

6:30 PM

A thriving, connected community with deep roots: a great place to live for a lifetime.

A city that leads, serves, and governs to enhance the quality of life for all community members.

CHAIR: JIM SARCLETTI
MEMBER: DAN LESHER
MEMBER: TINA ZELLMAN
MEMBER: JOE POLUNC
MEMBER: CHAD GENZ
ALTERNATE MEMBER: BRUCE PAULSEN

NOTE: TO ENSURE THAT YOU ARE PRESENT FOR ITEMS OF INTEREST, PLEASE BE PRESENT AT 6:30 P.M.

Those with items on the agenda should reach out to their staff contact. Others who wish to participate in the meeting, please contact the Community Development Director at 952-442-3106 or lbraaten@waconia.org to make certain that you are called upon during the meeting.

1. **Call meeting to order and roll call**
2. **Adopt Agenda**
3. **Minutes Approval**
 - 1) [June 1st, 2023 Planning Commission Meeting Minutes](#)
Motion to adopt the June 1st, 2023 Planning Commission Meeting Minutes
4. **New Business**
 - 1) [PUBLIC HEARING - After-the-Fact Variance - 125 First Street West](#)
Open the Public Hearing.
Motion to close the Public Hearing.
Motion recommending either approval or denial of the after-the-fact variance application to partially waive the rooftop screening requirement stated in the Downtown District Design Standards for 125 1st Street West.
 - 2) [SITE PLAN & DESIGN REVIEW - Valvoline](#)

Provide recommendation to the City Council regarding Site Plan & Design Review application for the proposed Valvoline for the property located at 840 Marketplace Drive
5. **Old Business**
6. **Other**

1) Staff Update

Adjourn



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date: July 6, 2023

Item Name: June 1st, 2023 Planning Commission Meeting Minutes

Originating Department: Community Development

Presented by: Lane Braaten

Previous Commission Action (if any):

Item Type (X only one):	Consent		Regular Session	X	Discussion Session	
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RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED *(Include motion in proper format.)*

Motion to adopt the June 1st, 2023 Planning Commission Meeting Minutes

EXPLANATION OF AGENDA ITEM *(Include a description of background, benefits, and recommendations.)*

Attachments:

1. [June 1st 2023 Planning Commission Minutes.pdf](#)

FINANCIAL IMPLICATIONS:

Funding Sources & Uses:

Budget Information:

_____ Budgeted

_____ Non Budgeted

_____ Amendment Required

CITY OF WACONIA
June 1, 2023

1) [Call meeting to order and roll call](#)

Pursuant to due call and notice thereof, the regular meeting of the Planning Commission of the City of Waconia was called to order by Zellman at 6:30PM

Members Present: Zellman, Genz, Polunc and Paulsen

Members Absent: Sarcletti and Leshar

Alternate Present: Paulsen

City Liaison Present: Yetzer

Staff Present: Braaten, Nelson, Stein, Havlik

2) [Adopt Agenda](#)

Braaten had no changes to the agenda.

MOTION by Paulsen, seconded by Polunc to adopt the agenda.

MOTION carried.

3) [Minutes Approval](#)

3.1 [May 4th, 2023, Planning Commission Meeting Minutes](#)

MOTION by Genz, seconded by Paulsen to adopt the minutes.

MOTION carried.

[Cover Page](#)

[05.04.23_PC Minutes.pdf](#)

4) [New Business](#)

4.1 [PUBLIC HEARING - SITE PLAN, DESIGN REVIEW and INTERLAKEN VILLAGE 3RD ADDITION – Twin Cities Orthopedics](#)

[Cover Page](#)

[Location Map_TCO Project.pdf](#)

[TCO Waconia MOB Statement of use.pdf](#)

[TCO Waconia Phase II_Preliminary Plans.pdf](#)

[TCO Waconia - Expansion - Architectural.pdf](#)

[TCO Waconia_Perspectives.pdf](#)

[TCO Waconia Site Amenity Narrative.pdf](#)

[INTERLAKEN VILLAGE 3RD ADDITION FINAL PLAT.pdf](#)

Braaten introduced the site plan for TCO. Explaining the original phase of the property and the proposed future phase, which included a replatting. Braaten went on to explain the TCO site plan proposal. The project includes a 35,500 square foot addition along with parking and other site improvements. Braaten showed the landscaping and pedestrian amenity, along with the pedestrian and traffic flow. Braaten went on to show the trash enclosure and landscaping. The application appears to be in conformance with our design standards for the Highway District. Braaten explained that a public hearing was required for the proposed subdivision and no public hearing comments were received by staff.

Paulsen asked about the land dedication and open space. Braaten explained the park dedication fee along with the pedestrian element part of the design. No other questions from commissioners.

Zellman opened the public hearing.

Braaten noted the conditions (20) of the proposal to the Commissioners.

There were no public hearing comments.

Zellman asked for a motion to close the public hearing.

Motion by Paulsen, seconded by Genz to close the public hearing.

MOTION carried.

Motion by Paulsen seconded by Polunc to recommend approval of the Site Plan, Design Review and Plat application for the proposed Twin City Orthopedics project.

MOTION carried.

[4.2 PUBLIC HEARING - Variance Request for 1077 Kinder Drive by Martha Vangen](#)

[Cover Page](#)

[Location Map \(1 Page\).pdf](#)

[Public Hearing Notice \(1 Page\)](#)

[Application & Letter \(4 Pages\)](#)

[Site & Fence Plan \(4 Pages\)](#)

[Site Photos \(6 Pages\)](#)

Nelson explained the variance request. The applicants are proposing to replace the existing fence with a 7 ft 6 in privacy fence. Nelson explained the site conditions and the proposed location and materials of the fence. Nelson clarified that the blue tarp material would be required to be removed.

A discussion followed regarding the fence ordinance history and about keeping fence height consistent. The Planning Commission was also reminded to use the variance criteria in making the recommendation to the City Council. Nelson also reviewed the Variance criteria with the commissioners.

Zellman opened the public hearing.

Martha Vangen -1077 Kinder Drive - spoke about her concerns regarding the existing fence and how a taller fence would work better for them.

Mike Vangen - 1077 Kinder Drive - spoke about the plans they have for the new fence, which included comments about height and placement.

The discussion continued about the height comparisons and location of the new fence. Public Services would need to approve if the applicant were to move the fence closer to the path. If a survey is needed, the applicant would be required to pay for it. No other comments for the applicant.

Zellman asked for a motion to close the public hearing.

Genz motioned to close the public hearing, Paulsen seconded the motion.

MOTION carried.

There was further discussion about harmony, aesthetics, and location of the fence.

Genz made a motion to table the application and to have the applicant get a survey so the Commission could make an informed decision on placement of the fence.

Zellman asked if there was a second.

Motion failed for lack of a second.

Zellman motioned to recommend approval of the variance with the conditions stated in the staff report. Paulsen seconded the motion. Motion carried 3 to 1 in favor of the variance with the 2 conditions, with Zellman, Polunc and Paulsen voting in favor of the application and Genz voting nay.

4.3 PUBLIC HEARING - Amend Section 900.10 Sign Regulations - Lamar Advertising

Cover Page

[Ordinance Amendment Application and Information.pdf](#)

[20180808_Billboard Memorandum.pdf](#)

[Section 900.10 Sign Regulations - Existing City Code.pdf](#)

Braaten introduced the request by Lamar Advertising to amend Section 900.10 regarding dynamic sign regulations. There was 1 public hearing comment from Todd Hann, Hometown Bank to allow dynamic signage to change more than every ten minutes, which is the current City Code requirement. Braaten indicated that there are 4 signs that would be affected if the proposed revisions were approved.

Paulsen asked when the sign ordinance was created. He stated that maybe we need a comprehensive study and to review the entire ordinance. Staff indicated that the sign ordinance had been completely updated in 2019.

Braaten reminded commissioners that tonight we are looking at the request that is in front of us from Lamar.

Commissioner Paulsen recused himself from the discussion and vote as he had a conflict of interest with the proposal.

Genz asked Braaten to explain the attorney memo that was included in the packet. Braaten summarized that converting static non-conforming billboard signage to non-static would be an expansion of the non-conformity and would not be allowed.

Zellman opened the Public Hearing.

Don Laubach -1814 Oak Grove Road, St. Cloud (Lamar Advertising) - explained the future of the signs and how beneficial they are to the community.

Zellman asked to close public hearing.

Genz motioned to close the public hearing. Polunc seconded it.

MOTION carried.

Discussion continued regarding looking at the entire sign code.

Braaten explained the timeline for reviewing and possibly revising the ordinance would take a minimum of 4-5 months. Zellman stated that businesses would benefit from the digital signage. She questioned what kind of timing might make sense if it were revised.

Polunc motioned to recommend denial of the ordinance amendment application from Lamar Advertising. Genz requested an amendment to Polunc's original motion recommending the city review the entire sign ordinance. Polunc agreed to the amendment. Genz seconded the motion. Motion carried with Paulsen abstaining.

[INTERLAKEN VILLAGE 3RD ADDITION FINAL PLAT.pdf](#)

5) Old Business

5.1 Continued - SITE PLAN & DESIGN REVIEW and VARIANCE - Waconia 1 Collision & Auto

Cover Page

Location Map (1 Page)

Proposed Redlined Revisions (4 Pages)

Site Plan (6 Pages)

5.1 Continued - SITE PLAN & DESIGN REVIEW and VARIANCE - Waconia 1 Collision & Auto

Nelson updated the Commission on the revisions to the project, which included parking, screening, and hardcover. The applicant addressed the storm water runoff. He also pointed out that they were going to revise the aggregate area.

Zellman asked the applicant to come up and explain the revisions.

Michelle & Chad Bijou 524 Elm Street South
Jeff Gears with Sperides Reiners Architects

- Explained the parking revisions adjacent to the alley.
- The trash enclosure was moved to the Elm Street side.

Jeff Gears indicated that they are still trying to understand why there is a difference in hardcover between the civil and architectural plans. Discussion followed regarding hardcover.

Mary Johnson – 509 Olive Street South - stated concerns with the gate, lighting, and the fencing material.

Paulsen asked how to work around the hardcover discrepancy. After some discussion Mr. Gears indicated that they would meet the 80.4% identified in the architectural plans.

Paulsen motioned to recommend approval of the variances for the alley setback, the parking setback and to exceed the 80% hardcover maximum by 0.4% with the conditions identified in the staff report. Genz seconded the motion. **MOTION carried.**

6) Other

Braaten updated the Planning Commission on the following;

- City Council approved 40 East Lake St shoreline variance with conditions.
- A Site Plan & Design Review application has been submitted for Valvoline at 840 Marketplace Blvd.
- Scooters groundbreaking a few weeks ago.

- Explained that downtown construction had begun, but the businesses remain open, so please come down and support them during the construction period.

Adjourn

Zellman asked for a motion to adjourn.

Paulsen motioned to adjourn.

Genz seconded the motion.

MOTION passed.

David Havlik
Office Assistant



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date: July 6, 2023
Item Name: PUBLIC HEARING - After-the-Fact Variance - 125 First Street West
Originating Department: Community Development
Presented by: Lane Braaten

Previous Commission Action (if any):

Item Type (X only one):	Consent		Regular Session	X	Discussion Session	
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RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)

Open the Public Hearing.
Motion to close the Public Hearing.
Motion recommending either approval or denial of the after-the-fact variance application to partially waive the rooftop screening requirement stated in the Downtown District Design Standards for 125 1st Street West.

EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)

BACKGROUND

Applicant: Greg James
Owner: JD Rentals LLPA
Address: 125 First Street West
PID# 750501400
Zoning: B-3, Central Business District
Design Standards District: Downtown District

REQUEST:

The City has received an application submitted by Greg James (the “applicant”) requesting approval of an after-the-fact variance from the Downtown District Design Standards which requires all rooftop equipment to be screened from view from adjacent streets, public rights-of-way and adjacent properties.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05 - District Regulations, Subd. 2.H - B-3, Central Business District
2. Section 900.06 - Architectural Design Standards, Subd. 9.D - Design Standards, Downtown District
3. Section 900.12 - Administration, Enforcement and Procedures, Subd. 4 - Variances

VARIANCE REVIEW CRITERIA:

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statue 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a Variance in terms of “practical difficulty” as follows: “Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the Variance are consistent with the Comprehensive Plan.” So a City evaluating a Variance application should make findings as to:

1. Is the Variance in harmony with the purposes and intent of the ordinance?
2. Is the Variance consistent with the Comprehensive Plan?
3. Does the proposal put the property to use in a reasonable manner?
4. Are there unique circumstances to the property not created by the landowner?
5. Will the Variance, if granted, alter the essential character of the locality?

State Statute specifically notes that economic considerations alone cannot create a practical difficulty. Whereas, practical difficulties exist only when the three statutory factors are met (1. Reasonableness, 2. Uniqueness, and 3. Essential character).

VARIANCE ANALYSIS:

The applicant is requesting a variance from the rooftop screening required in the Downtown District Design Standards. The applicable section of the design standards is included below:

Roof Design

a. *Objectives:* To encourage a variety of roof lines that respond to the existing built environment. To ensure adequate screening of rooftop equipment.

b. *Standards:* Flat or pitched roofs, or combinations of these, may be used. Pitched roofs should have a minimum roof pitch of 1 foot of rise to 4 feet of run. Flat roofs should be defined with an ornamental parapet or cornice. Average parapet height shall not exceed 15 percent of the height of the supporting wall and maximum parapet height at any point shall not exceed one-third the height of the supporting wall.

All rooftop equipment shall be screened from view from adjacent streets, public rights-of-way and adjacent properties. Preferably, rooftop equipment should be screened by the building parapet, provided that the parapet does not exceed building height limits.

Rooftop equipment may also be screened by a smaller accent roof or enclosure. This structure shall be set back a distance of 1-1/2 times its height from any primary façade fronting a public street. Screens shall be of durable, permanent materials (not including wood) that are compatible with the primary building materials.

PLANNING/DESIGN REVIEW ANALYSIS:

1. The applicant received Design Review approval on March 22nd, 2022 via Resolution 2022-90. Condition #5 of the resolution states “Any rooftop mechanical equipment visible from the street or alley will be required to be screened from view by an accent enclosure consistent with the design of the building.”
2. The Planning Commission reviewed the Design Review application on March 3rd, 2022. Included in the packet language was the applicable sections of City Code which state “All rooftop equipment shall be screened from view from adjacent streets, public rights-of-way and adjacent properties. Preferably, rooftop equipment should be screened by the building parapet, provided that the parapet does not exceed building height limits. Rooftop equipment may also be screened by a smaller accent roof or enclosure. This structure shall be set back a distance of 1-1/2 times its height from any primary façade fronting on a public street. Screens shall be of durable, permanent materials (not including wood) that are compatible with the primary building materials.”
3. Design Review Analysis and Staff Review Comments from the March 3rd, 2022, packet also include language stating “The application does not include any details regarding outdoor equipment. Any future outdoor or rooftop mechanical equipment requires screening.”
4. The March 3rd, 2022, Planning Commission Meeting Minutes state “Leshner wondered about the mechanical equipment placement. Dewolf stated that the equipment is hidden behind the peak of the building. Braaten asked Dewolf to mention this to his mechanical team to reconfirm the infrastructure is in place to support these systems.”
5. The City Council reviewed the Design Review application on March 21st, 2022, which included a recommendation of approval from the Planning Commission. Additionally, the City Council staff report included the same screening language included in the Planning Commission packet.
6. The March 21st, 2022, City Council meeting minutes includes “The application does not include any details regarding outdoor equipment. Any future outdoor or rooftop mechanical requires screening.”
7. The City issued Mechanical Permit WA302143 on September 9th, 2022, to Wencl Services, Inc. The Description Field states, “Any Rooftop Mechanical equipment shall be screen”. Additionally, the comment field on the mechanical permit states “Rooftop Equipment visible from public road right-of-way shall require screening.”

