting in water conservation efforts. We were informed that Waconia was awarded assistance for this effort at Public Services, Open area near Hwy 10 and slope areas of Cedar Point Park adjacent Waconia Parkway North. Staff will provide further details on this subject matter.							
<u>Attachments:</u>							
1. 22-02-07 Waterford Park Construction Plans Draft.pdf							
FINANCIAL IMPLICATIONS:				ADVISORY BOARD RECOMMENDATIONS:			
Funding Sources & Uses:							
Budget Information: _____ Budgeted _____ Non Budgeted _____ Amendment Required				Planning Commission			
				Parks and Recreation Board			
				Safari Island Advisory Board			
				Other			

CONSTRUCTION PLANS

FOR

SITE PLAN, GRADING, DRAINAGE & UTILITIES

FOR

WATERFORD PARK

WACONIA, MN



Vicinity Map

SHEET INDEX

Sheet List Table	
SHEET NUMBER	SHEET TITLE
1	COVER
2	EXISTING CONDITIONS & REMOVALS
3	SITE PLAN
4	GRADING AND UTILITIES
5	DETAILS

[illegible]

PREPARED BY:

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 **westwoodps.com**

Westwood Professional Services, Inc.

PROJECT NUMBER: 0035257

CONTACT: RYAN M. BLUHM

CONSTRUCTION PLANS

FOR

SITE PLAN, GRADING, DRAINAGE & UTILITIES

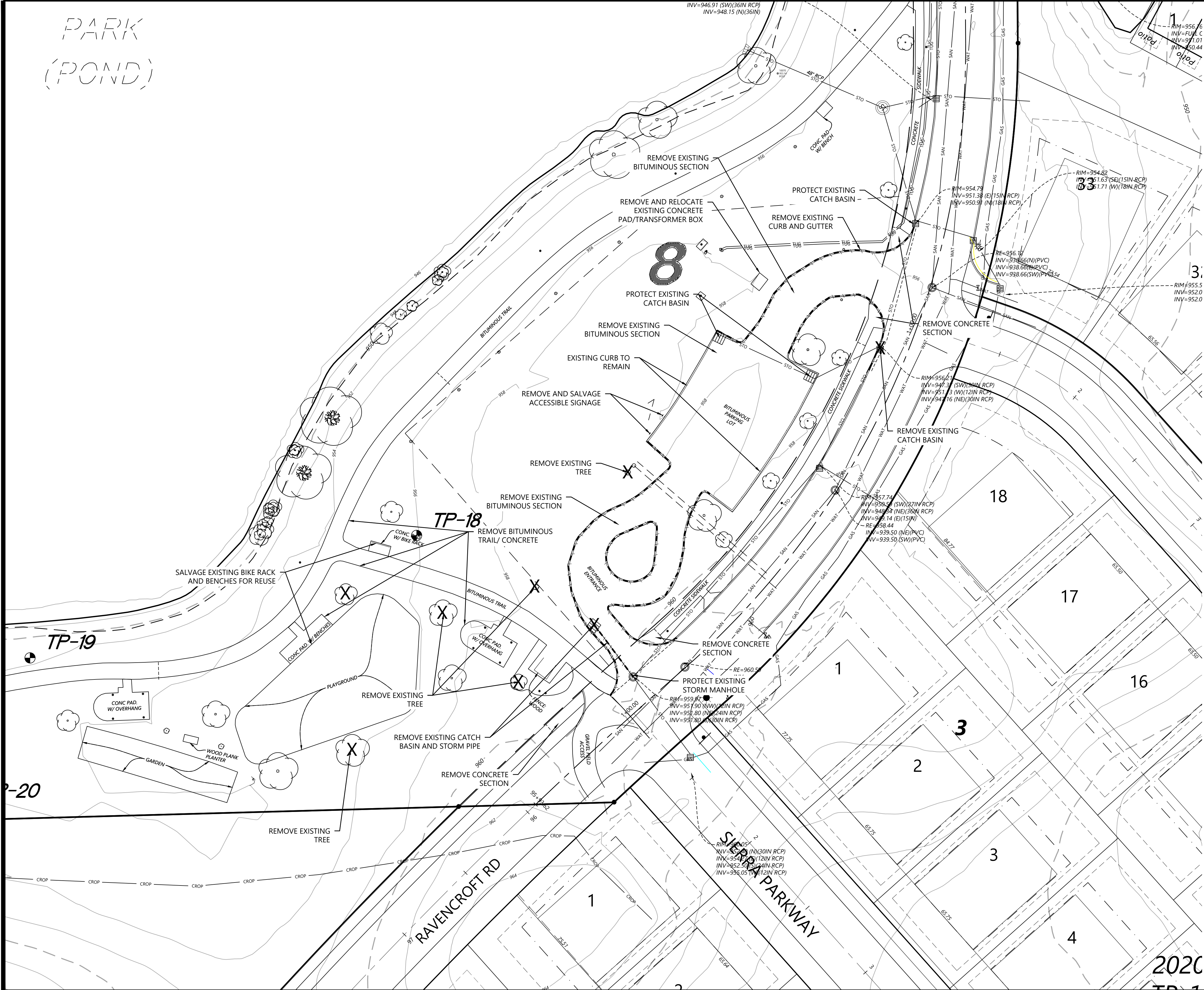
FOR

WATERFORD PARK
WACONIA, MN

INITIAL SUBMITTAL DATE: 02/07/22 SHEET: 1 OF 5

PROJECT NUMBER: 0035257

WATERFORD PARK

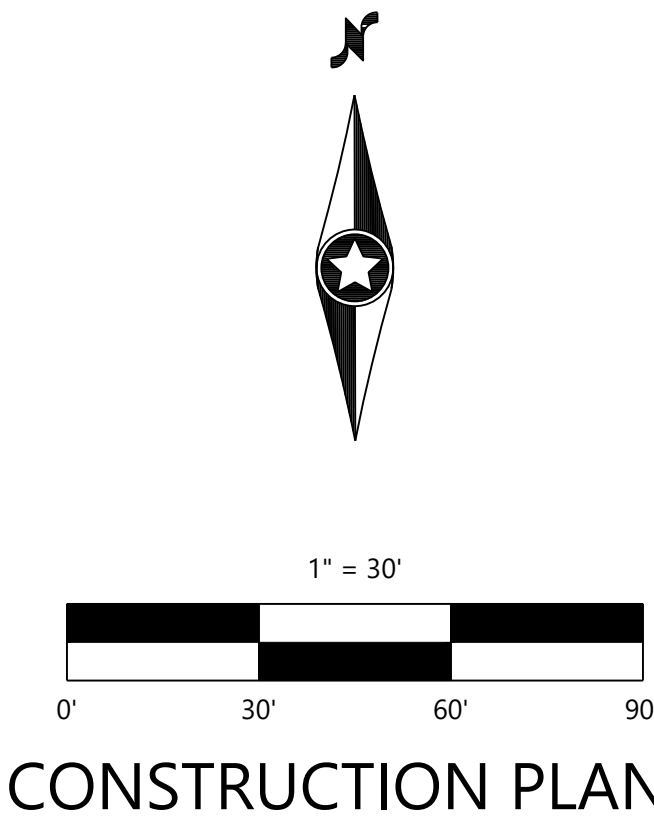


REMOVAL LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		SAW CUT PAVEMENT
		CURB & GUTTER
		SANITARY SEWER
		WATER MAIN
		HYDRANT
		STORM SEWER
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		RETAINING WALL
		FENCE
		CONCRETE
		BITUMINOUS
		BUILDING
		TREE
		LIGHT POLE
		TRAFFIC SIGN
		CONSTRUCTION BARRICADE
		SOIL BORING LOCATION
		TREE LINE

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.



DESIGNED: TDD	INITIAL ISSUE: 02/07/22
CHECKED: RMB	REVISIONS:
DRAWN: RMB	
HORIZONTAL SCALE: 30'	
VERTICAL SCALE: 6' OR 3'	