PUBLIC NOTICE/COMMENT

The notice was published in the WACONIA PATRIOT on June 22nd, 2023 and posted at Waconia City Hall. Individual notices were mailed to all property owners within 350 feet of the subject parcel. The public hearing comment received has been attached to this report for review and consideration.

RECOMMENDATION

The Planning Commission should hold the public hearing and review the after-the-fact variance application based upon the Downtown District Design Standards and the variance criteria stated above and make a recommendation to the City Council. Upon a formal recommendation by the Planning Commission this application will be forwarded to the City Council for review at their upcoming meeting on July 17th, 2023.

Attachments:

1. [Location Map.pdf](#)
2. [Propety Photographs_Existing.pdf](#)
3. [Bode Grays_Mechanical Screening Diagram.pdf](#)
4. [Herzog Engineering Bode Gray Rooftop Duct Screening Opinion Letter.pdf](#)
5. [JAmdal Architects Letter.pdf](#)
6. [Public Hearing Comment.pdf](#)

FINANCIAL IMPLICATIONS:

Funding Sources & Uses:

Budget Information:

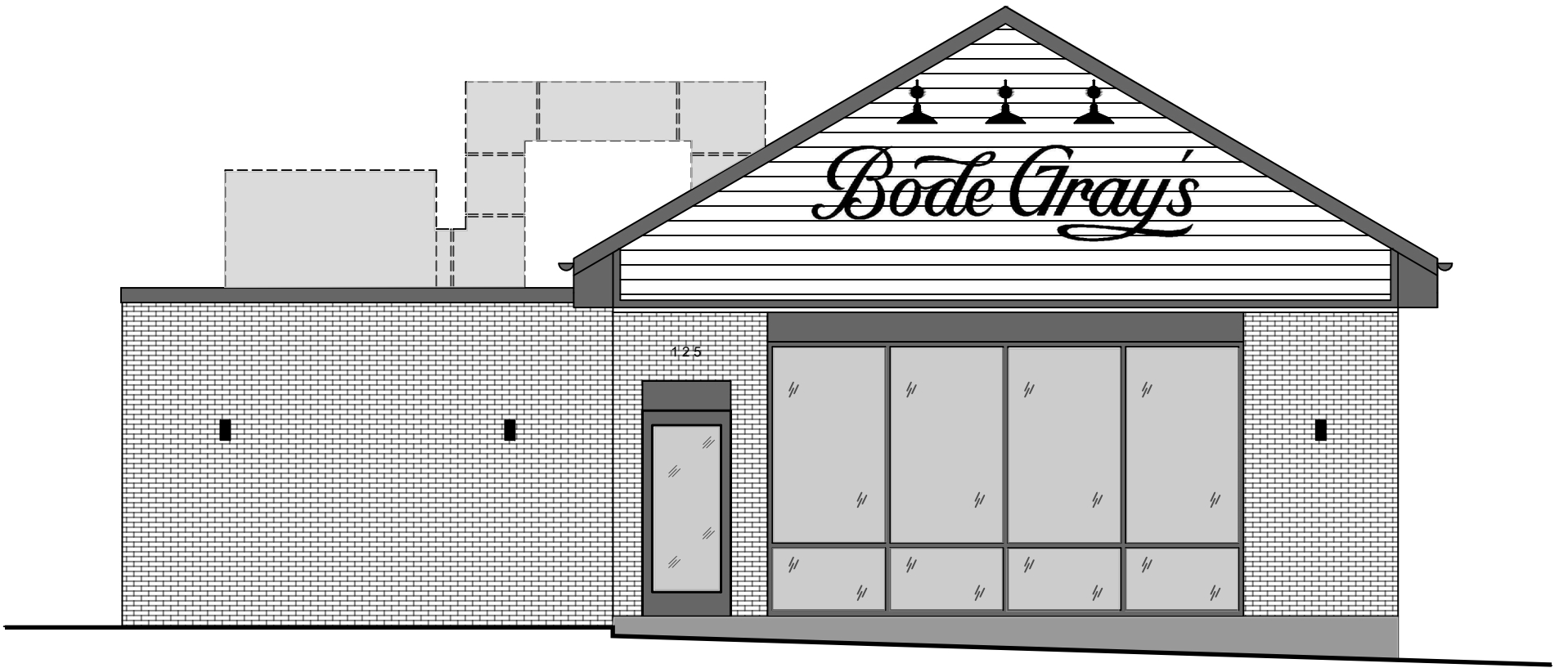
_____ Budgeted
_____ Non Budgeted
_____ Amendment Required

LOCATION MAP





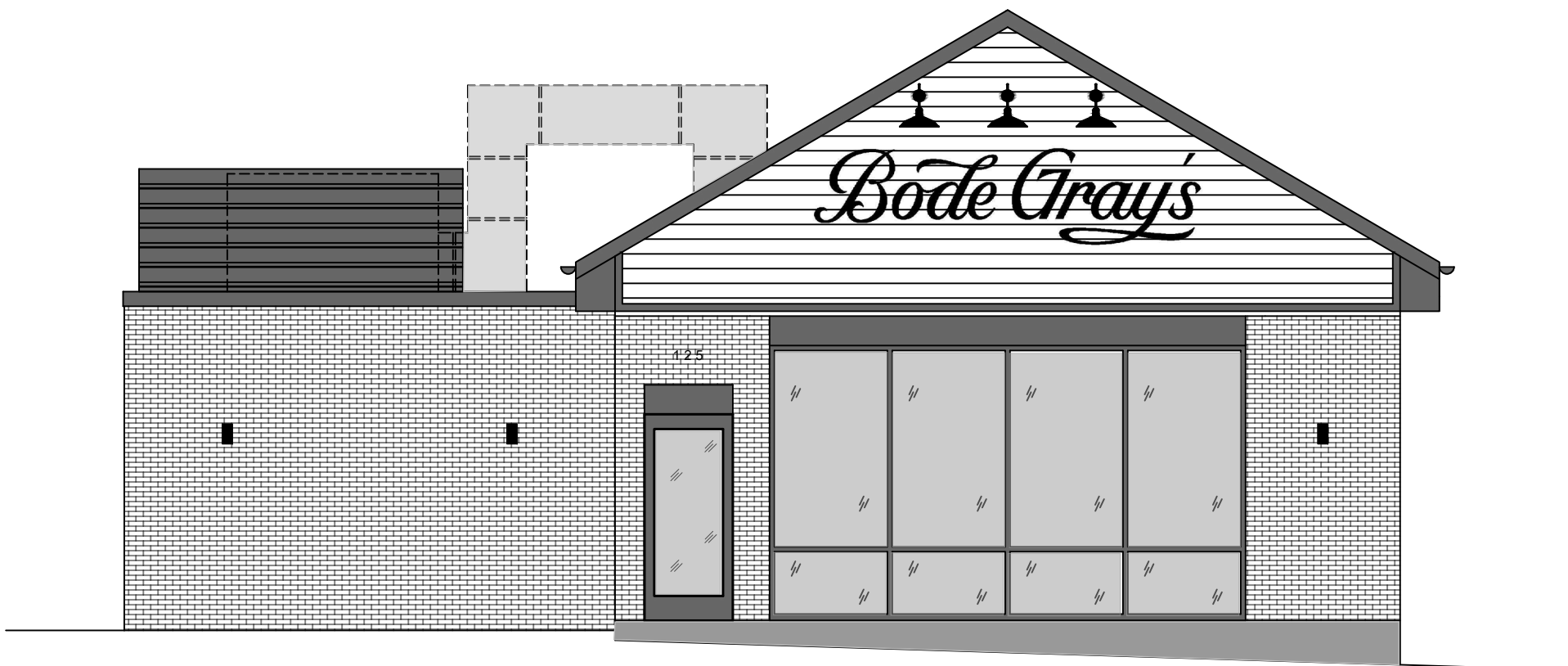




Bode Gray's - Front Elevation - Before

Scale: 3/16" = 1'-0"

Revised 06/02/2023



Bode Gray's - Front Elevation - After

Scale: 3/16" = 1'-0"

Revised 06/02/2023

June 1, 2023

Bode Gray's
Attn: Bria James
125 W 1st St.
Waconia, MN 55387

Re: Bode Gray's Rooftop ductwork screening variance letter
Project Number: 231249

Dear Ms. James:

As requested, I have reviewed the concept of installing new roof top mechanical unit screening at the above address. The section of the existing building roof that currently has ductwork installed is part of the original building sloped roof that is framed of field built trusses. This portion of the building was built before snow drift requirements were part of the MN Code. The height of the screen is approximately six feet tall and if the screen was extended to cover the sloped roof area duct, snow drifting would be required due to the length of the new screen.

It is our opinion that adding vertical screening to this sloped area of the roof would require reinforcing of the roof trusses that would be difficult to install and costly. It would required extensive analysis of the roof trusses and adding reinforcing to the roof trusses to support the screening loading. It is our recommendation to avoid installing a screen on this portion of the roof due to the structural effort required to do so.

If you have any questions or need anything further, please contact me at (612) 844-1234.

Sincerely,
Herzog Engineering, LLC


Jeremy Clarke, PE
Structural Engineer

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE: 

TYPED OR PRINTED NAME: JEREMY J. CLARKE

DATE: 6/1/23 REG. NO.: 42422

JAmdal Architects LLC

5645 Dallas Ln. N.
Plymouth, MN 55446
612 802 2855



June 1, 2023

SUBJECT: Variance Request - 125 1st St W

Variance request is from the Zoning Ordinance, Subdivision 9, Architectural Design Standards, Item D, Design Standards, Downtown District, #7c Rooftop Equipment.

Requested Variance is for a partial deviation from the requirement of "all rooftop equipment shall be screened from view from adjacent streets, public rights-of-way and adjacent properties". The partial deviation is from the fact we will be screening the RTU (roof top unit) with a pre-finished metal panel in a dark bronze finish to match the existing storefront and roof coping, the portion of the equipment that will not be screened is the ductwork. Ductwork exits the RTU on the west side and is over 6' plus above the roof and would require a very substantial screen that would span over both the flat roof and the 8/12 pinched roof of the former historic school structure. Both the location of this screen and height would result in major modification to the existing roof structure. See attached before and after front elevation.

Please see the attached letter from Herzog Engineering dated June 1, 2023 for further explanation of the conditions that make it difficult to screen the duct work and makes a variance necessary.

Note that Herzog Engineering stated that "adding vertical screening to this sloped area of the roof would required reinforcing of the trusses that would be difficult to install...".

A variance should be granted for this partial deviation due to the fact that in doing so the roof structure of the former historic school building will remain intact allowing the original field built trusses to be viewed. The dining room ceiling of the restaurant Bode Gray's is open to this sloped roof and trusses and in doing so exposes evidence of a fire to the historic school building and some of the history of Waconia.

Jack Amdal
JAmdal Architects, LLC
5645 Dallas Ln N
Plymouth, MN 55446

Lane Braaten

From: Douglas Bode <douglas.bode70@gmail.com>
Sent: Thursday, June 29, 2023 8:24 AM
To: Lane Braaten
Subject: Variance 125 1st West

Planing Commission

Received notice that the above property is requesting a variance for screening rooftop equipment. I am not in favor of this variance the City of Waconia has codes and ordinances in place for a reason. This is why the City of Waconia sets those standards so things are uniform throughout the community.

If you have any questions feel free to email me to discuss

Thank you

Doug Bode
209 West 2nd streets
Waconia, MN 55387
Douglas.bode70@gmail.com

Sent from my iPhone



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date: July 6, 2023

Item Name: SITE PLAN & DESIGN REVIEW - Valvoline

Originating Department: Community Development

Presented by: Ethan Nelson

Previous Commission Action (if any):

Item Type (X only one):	Consent		Regular Session	X	Discussion Session	
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RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)

Provide recommendation to the City Council regarding Site Plan & Design Review application for the proposed Valvoline for the property located at 840 Marketplace Drive

EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)

BACKGROUND

Applicant: Valvoline LLC

Owner: Ilex Groups Inc.

Address: 840 Marketplace Drive

PID# 755040130

Zoning: B-1, Highway Business District

Design District: Highway District

REQUEST

The applicant, Valvoline LLC, has submitted an application for Site Plan and Design Review for the property located at 840 Marketplace Drive. The applicant is proposing to construct a new freestanding 2,080 sq. ft. structure and site improvements in the B-1, Highway Business District.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05 – District Regulations, Subd. 2.F – B-1, Highway Business District
2. Section 900.06 – Supplementary Regulations, Subd. 9 – Architectural Design Standards
3. Section 900.07 – Landscaping and Fencing
4. Section 900.08 – Performance Standards
5. Section 900.09 – Off-Street Parking, Loading, and Access Regulations
6. Section 900.10 – Sign Regulations
7. Section 900.12 – Administration, Enforcement and Procedures, Subd. 4 – Variances & Subd. 10 - Site Plan Review

SITE PLAN REVIEW

City Ordinance requires Site Plan Review *“in order to further promote the safe and efficient use of land and to further enhance the value of property in the City.”* City Ordinance requires Site Plan Review for any construction for which a building permit is required, except for construction of detached, single-family residential structures or structures accessory thereto.

ZONING

The subject parcel is zoned B-1, Highway Business District. The proposed Valvoline building is a permitted use in the B-1 district.

LOT REQUIREMENTS

The subject property is located in the B-1, Highway Business District. Section 900.05, Subd. 2.F of the City Ordinance states *“The purpose of this district is to provide for an appropriate range of businesses that will be utilized by area residents as well as vehicular traffic generated from the surrounding area.”* The Lot Requirements for the Highway Business District are indicated in Table 1-1 below.

Table 1-1.

	B-1 – Lot Requirements	Proposed
Lot Area	17,500 sq. ft. min.	55,441 sq. ft.
Maximum Hardcover Surface	80% max.	45.78%
Maximum Principal Structure Height	35 ft. max.	28.9 ft.
Front Yard Setback	25 ft. min.	Conforming
Side Street Setback – (MN Hwy 5)	20 ft. min.	99.42 ft.
Side Yard Setback – West	15 ft. min.	29.5 ft.
Side Street Setback (Marketplace Drive)	20 ft. min.	Conforming

SCREENING OF EQUIPMENT

The applicant is proposing ground mounted mechanical equipment. All proposed and future outdoor and/or rooftop mechanical equipment shall be screened from neighboring properties and public road right-of-way in compliance with the City Code.