PREPARED FOR:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

RYAN M. BLUHM
DATE: 02/07/22 LICENSE NO. 41257

WATERFORD PARK
WACONIA, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

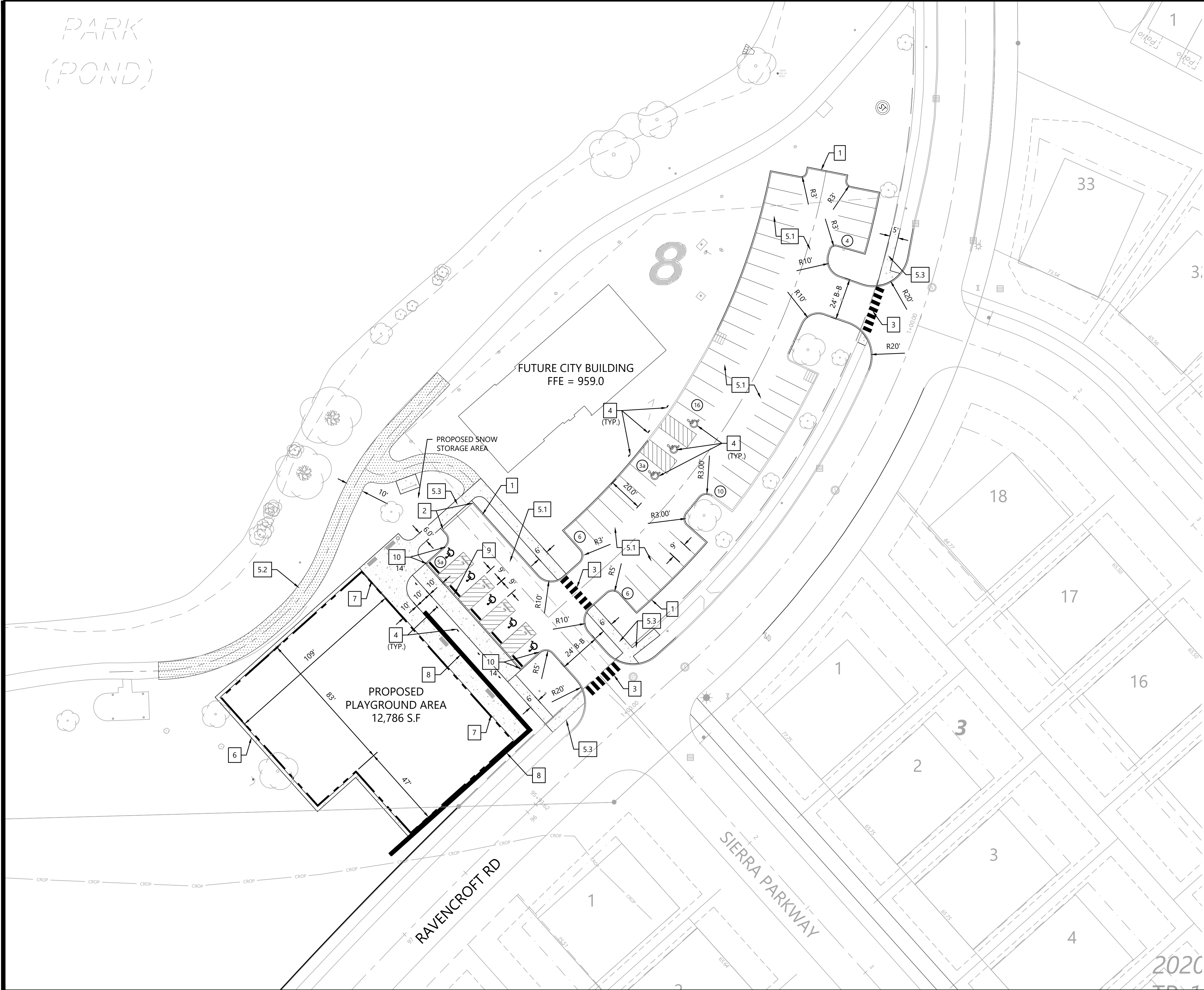
EXISTING CONDITIONS &
REMOVALS

PROJECT NUMBER: 0035257

SHEET NUMBER:

2 OF 5

DATE: 02/07/22



SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

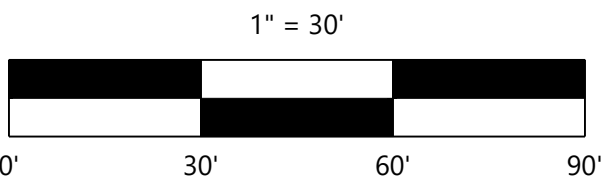
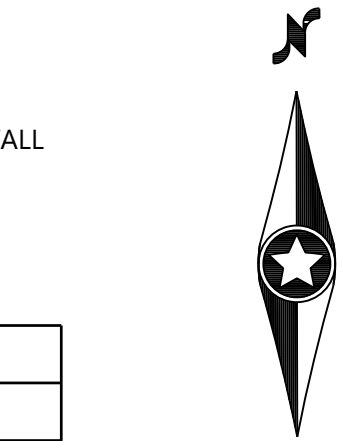
GENERAL SITE NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE **B612** UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

1 SITE DETAILS

- B612** CURB AND GUTTER
- SURMOUNTABLE CURB AND GUTTER
- CROSS WALK STRIPING
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- PAVEMENT SECTIONS
 - BITUMINOUS PARKING
 - BITUMINOUS TRAIL
 - CONCRETE SIDEWALK
- 12"x12" CONCRETE EDGE
- THICKENED EDGE SIDEWALK
- MODULAR BLOCK RETAINING WALL
- FLUSH CURB SECTION
- CURB TRANSITION

IMPERVIOUS SURFACES	
ADDED IMPERVIOUS AREA (SY)	FUTURE CITY BUILDING (SY)
1227	645



CONSTRUCTION PLANS

DESIGNED: _____
CHECKED: _____
DRAWN: _____
HORIZONTAL SCALE: 30.0003"
VERTICAL SCALE: 6' OR 3'