OFF-STREET PARKING

Motor vehicles sales and service establishments: Four (4) spaces for each 1,000 square feet of gross floor space, less storage space.

The applicant is proposing to construct 10 parking spaces as part of their site improvements to service the 2080 sq. ft. building. The minimum parking required is 9 spaces. The parking count and design meets City standards as proposed.

LANDSCAPING

Section 900.07B states that for the B-1, Highway Business District, the following plantings are required: One (1) tree for every one thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.

The gross building floor area of the proposed structure is 2080 sq. ft. and the total site perimeter is 700.52 lineal feet. The applicant is proposing 18 trees that meet the minimum size requirements. City Code requires 14 trees, therefore it appears the application is conforming to City requirements.

Additional plantings shall be required for properties fronting State Highway #5. The following will be required for every 40' of frontage along Highway #5:

a. One (1) three inch (3") minimum deciduous tree or One (1) eight foot (8') minimum coniferous tree.

Staff notes the applicant added 5 additional trees to meet this requirement, however these trees were not included in the table indicating size. Further, the location of the trees is near utilities in the easement near State Highway 5, the applicant may want to consider plantings in an alternate location. The applicant's landscaping plan shall include 5 trees that meet the standard indicated above.

SIGNS

The applicant is proposing a monument sign and wall signage. Although the proposed signage appears to generally meet code requirements, all signage shall require a separate sign permit application and review.

LIGHTING

Section 900.08, Subd. 1.C provides standards for exterior lighting. The applicants have submitted a lighting plan clarifying the overall lighting for the proposed new construction that appears to meet City code requirements.

VEHICULAR ACCESS

One full access entrance is proposed off of Marketplace Drive on the south side of the property. This access location and configuration in conformance with City standards.

PEDESTRIAN ACCESS

There is existing sidewalk that runs along Marketplace Drive on the south side of the property. The applicant is

proposing a connection to the sidewalk segment that would connect with the principal structure. The proposed design is in conformance with City standards.

TRASH

City Ordinance requires “*All trash and trash handling equipment to be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure.*”

The plans show an exterior trash enclosure on the south side of the property. No elevations have been shown as part of the application. The applicant shall ensure all materials match with the principal structure consistent with code requirements upon building permit review. The Planning Commission may wish to discuss this item with the applicant.

GRADING, DRAINAGE & UTILITIES

The City Engineer and Public Services Director have conducted an initial review of the grading, drainage and utilities based upon the Site Plan dated June 1st, 2023 and plan revisions dated June 23rd, 2023. The majority of items outlined in the staff comment letter dated June 13th, 2023 have been addressed. Any recommendation by the Planning Commission should include a condition requiring the applicant to work with the City Engineer and Public Services Director to revise the utility and grading information to the satisfaction of the City prior to any work commencing on site.

SEWER AVAILABILITY CHARGE (SAC) AND CITY TRUNK FEES

New construction, a new business, a change in location or change in the use of space in a way that creates more potential demand on the wastewater system will require submission to the Metropolitan Council for a Sewer Availability Charge (SAC) determination. The SAC determination made by the Metropolitan Council informs the City sewer and water trunk fees associated with the potential development, redevelopment and/or remodeling of the subject property, location, or business. City code requires that for every SAC unit determined by the Metropolitan Council, the project will require the payment of one City sewer trunk fee and one City water trunk fee. The 2023 SAC and City trunk fees are included below for convenience. Please note that the current 2023 per unit cost, which includes SAC, water trunk fee, and sewer trunk fee, is \$10,885 plus any applicable hook-up and stormwater connection fees.

SAC Charge	\$2,485 per SAC unit determined by the Metropolitan Council
Sewer Trunk Fee	\$3,300 per SAC unit determined by the Metropolitan Council
Water Trunk Fee	\$5,100 per SAC unit determined by the Metropolitan Council
Stormwater Trunk Fee	\$11,050 per acre
Stormwater Access Fee	\$1,600 per acre

DESIGN REVIEW – HIGHWAY DISTRICT

City Ordinance requires Design Review with the understanding that “*the visual character and historic resources of*

the City are important attributes of its quality of life.” City Ordinance requires Design Review to be conducted as part of the Site Plan Review process.

Based on a review of the plan set provided by the applicant for the proposed Valvoline, staff indicates the applicant meets all design review requirements.

CONCLUSION / RECOMMENDATION

The Planning Commission should make a recommendation to the City Council regarding the request by Valvoline LLC, for Site Plan & Design Review approval for construction of a new freestanding Valvoline located at 840 Marketplace Drive. This item will be forwarded to the City Council for review at their upcoming meeting scheduled for July 17th, 2023

If the Planning Commission chooses to recommend approval of the Site Plan and Design Review, staff would recommend the approval upon the following conditions:

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall provide the City with an escrow or letter of credit to guarantee the proper installation and growth of the approved landscape plan. The escrow/letter of credit shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The escrow/letter of credit shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
4. City Public Services staff shall be notified upon landscape planting to note the quantity of plants, and initiation of the warranty period.
5. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
6. The applicant shall make revisions based upon staff review comments dated June 13, 2023 to the satisfaction of the City Engineer, Community Development Director and Public Services Director prior to any work commencing on site.

Attachments:

1. [Location Map \(1 Page\)](#)
2. [Site Plan Application \(4 Pages\)](#)
3. [Proposed Site Plan \(11 Pages\)](#)

FINANCIAL IMPLICATIONS:

Funding Sources & Uses:

Budget Information:

_____ Budgeted
_____ Non Budgeted
_____ Amendment Required



City of Waconia

201 Vine Street South, Waconia, MN 55387

Landscape_8x11

June 2023
25



CITY OF WACONIA
201 South Vine Street
Waconia, MN 55387
Phone: (952) 442-2184 Ext. 2
Fax (952) 442-2135
www.waconia.org

APPLICANT INFORMATION

1. Owner's Name: ILEX GROUPS INC.
2. Address of Property: 840 Marketplace Dr.
3. Legal Description: Lot 6, Block 3, Waconia Marketplace, Carver County, Minnesota
4. PID#: 755040130
5. Applicant's Name: Valvoline LLC
6. Mailing Address: 100 Valvoline Way Lexington, KY 40509
7. Daytime Phone(s): Contact: Jim Douthit 210-859-3957
8. Email Address: James.Douthit@valvoline.com

The City will distribute copies & appropriate information to applicant via email

Site Plan and Design Review Application Fees

1. Payment of application fee (\$350).
2. Escrow Payment Fedex delivery expected 6/2
 - a. 0-5 Acres \$2,500.00 each
 - b. 6-20 Acres \$3,500.00 each
 - c. 21 + Acres \$4,500.00 each
3. Additional consulting review fees may apply, such as civil engineering and legal counsel

OFFICE USE ONLY

Date Received: _____

Fee: \$ _____
Receipt #: _____



CITY OF WACONIA
201 South Vine Street
Waconia, MN 55387
Phone: (952) 442-2184 Ext. 2
Fax (952) 442-2135
www.waconia.org

SITE PLAN AND DESIGN REVIEW REQUIREMENTS

**THE FOLLOWING INFORMATION MUST BE SUBMITTED
IN ORDER TO CONSIDER THE APPLICATION COMPLETE**

(Check with Planning Office for specific requirements in each category)

1. Name of Site Plan: Site Development Plan - Valvoline Instant Oil Change
2. Present Zoning Classification: B-1 Highway Business District
3. Existing use of Property: Undeveloped
4. Payment of application and escrow fees. Additional consulting review fees may apply, such as civil engineering and legal counsel.
5. **1 full size, 6 11 x 17, and 1 Electronic Copy** (include color where possible) survey copies, drawn to scale and dimensioned, with north arrow showing:
 - a. Complete legal description and address of site plan location.
 - b. Lot dimensions.
 - c. All proposed and existing buildings and structures showing setbacks to property lines.
 - d. Yards and space between buildings and property lines.
 - e. Buildings, walls and fences showing height, type of building materials and building elevations for each side of the building.
 - f. Off-street parking showing location, layout, dimensions, circulation, landscaped areas, total number of stalls, surfacing of parking area with cross-section of construction materials, elevation, curb and gutter.
 - g. Access to public streets and trails showing pedestrian and vehicular access points of ingress and egress.
 - h. Outdoor signs showing location, size and height.
 - i. Loading docks showing location, dimensions, number of docks and internal circulation.
 - j. Site lighting showing location, height of poles or fixtures, design and detail (illumination plan showing foot candle measurements).
 - k. Street dedications and improvements, existing and required by City right-of-way standards (inquire with City Engineer if applicable).
 - l. Landscaping with a schedule of the plantings showing quantities, botanical and common names and sizes. Also show size and location of any existing trees.
 - m. Any outdoor storage activities where allowed by zoning codes. Show type, location and height of screening devices.
 - n. Conceptual drainage and grading plan for the site showing proposed finished floor elevation of each building, street elevation and drainage flow elevations. Hydrologic and drainage calculations shall also be submitted.
 - o. Show plans for the waste disposal facilities. Indicate location, access and screening for such facilities.
 - p. Show any easements and location of utilities servicing development.
 - q. Statement of use, including type of business with number of employees by shift.

6. City Ordinance requires design/architectural review to be conducted as part of the Site Plan Review process. The Submittal requirements for Design Review include the following:
- a. Complete exterior elevations of all proposed buildings and existing buildings if they are joined to a new development. Elevations should be drawn at an appropriate scale and should show:
 - i. All signs to be mounted on the building(s) or erected on site.
 - ii. Designations of materials and colors to be used on all exterior facades.
 - iii. Materials shall be identified on each building façade and the percentage of each material on each façade shall be identified.
 - b. Material samples shall be presented, including color and material type of walls and roofs.
 - c. Color samples shall be provided of all principal and secondary colors to be used.
 - d. Photographs of surrounding buildings shall be submitted on the same block or street to address issues of design context. **Attached**



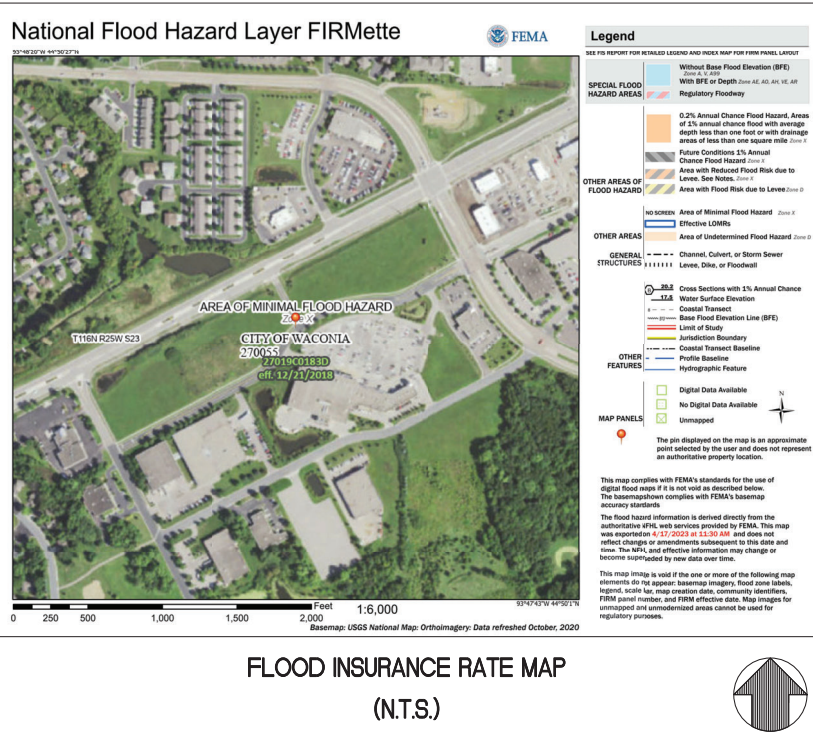
Signature of Applicant: _____

Date: **5/31/23** _____

Printed Name: _____ **Matt Yanda** _____



30



DRAWING INDEX AND ISSUANCE LOG

SHEET #	SHEET NAME	DATE	ISSUE	OWNER REVIEW SET	PERMIT SET	PERMIT SET	REVISION 1	REVISION 2	REVISION 3	REVISION 4	REVISION 5	REVISION 6	REVISION 7	REVISION 8
C-0.0	COVER SHEET	05/18/2023												
C-1.0	SITE PLAN	05/18/2023												
C-1.1	DEMOLITION PLAN	05/18/2023												
C-2.0	PAVING PLAN	05/18/2023												
C-3.0	GRADING PLAN	05/18/2023												
C-4.0	PRE-DEVELOPMENT PLAN	05/18/2023												
C-4.1	POST-DEVELOPMENT PLAN	05/18/2023												
C-4.2	DRAINAGE PLAN	05/18/2023												
C-4.3	DRAINAGE PROFILES	05/18/2023												
C-5.0	EROSION CONTROL PHASE I	05/18/2023												
C-5.1	EROSION CONTROL PHASE II	05/18/2023												
C-5.2	EROSION CONTROL DETAILS	05/18/2023												
C-6.0	UTILITY PLAN	05/18/2023												
C-6.1	SANITARY SEWER PROFILE	05/18/2023												
C-7.0	DETAILS	05/18/2023												
C-7.1	DETAILS	05/18/2023												
C-7.2	DETAILS	05/18/2023												
C-8.0	PHOTOMETRIC PLAN	05/18/2023												
L-1.0	SITE LANDSCAPE PLAN	05/18/2023												
L-1.1	DETAIL LANDSCAPE PLAN	05/18/2023												
IR-1.0	IRRIGATION PLAN	05/18/2023												
ATTACHMENT	ALTA SURVEY													

SURVEYOR

ALTA/NSPS LAND TITLE SURVEY

DEMARC

7601 73RD AVE NORTH
MINNEAPOLIS, MN 55428
(763) 560-3093

SURVEYOR'S PROJECT NO. 90252

JOB NO. 761569-01

GEOTECHNICAL ENGINEER:

GILES ENGINEERING ASSOCIATES, LLC

N8 W22350 JOHNSON DR. SUITE A1

WAUKESHA, WI 53186

(262) 544-0118

PROJECT NO. 1G-2212006

DATED: APRIL 5, 2023

SITE DEVELOPMENT PLAN



840 MARKETPLACE DR

WACONIA

CARVER COUNTY, MN

ZONING: B-1 HIGHWAY BUSINESS DISTRICT

OWNER/DEVELOPER:

VALVOLINE, LLC

CONTACT: JAMES DOUTHIT

100 VALVOLINE WAY

LEXINGTON, KY 40509

(210) 859-3957

ENGINEER:



CONTACT: NIGEL TATE

3601 RIGBY RD, SUITE 300

MIAMISBURG, OH 45342

(937) 554-0948



CONTACTS:

PRE-CONSTRUCTION P.M.

Valvoline Instant Oil Change
James Douthit
100 Valvoline Way
Lexington, KY 40509
Cell: (210) 859-3957

CONSTRUCTION P.M.