INITIAL ISSUE: 02/07/22
REVISIONS:
△ _____
△ _____
△ _____
△ _____
△ _____

PREPARED FOR:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

RYAN M. BLUHM
DATE: 02/07/22 LICENSE NO. 41257

WATERFORD PARK
WACONIA, MN

Westwood

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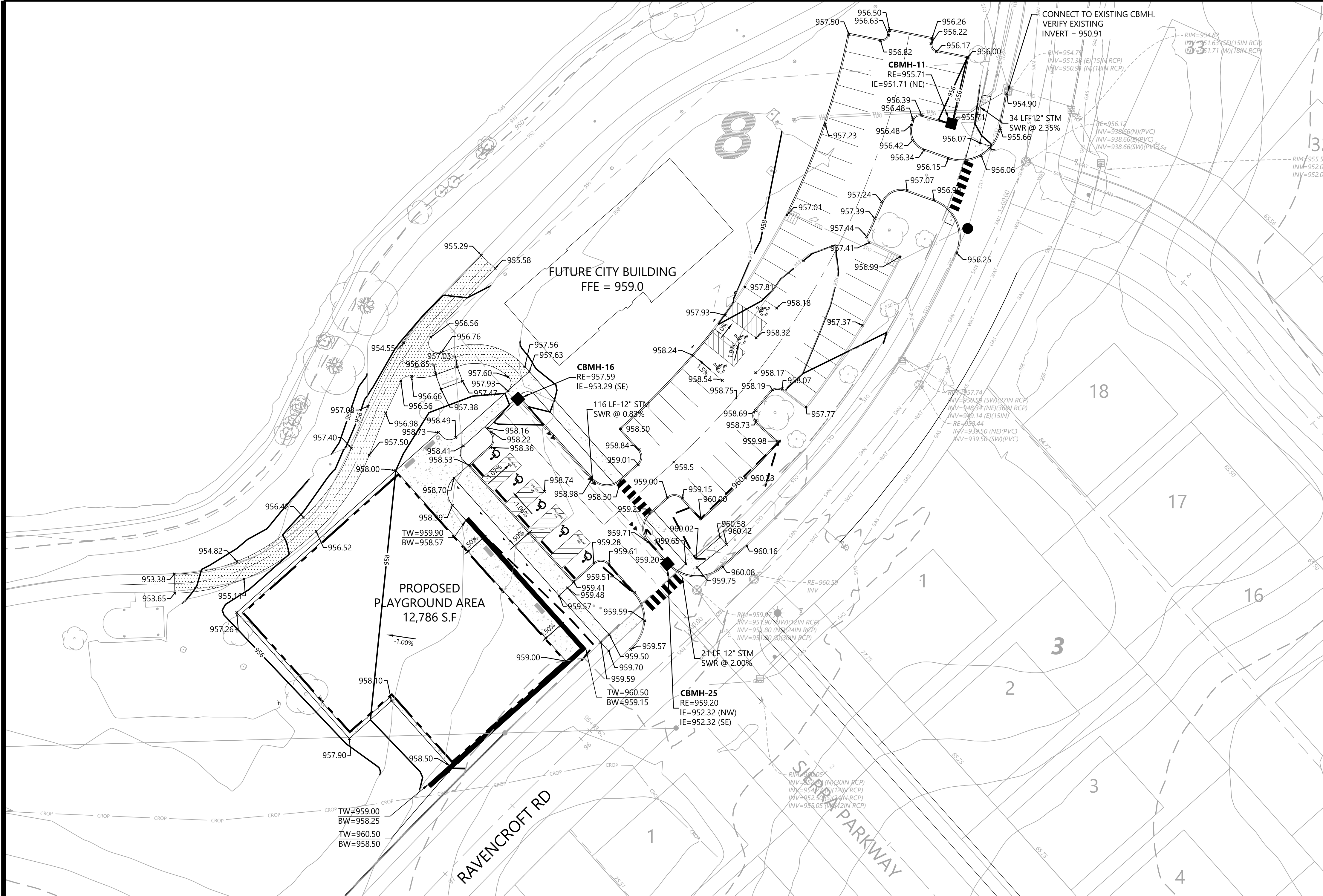
SITE PLAN

PROJECT NUMBER: 0035257

SHEET NUMBER:

3 OF 5

DATE: 02/07/22



GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10-FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10-FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.