Valvoline Instant Oil Change
Dan Boyle
100 Valvoline Way
Lexington, KY 40509
Cell: (720) 255-9294

LUBE EQUIPMENT SUPPLIER

Alemite
7845 Little Ave.
Charlotte, NC 28226
Bus: (800) 233-0400

CIVIL P.M.

CESO, Inc.
Nigel Tate
3601 Rigby Rd, Suite 300
Miamisburg, OH 45342
Bus: (937) 554-0948
nigel.tate@cesoinc.com

ARCHITECT

CESO, Inc.
Adam Walter
1305 NE McClain Road, Suite 7
Bentonville, AR 72712
Bus: (937) 240-4109
adam.walter@cesoinc.com

LANDSCAPE ARCHITECT

Yellow Springs Design
Roger Beal
205 Park Meadow Dr.
Yellow Springs, OH 45387
Bus: (937) 767-8199
ysdesign830@outlook.com

STRUCTURAL ENGINEER

SMBH Structural Engineering
Eric Althoff
1166 Dublin Road, Suite 200
Columbus, OH 43215
Bus: (614) 481-9800
Dir: (614) 643-5584

PLANNING & ZONING

CITY OF WACONIA
PLANNING & ZONING
DEPARTMENT
LANE BRAATEN
201 S VINE ST
WACONIA, MN 55387
Bus: (952) 442-3106
lbraaten@waconia.org

FIRE

CITY OF WACONIA
FIRE DEPARTMENT
JUSTIN SORENSON
26 S MAPLE ST
WACONIA, MN 55387
Bus: (952) 442-2316
jsorensen@waconia.org

PUBLIC WORKS

CITY OF WACONIA
CRAIG ELDRED
310 10TH ST EAST
WACONIA, MN 55387
Bus: (952) 442-4265
celdred@waconia.org

STORMWATER

CITY OF WACONIA
CRAIG ELDRED
310 10TH ST EAST
WACONIA, MN 55387
Bus: (952) 442-4265
celdred@waconia.org

WATER/WASTEWATER

CITY OF WACONIA
CRAIG ELDRED
310 10TH ST EAST
WACONIA, MN 55387
Bus: (952) 442-4265
celdred@waconia.org

ELECTRIC

XCEL ENERGY
TANNER HOLT
Cell: (612) 607-3208
tanner.j.holt@xcelenergy.com

GAS

CENTERPOINT ENERGY
BEN JACOBSEN
Bus: (507) 387-1948

TELEPHONE



CESO
WWW.CESOINC.COM
3601 RIGBY ROAD, SUITE 300
MIAMISBURG, OH 45342
PHONE: 937.554.0948 FAX: 888.208.4826

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DATE ISSUE
05/18/2023 OWNER REVIEW SET
06/01/2023 PERMIT SET
06/23/2023 PERMIT SET

PROFESSIONAL SEAL

PROFESSIONAL LICENSE NO:
42586

PROFESSIONAL IN CHARGE
JEFFREY A. TIBBITTS

PROJECT MANAGER
MAY

QUALITY CONTROL
RAP

DRAWN BY
RMA

PROJECT NAME



VALVOLINE
INSTANT
OIL CHANGE

WACONIA, MN

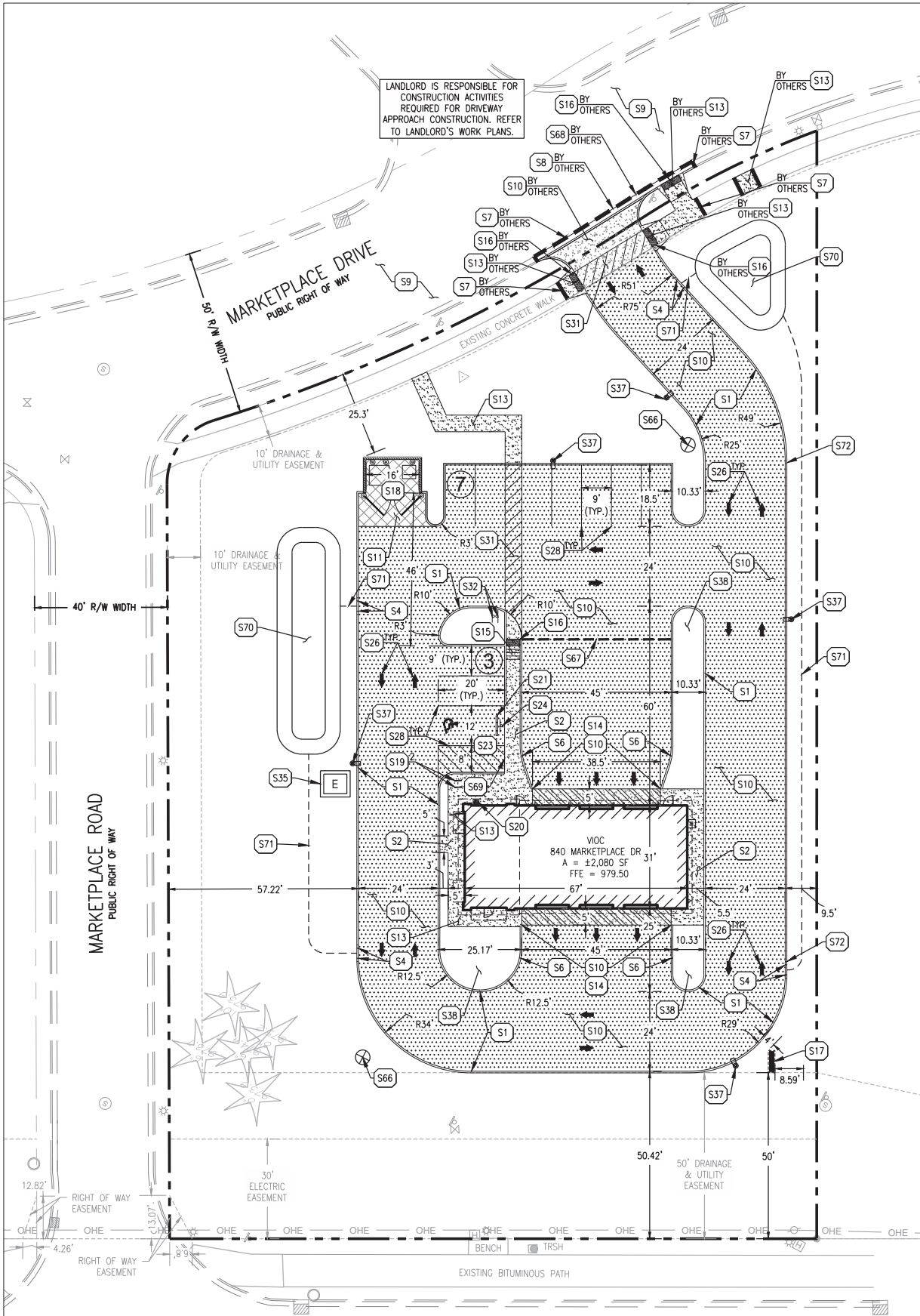
PROJECT NUMBER
761569

SHEET NAME

COVER SHEET

SHEET #

C-0.0



LANDLORD IS RESPONSIBLE FOR CONSTRUCTION ACTIVITIES REQUIRED FOR DRIVEWAY APPROACH CONSTRUCTION. REFER TO LANDLORD'S WORK PLANS.

EXISTING BITUMINOUS PATH

MINNESOTA STATE HIGHWAY NO. 5
PUBLIC RIGHT OF WAY - 150' R/W WIDTH

GOPHER STATE ONE CALL
This time and every time
CALL BEFORE YOU DIG!
Minnesota's One-Call Center
CALL 811 or (800) 282-1166
(651) 454-0002

GOPHER STATE ONE CALL

GENERAL SITE NOTES:

- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
- NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
- ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
- ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- STANDARD/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING ASSOCIATES, INC. DATED APRIL 5, 2023.
- ALL CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONDITION OF ADJACENT STREET AND SIDEWALK SHOULD BE REVIEWED BY THE CITY AND CONTRACTOR PRIOR TO ANY WORK AND VERIFY WITH VIDEO OR PICTURES. ANY DAMAGE TO THE STREET OR SIDEWALK AFTER WORK COMMENCES SHALL BE DEEMED TO BE CAUSED BY THE CONTRACTOR AND THE OWNER'S RESPONSIBILITY TO REPAIR.

SITE KEY NOTES

- S1 STRAIGHT CURB. REFER TO DETAIL ON C-7.0.
- S2 INTEGRAL CURB AND SIDEWALK. REFER TO DETAIL ON C-7.0.
- S4 CURB CUT. SEE NOTE FOR LENGTH. REFER TO DETAIL ON C-7.0.
- S6 TAPER CURB FROM 6" TO 0" OVER 10'.
- S7 LIMITS OF SAWCUT.
- S8 MATCH EXISTING PAVEMENT ELEVATION.
- S9 EXISTING PAVEMENT TO REMAIN.
- S10 STANDARD DUTY ASPHALT/CONCRETE PAVING (PER PAVING PLAN)
- S11 HEAVY DUTY ASPHALT/CONCRETE PAVING (PER PAVING PLAN)
- S13 CONCRETE SIDEWALK. REFER TO DETAIL ON C-7.0.
- S14 BLACK "COLOR TOP" CONCRETE SEALER BY SHERWIN WILLIAMS.
- S15 ADA CURB RAMP. REFER TO DETAIL ON C-7.0.
- S16 DETECTABLE WARNINGS PER ADA REQUIREMENTS
- S17 MONUMENT SIGN (PER ARCH. PLANS)
- S18 DUMPSTER ENCLOSURE (PER ARCH. PLANS)
- S19 BICYCLE RACK. REFER TO NOTE FOR NUMBER. REFER TO DETAIL ON C-7.0.
- S20 CONDENSING UNIT. REFER TO MECHANICAL PLANS
- S21 CONCRETE WHEEL STOPS (SEE NOTE FOR NUMBER)
- S23 ADA ACCESSIBLE PARKING SPACE AND AISLE STRIPING & SYMBOL OF ACCESSIBILITY (TYPICAL-PER ADA AND LOCAL REQUIREMENTS). REFER TO DETAIL ON C-7.0.
- S24 ACCESSIBLE PARKING SIGN (TYPICAL PER ADA AND LOCAL REQUIREMENTS)
- VAN ACCESSIBLE PARKING SIGN (TYPICAL-PER ADA AND LOCAL REQUIREMENTS). REFER TO DETAIL ON C-7.0.
- S26 DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES) REFER TO DETAIL ON C-7.0.
- S28 PARKING STALL STRIPING (PER LOCAL CODES)
- S31 PEDESTRIAN CROSSWALK STRIPING. (PER LOCAL CODES) REFER TO DETAIL ON C-7.0.
- S32 PEDESTRIAN CROSSING SIGN. PER LOCAL CODES.
- S35 TRANSFORMER PAD LOCATION (SEE UTILITY PLAN)
- S37 LIGHT POLE (TYPICAL-PER LIGHTING PLAN)
- S38 LANDSCAPE AREA (PER LANDSCAPE PLAN)
- S39 LANDSCAPE ISLAND (PER LANDSCAPE PLAN)
- S65 POINT OF RELOCATION.
- S66 CONSTRUCTION CAMERA POST PER STD C-7.0.
- S67 GENERAL CONTRACTOR TO PROVIDE CONDUIT FOR BELL RINGER. CONDUIT TO BE INSTALLED UNDER CONCRETE SIDEWALK, ADJACENT TO BUILDING, AND STUB OUT OF CONCRETE CURB. REFER TO ARCHITECTURAL PLAN, DETAIL 3/A2.1, FOR ADDITIONAL INFORMATION.
- S68 DEPRESSIONED CURB AND GUTTER. REFER TO DETAIL ON C-7.0.
- S69 FLUSH CURB. REFER TO DETAIL ON C-7.1.
- S70 BIOFILTRATION BASIN. REFER TO DETAIL ON C-7.2.
- S71 DRAINAGE SWALE WITH A MINIMUM 1.00% SLOPE. REFER TO GRADING PLAN ON C-3.0.
- S72 EXPOSED BACK OF CURB.

STATEMENT OF USE		
BUSINESS TYPE	AUTO SERVICE	
NUMBER OF EMPLOYEES PER SHIFT	7	



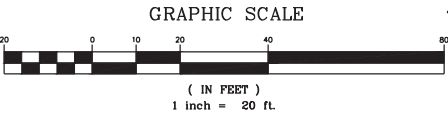
EXISTING LEGEND:

- IRON MONUMENT FOUND
- STREET LIGHT
- POWER POLE
- HANDHOLE
- SANITARY MANHOLE
- MANHOLE (USE NOT DETERMINED)
- CATCH BASIN
- SIGN
- FIRE HYDRANT
- WATER VALVE
- EVERGREEN TREE
- SAN- SANITARY SEWER
- T- STORM SEWER
- OHE- UNDERGROUND COMMUNICATIONS
- E- OVERHEAD ELECTRIC
- W- UNDERGROUND ELECTRIC
- GAS- WATER MAIN
- GAS- GAS MAIN

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB
- PROPOSED CURB & GUTTER
- PROPOSED SITE LIGHT, SEE PHOTOMETRIC PLAN
- PROPOSED DRAINAGE STRUCTURES (SEE GRADING/DRAINAGE PLANS)
- PROPOSED PARKING SPACES
- PROPOSED SAW CUT
- PROPOSED SITE CONSTRUCTION CAMERA PER STD C-7.0
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED CONCRETE SIDEWALK PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED BLACK "COLOR TOP" CONCRETE SEALER BY SHERWIN WILLIAMS.