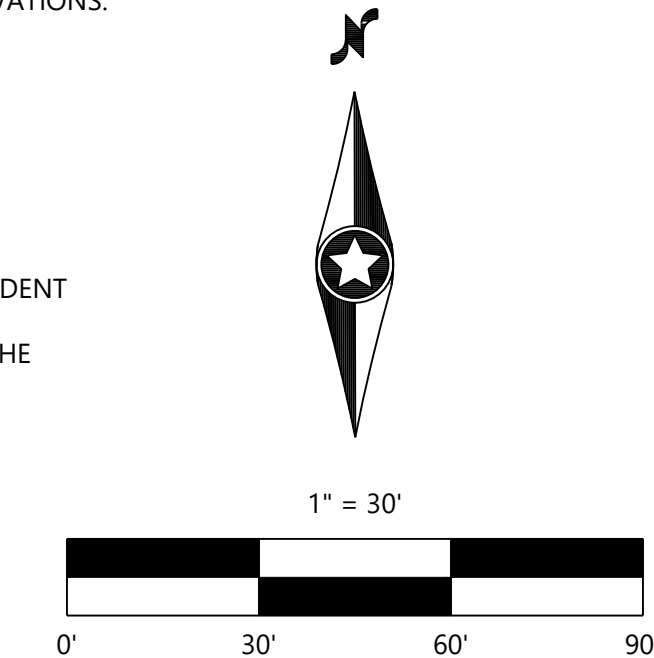
GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH

FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.

- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.

ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



CONSTRUCTION PLANS

DESIGNED:	TDD
CHECKED:	RMB
DRAWN:	RMB
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	6' OR 3'

INITIAL ISSUE:	02/07/22
REVISIONS:	

PREPARED FOR:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

RYAN M. BLUHM
DATE: 02/07/22 LICENSE NO. 41257

WATERFORD PARK
WACONIA, MN

Westwood

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Westwood Professional Services, Inc.

GRADING AND UTILITIES

SHEET NUMBER:

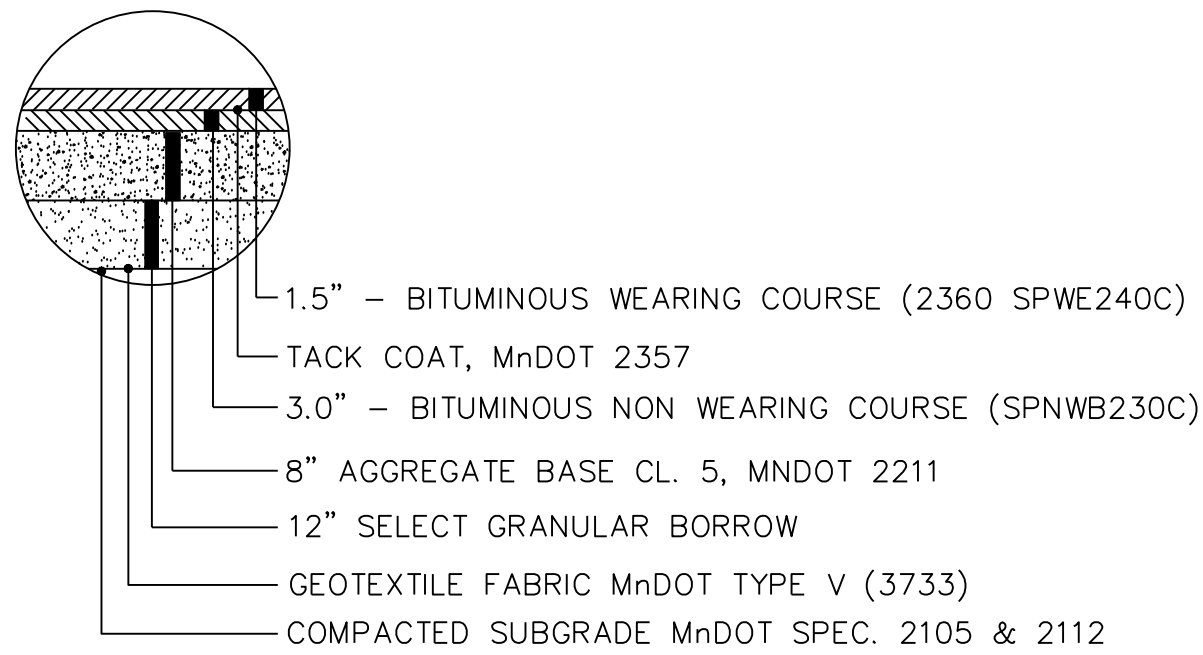
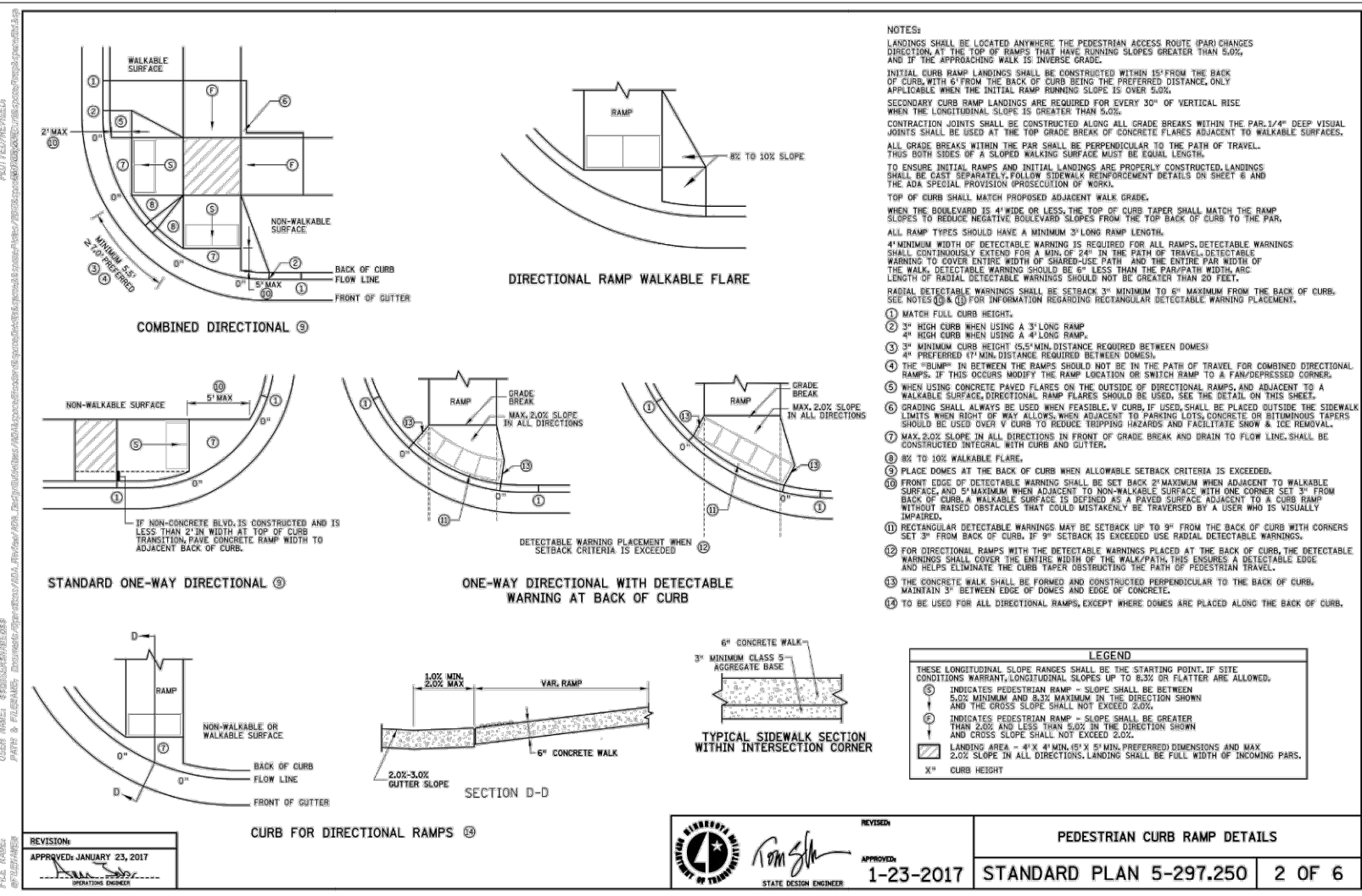
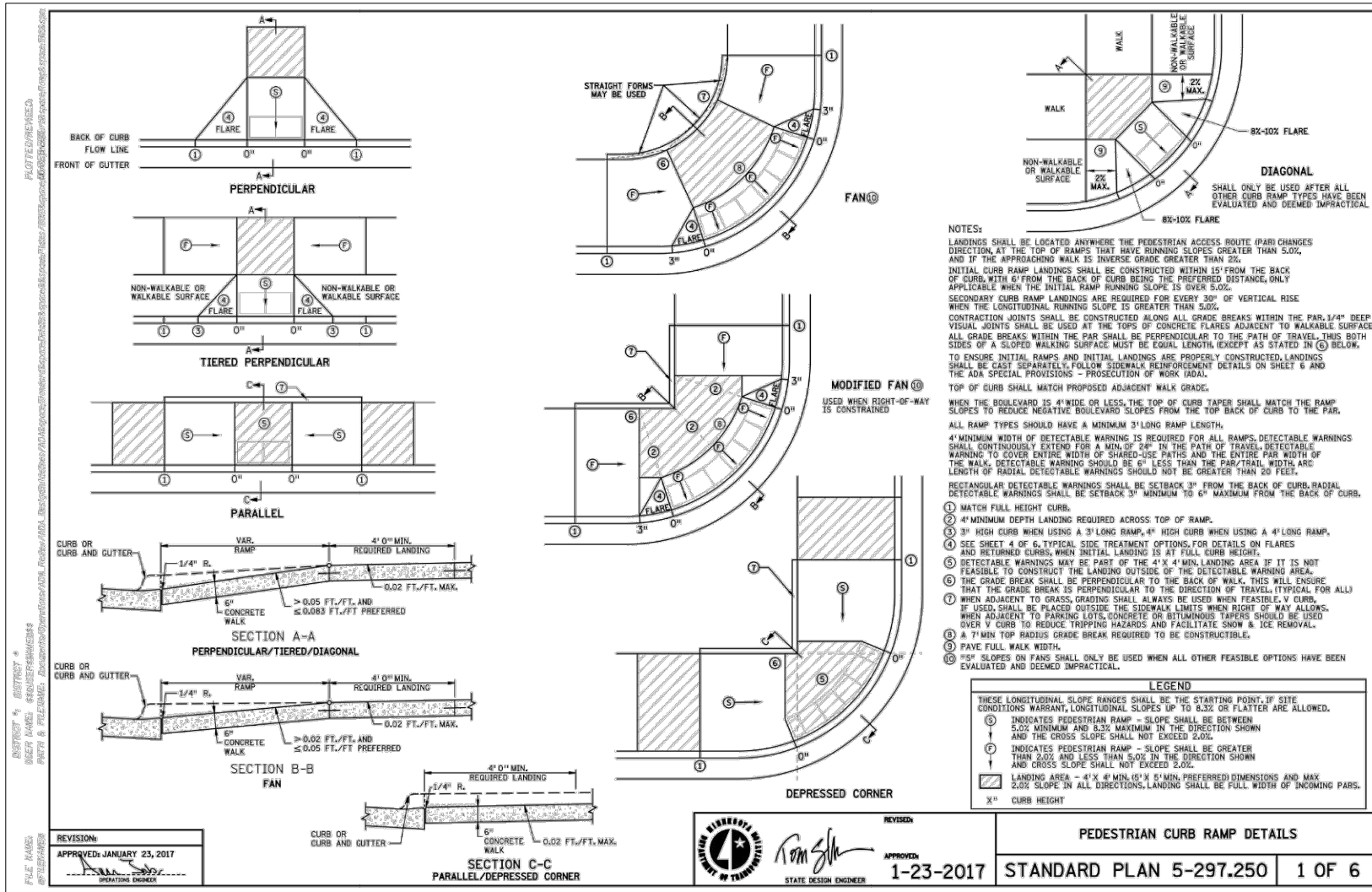