SITE DATA SUMMARY:	
VALVOLINE TRACT: (AFTER ROW DEDICATION)	1.27 ACRES/ 55,441 SF
ZONING	B-1 HIGHWAY BUSINESS DISTRICT
BUILDING	2,080 SF
FAR:	1:26.7
LOT COVERAGE:	0.04 (2,080 SF)
PARKING REQUIRED:	8 (1 ACCESS. PARKING SPACES)
PARKING PROVIDED:	11 (1 ACCESS. PARKING SPACES)
PERVIOUS COVER:	30,066 SF
IMPERVIOUS COVER:	25,375 SF
REQUIRED BICYCLE PARKING	N/A
PROVIDED BICYCLE PARKING	2



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DATE	ISSUE
05/18/2023	OWNER REVIEW SET
06/01/2023	PERMIT SET
06/23/2023	PERMIT SET

PROFESSIONAL SEAL

PROFESSIONAL LICENSE NO:
42586

PROFESSIONAL IN CHARGE
JEFFREY A. TIBBITTS

PROJECT MANAGER
MAY

QUALITY CONTROL
RAP

DRAWN BY
RMA

PROJECT NAME



**VALVOLINE
INSTANT
OIL CHANGE**

WACONIA, MN

PROJECT NUMBER
761569

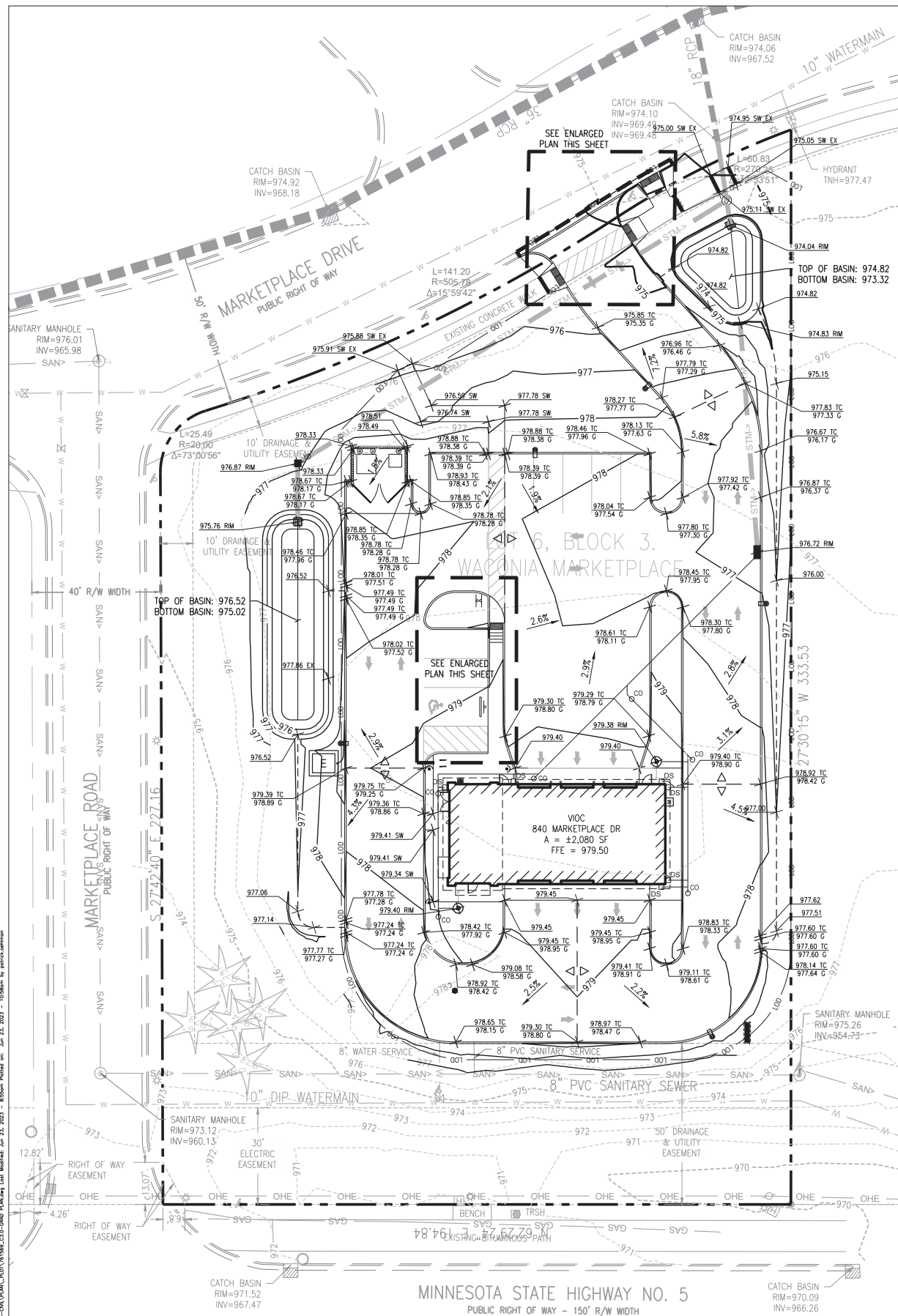
SHEET NAME

SITE PLAN

SHEET #

C-1.0







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CALL BEFORE YOU DIG!
Minnesota's One-Call Center
CALL 811 or (800) 282-1166
(651) 454-0002

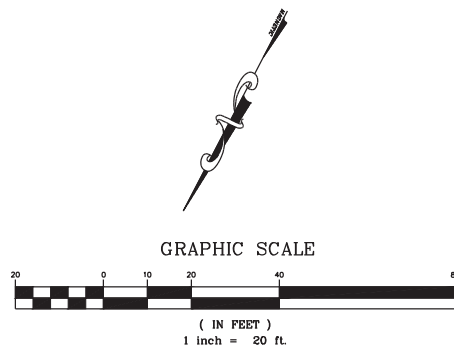


GOPHER STATE ONE CALL

GENERAL GRADING/DRAINAGE NOTES:

- ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
- ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RESPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
- STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE ISLANDS.
- PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAID COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
- THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
- CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
- ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III, UNLESS OTHERWISE SPECIFIED ON PLANS.
- A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL AN ALL SLOPES GREATER THAN 3H:1V.
- DRAINAGE STRUCTURES AND DETENTION POND SHALL BE MAINTAINED BY PROPERTY OWNERS.
- CONTRACTOR SHALL ADHERE TO PROPOSED GRADES ALONG CREEKS, ESPECIALLY IN THE AREA OF THE PROPOSED DETENTION POND. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PENALTIES INCURRED.
- ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
- LOWER-LEVEL EXCAVATION REQUIRED TO BE COMPLETED BY CONTRACTOR.
- ALL SITE PREPARATION SHALL BE THE RESPONSIBILITY OF THE LANDLORD PER WORK LETTER REQUIREMENTS.

FINISHED FLOOR ELEVATION (FFE): 979.25'
LOWER-LEVEL FINISH FLOOR ELEVATION (BASEMENT): 970.375'

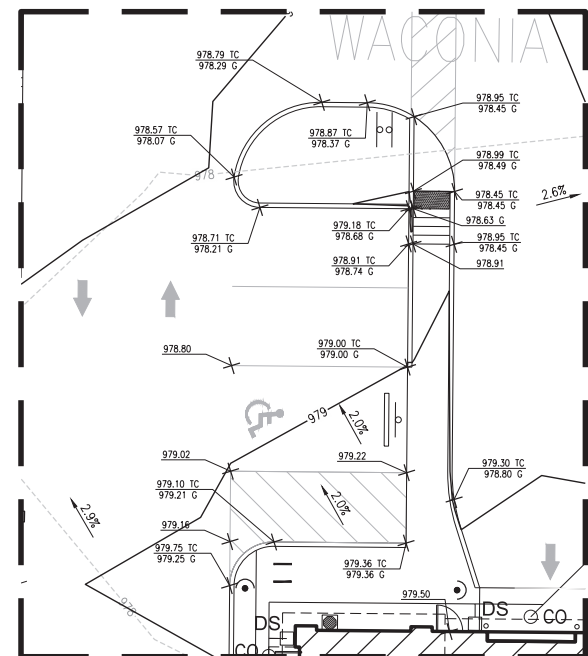


EXISTING LEGEND:

- IRON MONUMENT FOUND
- STREET LIGHT
- POWER POLE
- HANDHOLE
- SANITARY MANHOLE
- MANHOLE (USE NOT DETERMINED)
- CATCH BASIN
- SIGN
- FIRE HYDRANT
- WATER VALVE
- EVERGREEN TREE
- SAN>
- T
- OHE
- E
- W
- GAS

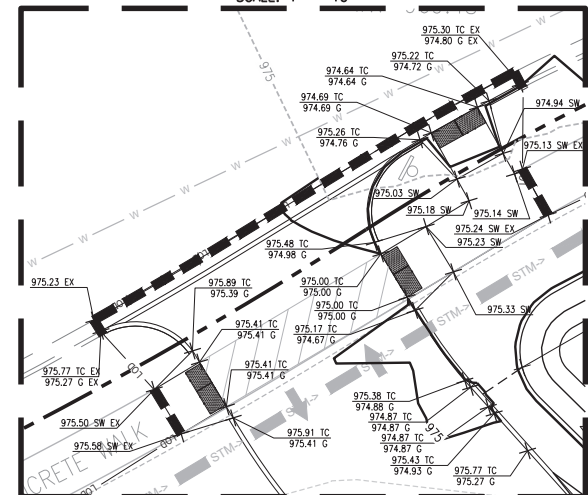
PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED CURB
- PROPOSED CONTOUR
- PROPOSED STORM SEWER PIPE
- DRAINAGE SLOPE AND DIRECTION
- XXXX SW
- XXXX RIM
- XXXX EX
- XXXX TC
- XXXX G



ENLARGED PLAN: ADA PARKING & PATH

SCALE: 1" = 10'



ENLARGED PLAN: SITE ENTRANCE & PATH

SCALE: 1" = 10'



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JEFFREY A. TIBBITTSPROJECT MANAGER
MAYQUALITY CONTROL
RAPDRAWN BY
RMA

PROJECT NAME



VALVOLINE
INSTANT
OIL CHANGE

WACONIA, MN

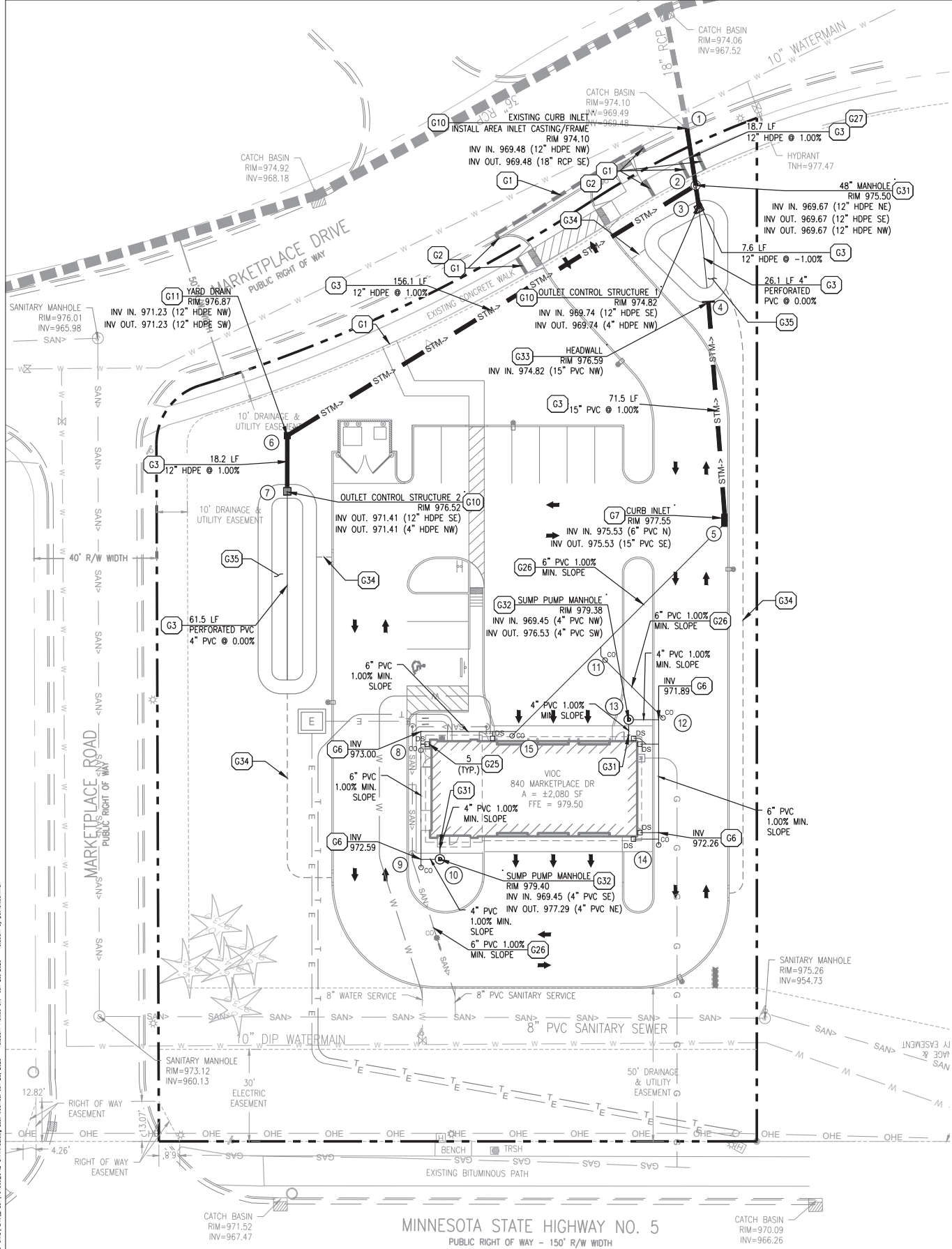
PROJECT NUMBER
761569

SHEET NAME

GRADING
PLAN

SHEET #

C-3.0



STORM SEWER STRUCTURE SCHEDULE				
NO.	STRUCTURE	RIM	INVERT	
1	EXISTING CURB INLET INSTALL AREA INLET CASTING/FRAME	974.10	969.48 (12") NW	969.48 (18") SE
2	48" MANHOLE	975.50	969.67 (12") NE	969.67 (12") SE 969.67 (12") NW
3	OUTLET CONTROL STRUCTURE 1	974.82	969.74 (12") SE	969.74 (4") NW
4	HEADWALL	976.59	974.82 (15") NW	
5	CURB INLET	977.55	975.53 (6") N	975.53 (15") SE
6	YARD DRAIN	976.87	971.23 (12") NW	971.23 (12") SW
7	OUTLET CONTROL STRUCTURE 2	976.52	971.41 (12") SE	971.41 (4") NW
8	6" CO	979.46	976.88 (6") SE	976.88 (6") NW
9	6" CO	978.98	975.35 (6") SE	
10	SUMP PUMP MANHOLE	979.40	969.45 (4") SE	977.29 (4") NE
11	6" CO	978.61	976.16 (6") W	976.16 (6") E
12	6" CO	978.73	975.20 (6") E	
13	SUMP PUMP MANHOLE	979.38	969.45 (4") NW	976.53 (4") SW
14	6" CO	978.80	975.27 (6") SE	
15	6" CO	979.47	975.90 (6") S	

EXISTING LEGEND:

- IRON MONUMENT FOUND
- STREET LIGHT
- POWER POLE
- HANDHOLE
- SANITARY MANHOLE
- MANHOLE (USE NOT DETERMINED)
- CATCH BASIN
- SIGN
- FIRE HYDRANT
- WATER VALVE
- EVERGREEN TREE
- SAN> SANITARY SEWER
- STM> STORM SEWER
- T UNDERGROUND COMMUNICATIONS
- OHE OVERHEAD ELECTRIC
- E UNDERGROUND ELECTRIC
- W WATER MAIN
- GAS GAS MAIN

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED CONTOUR
- PROPOSED STORM PIPE
- DRAINAGE SLOPE AND DIRECTION

GRADING KEY NOTES

- G1 MATCH EXISTING PAVEMENT ELEVATION.
- G2 LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- G3 STORM SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- G6 STORM SEWER CLEAN-OUT. REFER TO DETAIL ON C-7.1.
- G7 CURB INLET. REFER TO DETAIL ON C-7.1.
- G10 GRATE INLET. SEE NOTE FOR GRATE TYPE. REFER TO DETAIL ON C-7.1.
- G11 AREA INLET. REFER TO DETAIL ON C-7.1.
- G25 DOWN SPOUTS - PER ARCH. PLANS (SEE NOTE FOR NUMBER AND SIZE)
- G26 CONNECT DOWN SPOUTS UNDERGROUND TO STORM PIPE (SEE NOTE FOR NUMBER AND SIZE). REFER TO DETAIL ON C-7.1.
- G27 CONNECT TO EXISTING STORM STUB-OUT. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- G30 CURB CUT. REFER TO DETAIL ON S4 C-7.0
- G31 REFER TO PLUMBING PLAN FOR FOUNDATION DRAIN DESIGN
- G32 REFER TO PLUMBING PLAN FOR SUMP PUMP DESIGN
- G33 CATCH BASIN WITH CLOSED GRATE TOP. REFER TO DETAIL ON C-7.1.
- G34 DRAINAGE SWALE WITH A MINIMUM 1.00% SLOPE. REFER TO GRADING PLAN ON C-3.0.
- G35 BIOFILTRATION BASIN. REFER TO DETAIL ON C-7.2.

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JEFFREY A. TIBBITTS

PROJECT MANAGER
MAY

QUALITY CONTROL
RAP

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RMA

PROJECT NAME

VALVOLINE
INSTANT OIL CHANGE
WACONIA, MN

PROJECT NUMBER
761569

SHEET NAME

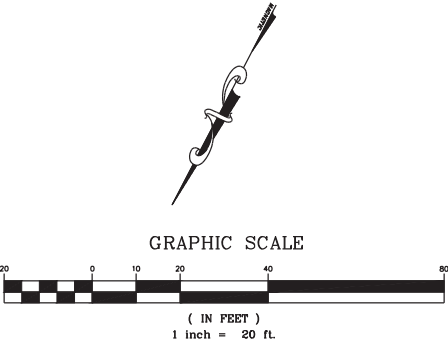
DRAINAGE PLAN

SHEET #

C-4.2

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CALL BEFORE YOU DIG!
Minnesota's One-Call Center
CALL 811 or (800) 252-1166
(651) 454-0002

GOPHER STATE ONE CALL



SANITARY SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	RIM	INVERT
A	6" CO	979.41	974.45 (6") NE 974.45 (6") NW
B	6" CO	979.58	974.20 (6") SW 974.20 (6") NW
C	6" CO	978.96	973.77 (6") SE 973.77 (6") NW
D	6" CO	978.35	973.47 (6") SE 973.47 (6") NW
E	6" TO 8" REDUCER	978.32	973.43 (6") SE 973.43 (6") NW

1. CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
2. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE (SEE DEMOLITION PLAN). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
3. AUTHORIZATION MUST BE OBTAINED FROM THE PROPER AUTHORITY TO CONSTRUCT, ALTER OR MODIFY WATER OR SEWER LINE. CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE WILL BE AUTHORIZED BY THE WATER SYSTEM UPON:
 - APPROVAL OF SUBMITTED PLANS.
 - NOTIFICATION OF THE WATER SYSTEM AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.
4. AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAT, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
5. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
6. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
8. CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
9. COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
10. ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
11. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
12. COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
13. ALL WATER LINES SHALL HAVE AT LEAST SIX (6) FEET ABOVE GROUND COVER FROM THE TOP OF THE PIPE TO THE FINISHED GROUND SURFACE.
14. ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K-COPPER.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES.
16. TRACER WIRE SHALL BE INSTALLED WITH THE WATER UTILITY SERVICE.
17. CITY INSPECTION IS REQUIRED DURING THE UTILITY INSTALLATIONS. NOTIFICATION IS REQUIRED 48-HOURS IN ADVANCE OF UTILITY INSTALLATION WORK. PUBLIC SERVICES OFFICE PHONE NUMBER IS 952-442-2615.

UTILITY KEY NOTES

U1 SANITARY SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)

U2 SANITARY SEWER POINT OF ENTRY (PER MEP PLANS)

U3 SANITARY SEWER POINT OF CONNECTION

U5 SANITARY SEWER CLEAN-OUT. REFER TO DETAIL ON C-7.1.

U9 CONNECT TO EXISTING SANITARY SEWER, MANHOLE STUB-OUT OR CLEAN-OUT. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)

U11 OIL-WATER SEPARATOR (PER MEP/ARCH. PLANS)

U13 DOMESTIC WATER LINE (SEE NOTE FOR TYPE AND SIZE)

U15 DOMESTIC WATER METER (SEE NOTE FOR SIZE). REFER TO PLUMBING PLANS.

U18 IRRIGATION WATER METER (SEE NOTE FOR SIZE). REFER TO PLUMBING PLANS.

U18 EXISTING FIRE HYDRANT

U22 BACKFLOW PREVENTER. REFER TO MEP PLANS.

U26 WATER LINE POINT OF ENTRY (PER MEP PLANS)

U27 WATER LINE POINT OF CONNECTION

U28 CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.

U37 MAINTAIN MIN. 18" VERTICAL SEPARATION

U38 MAINTAIN MIN. 10" HORIZONTAL SEPARATION

U39 LIGHT POLE LOCATIONS (SEE LIGHTING PLAN FOR DETAILS)

U41 EXISTING POWER POLE

U43 PROPOSED ELECTRIC TRANSFORMER

U44 UNDERGROUND ELECTRIC SERVICE

U46 ELECTRIC SERVICE POINT OF ENTRY (PER MEP PLANS)

U47 ELECTRIC SERVICE POINT OF CONNECTION

U48 UNDERGROUND TELEPHONE SERVICE (INSTALL TWO 2" CONDUITS)

U50 TELEPHONE SERVICE POINT OF ENTRY (PER MEP PLANS)

U51 TELEPHONE SERVICE POINT OF CONNECTION

U52 GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR THE INSTALLATION OF THE GAS SERVICE LINE.

U53 GAS METER

U55 GAS LINE POINT OF ENTRY (PER MEP PLANS)

U56 GAS LINE POINT OF CONNECTION

U59 UTILITIES TO BE BURIED IN THE SAME TRENCH.

U60 CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

U66 ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS. NO OTHER UTILITIES ALLOWED IN ELECTRIC DITCH. CONTRACTOR SHALL INSTALL TWO (2) - 4" SECONDARY CONDUITS FROM THE TRANSFORMER TO THE BUILDING. (SEE MEP PLANS).

U68 TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.

U69 6" TO 8" REDUCER.

U70 AN 8" WATER SERVICE IS PROVIDED TO THE SITE, BUT ONLY A 1" SERVICE IS NEEDED. THE EXISTING 8" SERVICE AND VALVE SHOULD BE REMOVED TO THE MAIN, AND A 1" CORPORATION AND CURB STOP SHOULD BE INSTALLED OFF THE 10" MAIN ON THE NORTH SIDE OF THE SITE. THIS MAY BE COMPLETED WITH A BLIND MJ FLANGE WITH A 1" THREADED PENETRATION.

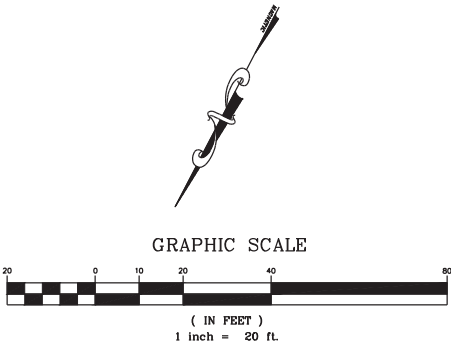
EXISTING LEGEND:

	IRON MONUMENT FOUND
	STREET LIGHT
	POWER POLE
	HANDHOLE
	SANITARY MANHOLE
	MANHOLE (USE NOT DETERMINED)
	CATCH BASIN
	SIGN
	FIRE HYDRANT
	WATER VALVE
	EVERGREEN TREE

	SANITARY SEWER
	STORM SEWER
	UNDERGROUND COMMUNICATIONS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	WATER MAIN
	GAS MAIN

PROPOSED LEGEND:

	PROPERTY LINE
	PROPOSED CURB & GUTTER
	PROPOSED CURB
	PROPOSED EASEMENT LINE
G	GAS LINES
T	TELEPHONE LINES
SAN	SANITARY SEWER LINES
W	WATER LINES
E	ELECTRIC LINES
G	CLEAN OUT
(D)	PROPOSED STRUCTURES (SEE GRADING/DRAINAGE PLANS)
(Q)	
	WATER METER
	IRRIGATION METER
	RPZ/BFP
	WATER VALVE
	SEWER MANHOLE
	LIGHT POLES



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PROJECT NAME



**VALVOLINE
INSTANT
OIL CHANGE**

WACONIA, MN

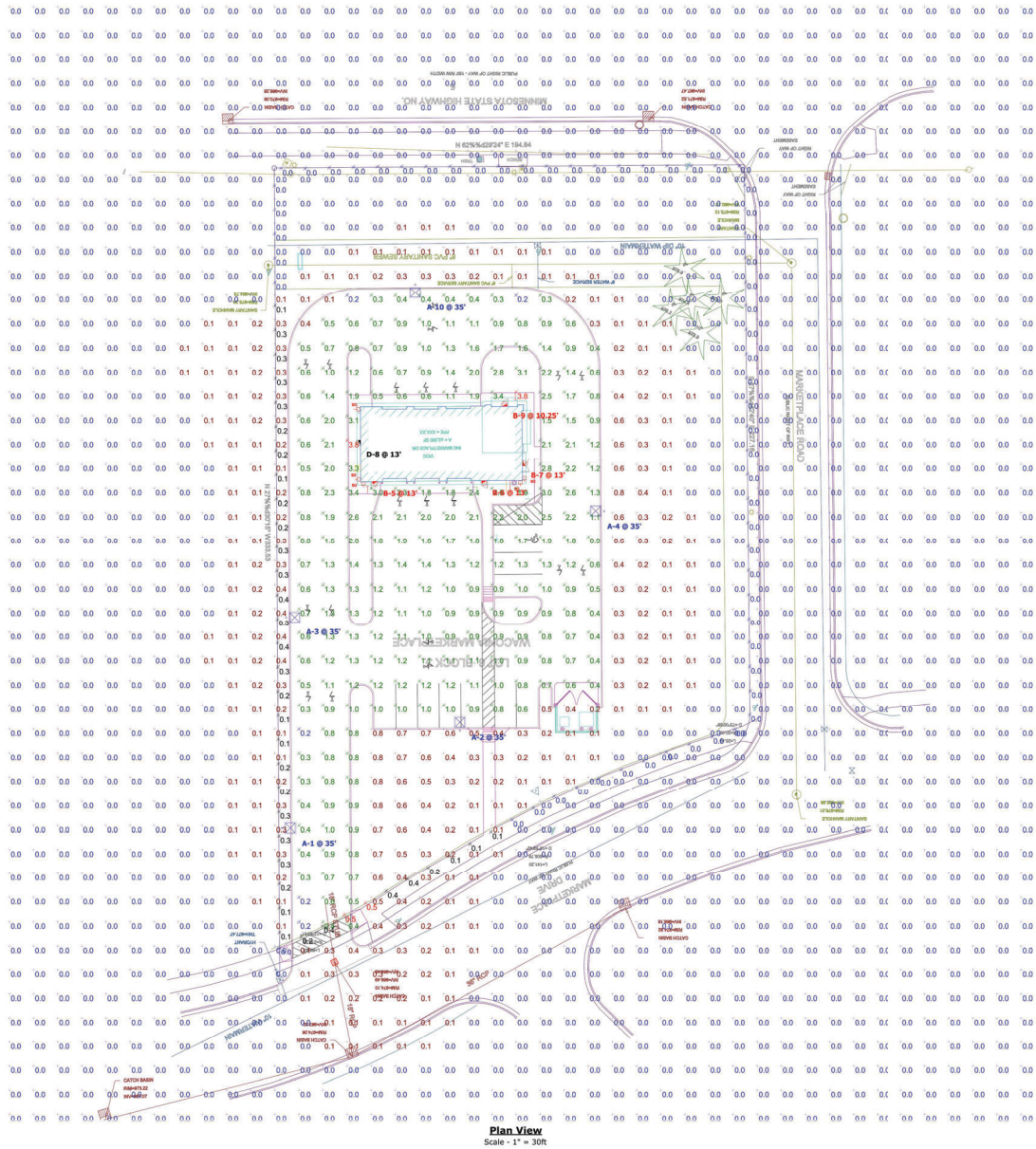
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SHEET NAME

UTILITY PLAN

SHEET #

C-6.0

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This application design is not a professional engineering drawing and the design, including reported data and calculated results, is provided for informational purposes only, without any warranty as to accuracy, completeness, safety or otherwise. The design is the result of calculations made using Visual lighting application software, photometric/radiometric data measured in a laboratory, and certain computational and modeling assumptions.

Far-field photometric/radiometric data may have been used to perform one or more calculations. Photometric/radiometric data is typically collected under far-field measurement conditions; far-field data is generally not representative of near-field geometric conditions. When using the far-field photometric/radiometric data, the Visual software applies certain generalizing assumptions to approximate near-field performance. These assumptions may result in significant inaccuracies in individual calculated luminous and/or radiant power quantities in areas where a source is in close proximity to a particular surface or point.

The modeling of radiant flux exchange used in the Visual software requires a uniform exitance across each reflecting surface. The Visual software approximates the uniform surface exitance condition by adaptively subdividing surfaces with non-uniform exitance into subsurfaces with sufficiently uniform exitance gradient. Practical restrictions, due to computer hardware limitations, may prevent the subdivision procedure from subdividing surfaces with high exitance gradients into subsurfaces with sufficiently uniform exitance gradients, introducing potential discretization error into the calculated values.

Calculations performed by Visual software assume that all reflected flux is reflected in a perfectly diffuse (Lambertian) and spectrally uniform manner across the spectral range being analyzed. If actual reflectance characteristics differ from these assumptions, observed luminous and/or radiant power quantities may differ from the predicted quantities.

As a result of the computational limitations and simplifying modeling assumptions described above, and/or variations in actual product performance from tested product samples, the accuracy of calculated output values identifying expected radiometric quantities and any resulting derived radiation dose calculation may be adversely affected. In addition, the accuracy of the application design may be adversely affected if information about the physical space provided to Acuity Brands Lighting is incomplete, inaccurate, outdated or not in the required format (including but not limited to floor plans, space layout, reflected ceiling plans, physical structures, electrical design or specifications) if incorrect assumptions are made because of because such are not appropriate for the space. Furthermore, actual actual field performance may differ from performance calculated using laboratory measurement as a result of miscalculations related to deficiencies in the information provided about the physical space, degradation factors in the end-user environment (including, but not limited to, voltage variation and dirt accumulation), or other possible variations in field conditions. Finally, lamp lumen depreciation and/or depreciation in lamp radiant intensity may result in performance over time that differs performance calculated using a new lamp. Light loss factors may have been used in the application design to estimate such depreciation, but flaws in these estimates may also result in performance over time that differ from the calculated performance.

It is the obligation of the end-user to consult with appropriately qualified Professional Engineer (s) to determine whether this application design meets the applicable requirements for performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this design.