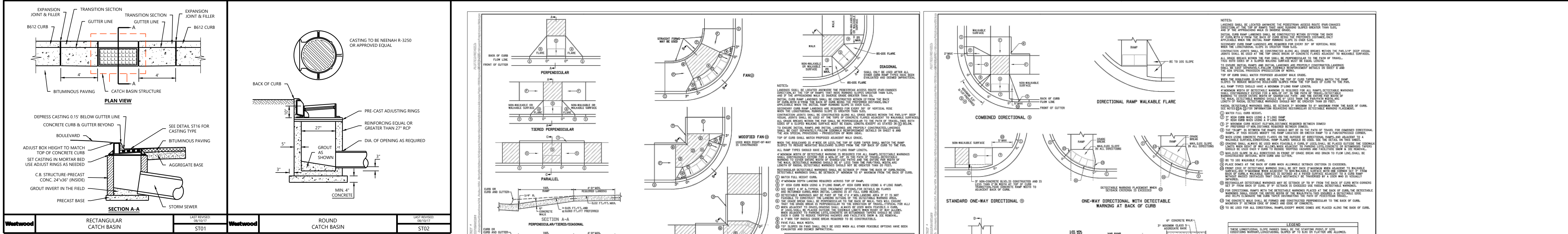
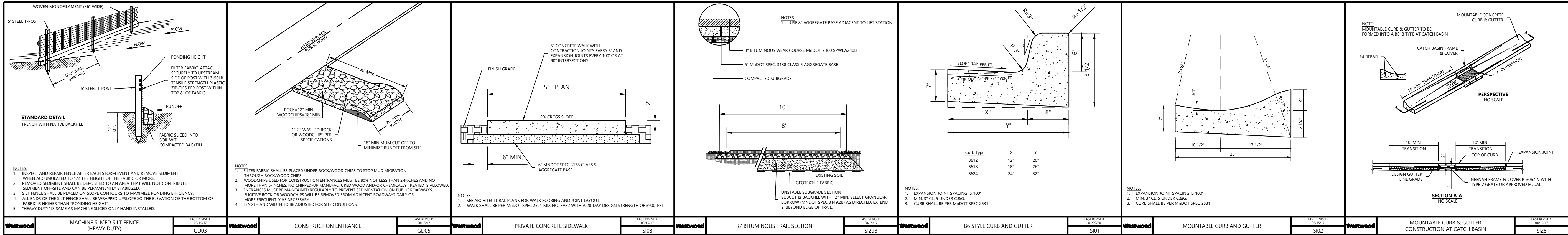
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