**RSX1 LED**
Area Luminaire

**Specifications**
Size: 6.57 ft (2.00 m)
Length: 21.87 ft (6.66 m)
Width: 13.12 ft (4.00 m)
Height: 3.57 ft (1.09 m)
Weight: 25.8 lbs (11.7 kg)

Introduction
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 17,000 lumens allowing it to replace 70W to 800W HPS luminaires.
The RSX1 features an integral universal mounting mechanism that allows the luminaire to be mounted on mounting/diffuser hole patterns. This "no-drill" installation requires significant labor savings. An easy access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A metal arm adapter and an adjustable integral slip-fitter are also available.

Ordering Information

Order	Part Number	Part Description	Part Number	Part Description
RSX1-01	01	01	01	01

**D-Series Size 1**
LED Wall Luminaire

**Specifications**
Width: 13.12 ft (4.00 m)
Height: 3.57 ft (1.09 m)
Weight: 25.8 lbs (11.7 kg)

Introduction
The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 100,000 hours of average over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

Order	Part Number	Part Description	Part Number	Part Description
DSW1-01	01	01	01	01

Note

- Readings shown are based on a total LLF of as shown at grade. Property line readings are taken at 1' a/g. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
- Please refer to the "luminaire locations" table for mounting heights.
- Product information can be obtained at www.AcuityBrands.com

Luminaire Locations						
Location						
No.	Label	X	Y	Z	MH	Tilt
1	A	-54.05	-116.05	35.00	0.00	
2	A	19.75	-75.75	35.00	0.00	
3	A	-52.25	-28.50	35.00	0.00	
4	A	79.50	15.75	35.00	0.00	
5	B	-15.60	37.35	13.00	0.00	
6	B	29.75	27.50	13.00	0.00	
7	B	-46.25	35.25	13.00	0.00	
8	D	-21.25	44.00	13.00	0.00	
9	B	38.25	59.50	10.25	0.00	
10	A	1.25	109.75	35.00	0.00	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING & DRIVEWAY	X	1.2 fc	3.8 fc	0.2 fc	19.0:1	6.0:1
PROPERTY LINE @ 1' FPG	X	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
SITE CALCULATIONS	+	0.2 fc	3.8 fc	0.0 fc	N/A	N/A

Schedule								
Symbol	Label	QTY	Manufacturer	Calculation	Description	Filename	Number Lamps	Lamp Output
	A	5	Lithonia Lighting	RSX1 LED P1 40K R4 HS	RSX1 LED Area Luminaire Size 1 P1 Lumen Package 4000K CCT Type R4 Distribution with HS shield	RSX1_LED_P1_40K_R4_HS.ies	1	4725
	B	4	Lithonia Lighting	DSXW1 LED 10C 1000 40K TFTM MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T25 OPTIC, 4000K, @ 1000mA	DSXW1_LED_10C_1000_40K_TFTM_MVOLT.ies	1	3945
	D	1	Lithonia Lighting	DSXW1 LED 10C 1000 40K T25 MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T25 OPTIC, 4000K, @ 1000mA	DSXW1_LED_10C_1000_40K_T25_MVOLT.ies	1	3957

VALVOLINE-WACONIA MN.



Designer
R.A. MCILRATH
Date
5/3/2023
Scale
As Shown
Drawing No.
234015-0-A1
Summary

1 of 1



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RMA

PROJECT NAME



VALVOLINE
INSTANT
OIL CHANGE

WACONIA, MN

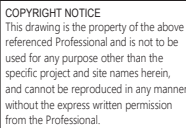
PROJECT NUMBER
761569

SHEET NAME

PHOTOMETRIC
PLAN

SHEET #

C-8.0



DATE	ISSUE
05/18/2023	OWNER REVIEW SET

[illegible]

PROFESSIONAL SEARCH

1. EIFS SHALL BE DRYVIT, CLASS PB DRAINAGE SYSTEM WITH FLUID APPLIED WATER RESISTIVE BARRIER BEHIND INSULATION BOARD.
2. SIGNAGE SHOWN ON THESE ELEVATIONS IS FOR GENERAL REFERENCE PURPOSES ONLY. ALL SIGNAGE SHALL BE APPLIED FOR & PERMITTED UNDER A SEPARATE SIGNAGE SUBMITTAL.
3. G.C. SHALL PROVIDE BLOCKING IN STUD WALL BEHIND EACH SIGN AS REQUIRED BY SIGN VENDOR - FIELD VERIFY REQUIREMENTS W/ VENDOR & OWNER'S REPRESENTATIVE.
4. ALL FLASHING, RIDGE CAPS, DRIP EDGE ETC. SHALL MATCH GUTTER & DOWNSPOUT MANUFACTURER'S STANDARD DETAILS. PROVIDE VENTED RIDGE CAP WHERE SHOWN.
5. EXHAUST FAN, VTRS & SIMILAR ITEMS ON ROOF SHALL BE PAINTED - SEE EXTERIOR FINISHES.
6. ALL MASONRY WITH CORNER EXPOSURES TO HAVE SAME PROFILE AS FACE OF THE STANDARD MASONRY PRODUCT. NO CUT SURFACE ARE TO BE EXPOSED
7. ALL EXTERIOR SECURITY CAMERAS SHALL BE INSTALLED OVER ELECTRICAL BOXES RECESSED FLUSH WITH THE EXTERIOR WALL FINISH - REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.

EXTERIOR INSULATED FINISH SYSTEM:	DRYYIT (SANDPEBBLE FINE) COLOR: E.I.F.S. 1 = #113 AMARILLO WHITE
BRICK WAINSCOT: (GRADE TO PRECAST SILL)	BELDEN - "MODULAR MIDLAND BLEND"
FACE BRICK (ABOVE WAINSCOT):	BELDEN - "MODULAR HAMILTON BLEND"
BRICK SOLDIER COURSE:	BELDEN - "MODULAR HAMILTON BLEND"
PRECAST SILL:	CUSTOM CAST STONE - "LIGHT BUFF" (REFER TO SILL PROFILE)
MORTAR:	LEHIGH STANDARD KIT - "BEIGE"
MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED W/SEALER REFER TO SPECIFICATIONS.
STANDING SEAM AWNING:	FIRESTONE UNA-CLAD KYNAR 4000 / HYLAR METAL 5000 FLUOROCARBON STEEL "CHAMPAGNE METALLIC" UNDERSIDE & FRAME TO BE PAINTED SW6152 "SUPERIOR BRONZE"
ROOF SHINGLES:	OWENS CORNING DURATION SERIES "DRIFTWOOD"
MISC. ROOF VENTS, FANS, ETC.:	PAINT SW7046 "ANONYMOUS"
GUTTER, DOWNSPOUTS, FASCIA, EXTERIOR SOFFIT, & EXPOSED TRIM:	BERRIDGE - "SIERRA TAN"
STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/1" INSULATED GLAZING.
H.M. DOORS & FRAMES:	FIELD PAINT W/ SHERWIN-WILLIAMS B66-1300 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE SW-7515 "HOMESTEAD BROWN". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER
O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM
ACCESS PANEL:	STAINLESS STEEL

NUMBER	DESCRIPTION	SIZE	ILLUMINATED	QUANTITY
600	LOGO SIGN	7'-8" x 5'-11" (45 SF)	INTERNALLY	3
	PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR			
601	LANE INDICATOR SIGN	10'-0" x 1'-0" (10 SF)	NO	3
	PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR			
602	OPEN SIGN	2'-7 1/2" x 11 1/2" (2.52 SF)	INTERNALLY	2
	PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR			
603	MONUMENT SIGN	REFER TO SHEET A-11.1	INTERNALLY	1
	PER LOCAL AND DEVELOPMENTAL RESTRICTIONS			

MATERIAL CALCULATIONS		
BRICK	537 SF	51%
AWNINGS	36 SF	3%
GLAZING	466 SF	44%
EIF	22 SF	2%
TOTAL	1061 SF	100%

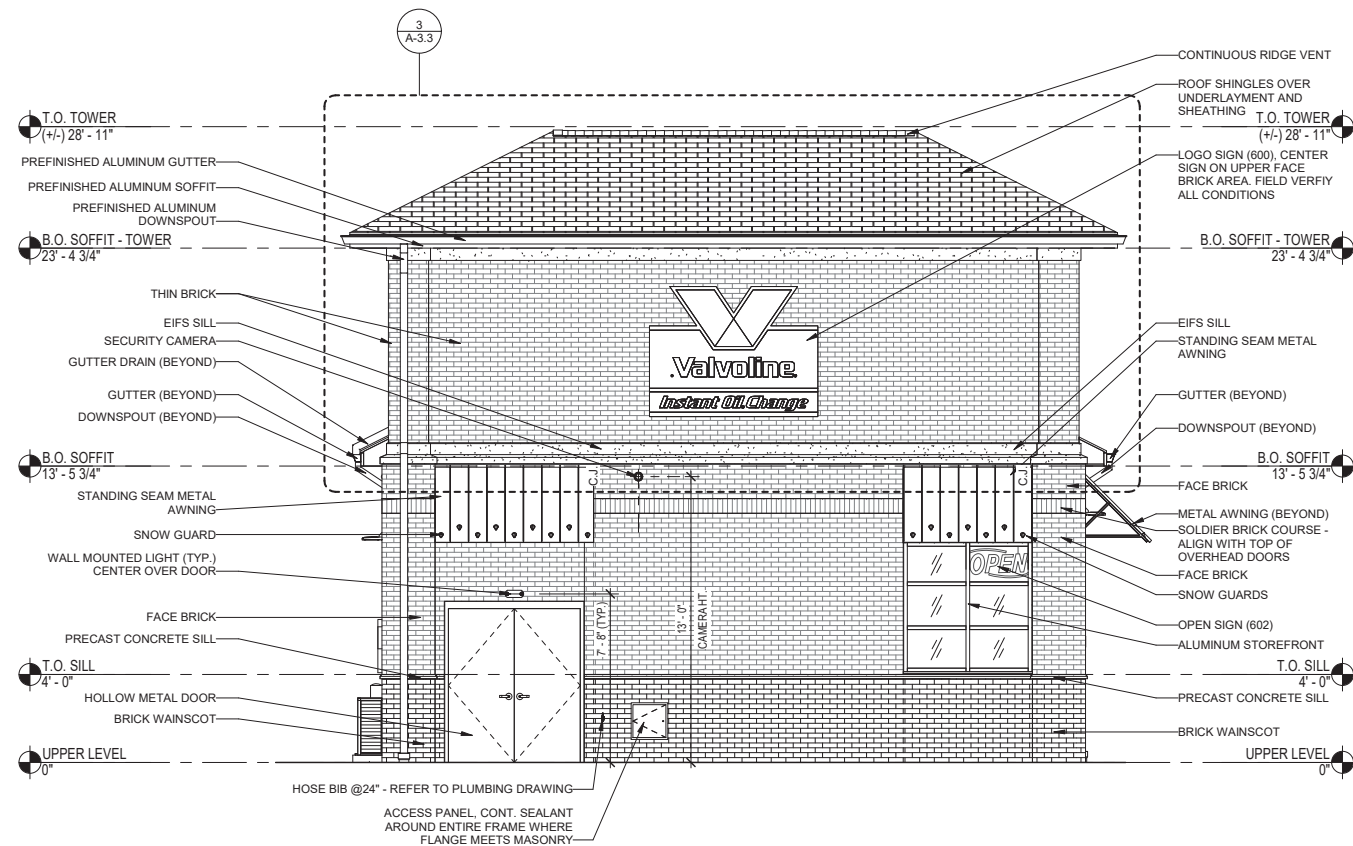
PROJECT NUMBER
762569-01

SHEET NAME

EXTERIOR
ELEVATIONS

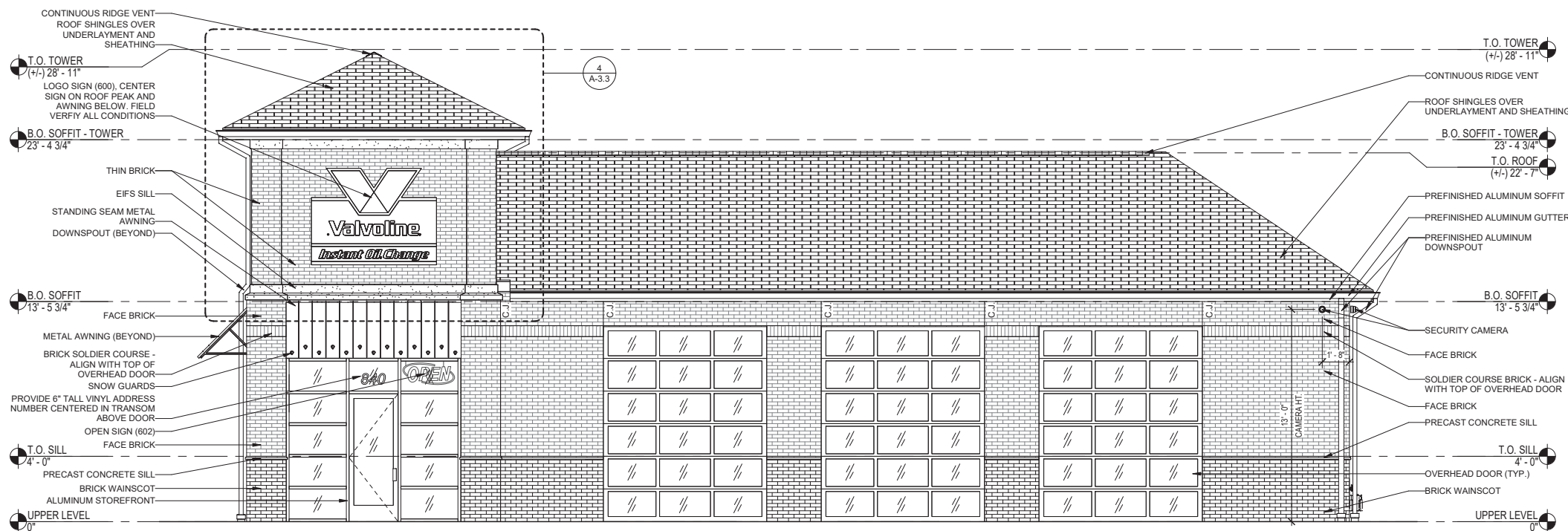
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A-3.1