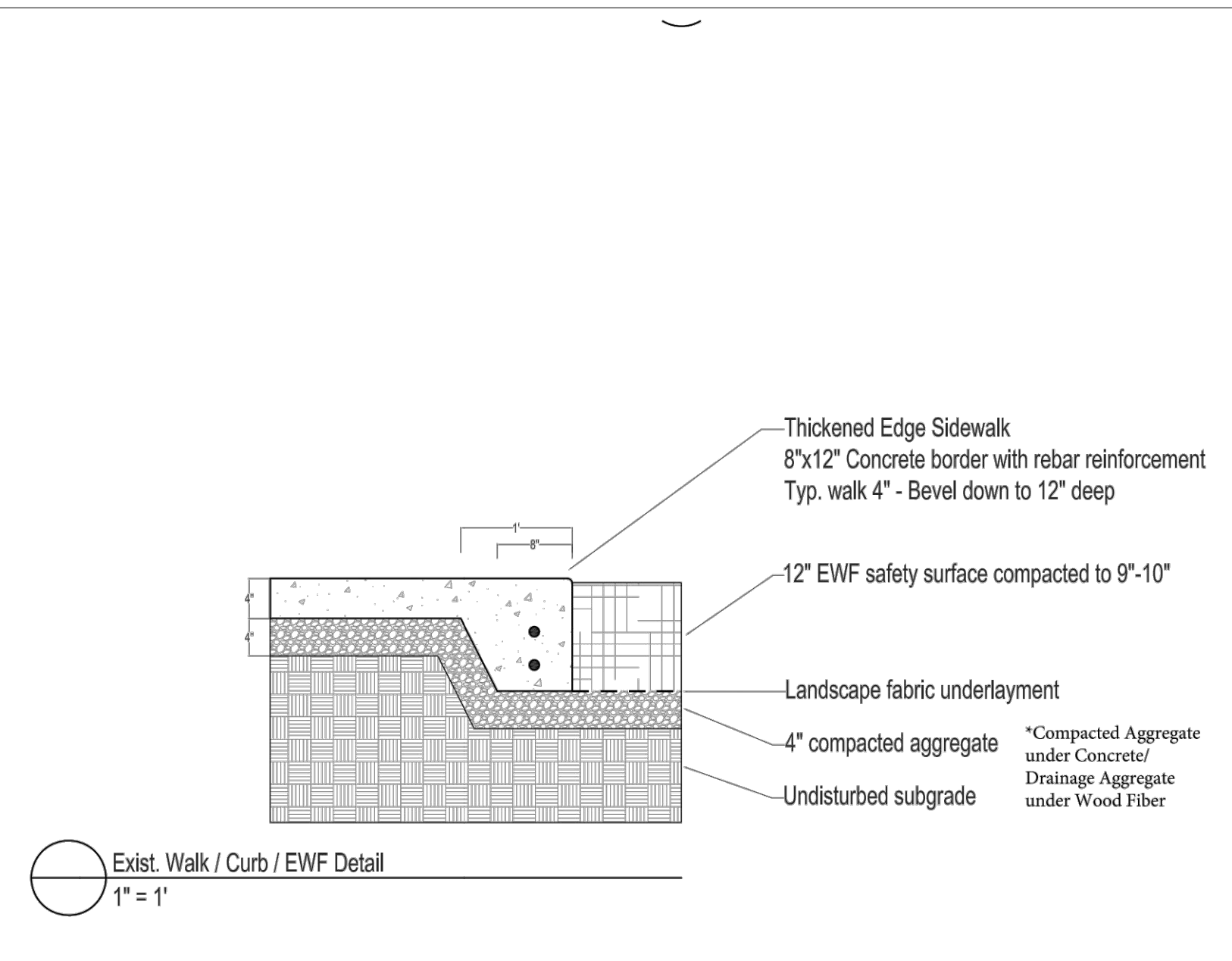
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BITUMINOUS PARKING SECTION

NO SCALE



CONSTRUCTION PLANS