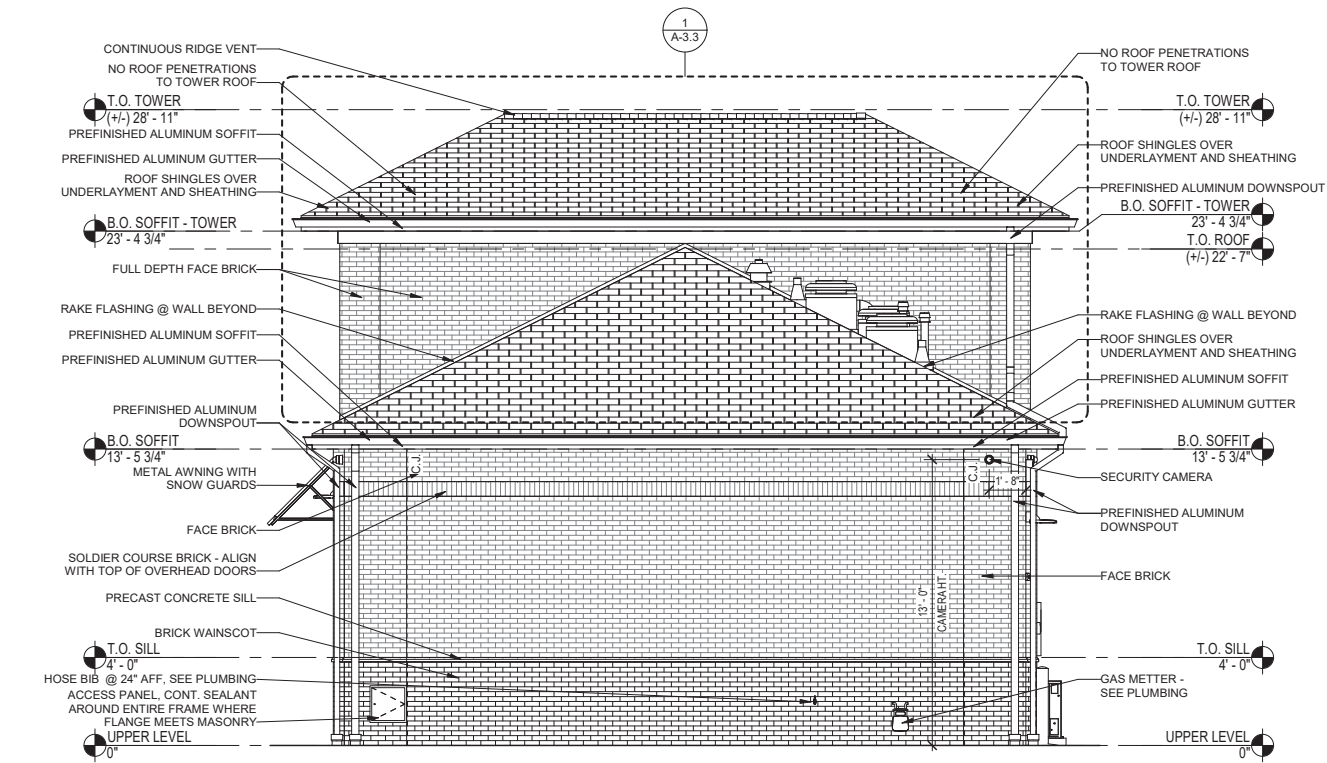


MATERIAL CALCULATIONS		
BRICK	586 SF	77%
AWNINGS	44 SF	6%
GLAZING	35 SF	5%
DOORS	48 SF	6%
EIF	64 SF	6%
TOTAL	741 SF	100%

2 EXTERIOR ELEVATION (OVERALL RIGHT)
A-3.1 Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION (OVERALL FRONT)
A-3.1 Scale: 1/4" = 1'-0"

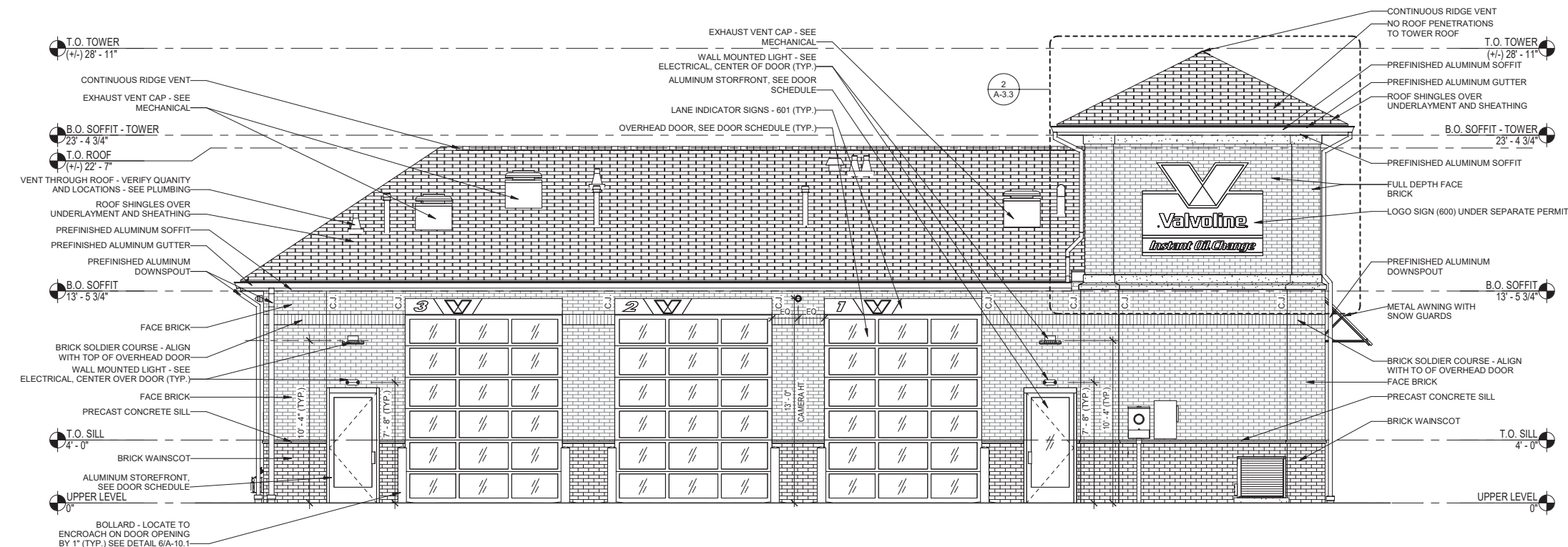


MATERIAL CALCULATIONS			
BRICK	541 SF	97%	
EIF	18 SF	3%	
TOTAL	741 SF	100%	

2
A-3.2

EXTERIOR ELEVATION (OVERALL LEFT)

Scale: 1/4" = 1'-0"



ELEVATION NOTES

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EXTERIOR FINISHES

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ACCESS PANEL:	STAINLESS STEEL

SIGNAGE SCHEDULE

NUMBER	DESCRIPTION	SIZE	ILLUMINATED	QUANTITY
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PROVIDED BY OWNER, INSTALLED BY SIGN CONTRACTOR				
603	MONUMENT SIGN	REFER TO SHEET A-11.1	INTERNALLY	1
PER LOCAL AND DEVELOPMENTAL RESTRICTIONS				

MATERIAL CALCULATIONS			
BRICK	602 SF	57%	
GLAZING	437 SF	41%	
EIF	22 SF	2%	
TOTAL	1061 SF	100%	



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DATE	ISSUE
05/18/2023	OWNER REVIEW SET

PROFESSIONAL SEAL

PROFESSIONAL LICENSE NO.:

CERTIFICATE OF AUTHORIZATION NO.:

PROFESSIONAL IN CHARGE
BEN BELL
PROJECT MANAGER
ARW
QUALITY CONTROL
GB
DRAWN BY
RLD
PROJECT NAME



PROJECT NUMBER
762569-01

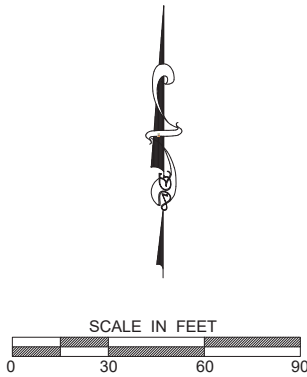
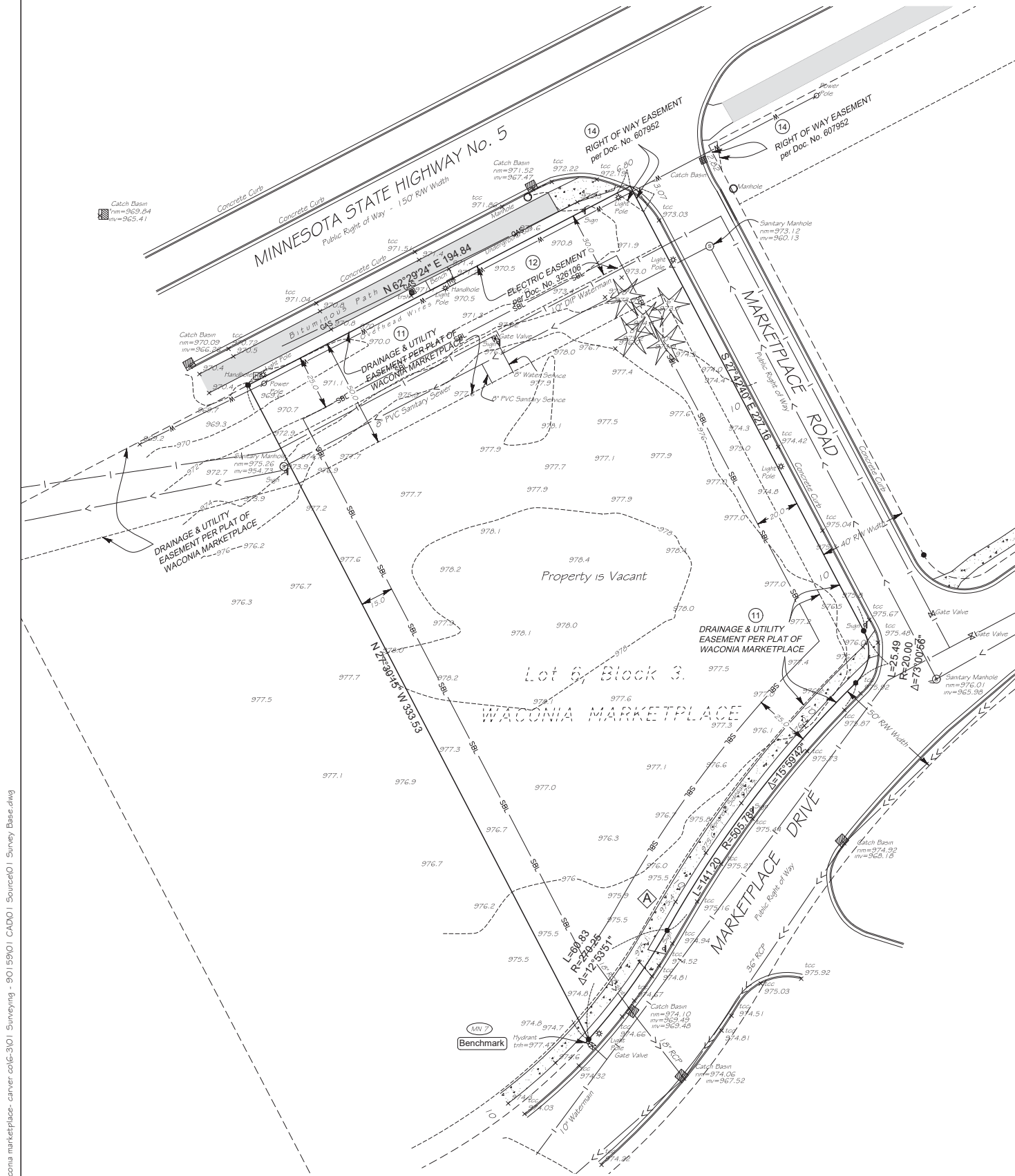
SHEET NAME

EXTERIOR
ELEVATIONS

SHEET #

A-3.2

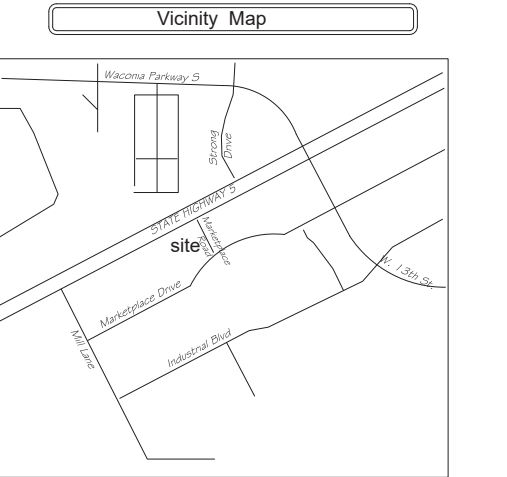
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40



Current Zoning Information			
Source of Information: Report from National Due Diligence Services			
City Address: 201 South Vine Street, Waconia, MN 55387			
City Phone: 952-442-2184			
Subject Property Address: 840 Marketplace Drive, Waconia, MN 55387			
Zoning District(s): B-1			
Zoning Definition: B-1 Highway Business District			
Building Setback Requirements for principal structures			
	Observed	Required	Notes
Front Yard Setback	N/A	25 feet	50' setback from arterial streets such as Hwy 5, per §900.06.3.C.1.a, does not apply to the subject property per Ethan Nelson, Assistant Planner;
Side Yard Setback	N/A	15 feet	
Rear Yard Setback	N/A	20 feet	
Corner Yard Setback	N/A	20 feet	
Parking Tabulation			
	Observed	Required	Notes
Regular Spaces	N/A	see note	Parking requirements dependent on use of property.
Handicapped Spaces	N/A	see note	
Total Parking Spaces	N/A	see note	
Height Restrictions			
	Observed	Max. Allowed	Notes
Maximum Height	N/A	35 feet	
Bulk Restrictions			
	Observed	Required	Notes
Lot Area	55,442sq. Ft.	17,500 sq.ft	
Max. Hardcover Surface	vacant	80%	
Other:	N/A	N/A	
NOTE: Because there may be a need for further interpretation of the applicable zoning codes, we refer you to the above referenced municipality and the applicable zoning codes.			

Legend	
●	Denotes Found Iron Monument
○	Denotes Iron Monument Set
⊗	Bollard
✱	Light
⚡	Power Pole
⊙	Sanitary Manhole
⦿	Storm Manhole
○	Manhole (use not determined)
■	Catch Basin
Ⓢ	Sign
Ⓢ	Telephone Pedestal Riser
Ⓢ	Communication Pedestal Riser
Ⓢ	Flared End Section
— GAS —	Gas Main
— UT —	Underground Communications
— UE —	Underground Electric
— << —	Sanitary Sewer
— <<< —	Storm Sewer
— I —	Watermain
— W —	Overhead Wires

Statement of Encroachments	
A	Public sidewalk along south property line without benefit of an easement.



ALTANSPPS LAND TITLE SURVEY FOR:

VALVOLINE

100 Valvoline Way
Lexington, KY 40509

Legal Description

Lot 6, Block 3, WACONIA MARKETPLACE,
Carver County, Minnesota.

Note Corresponding to Schedule B, Part II

The following are survey related exceptions set forth in Schedule B, Part II of the herein referenced Title Commitment :

- Item 3 - Observed above ground encroachments as shown hereon. See 'Statement of Encroachments'.
- Item 9 - Easement for highway purposes in favor of the County of Carver contained in Instrument dated April 30, 1978, filed Jan. 18, 1979, as Doc. No. 41149 does not affect property.
- Item 10 - Easement for public utility and sanitary sewer purposes in favor of the City of Waconia, contained in Utility Easement dated Dec. 16, 1996, filed Dec. 30, 1996, as Doc. No. 205260 does not affect property.
- Item 11 - Drainage and utility easements shown on the recorded plat of Waconia Marketplace affect property as shown hereon.
- Item 12 - Easement for the transmission and distribution of electrical energy and related purposes, in favor of Northern States Power Company, d/b/a Xcel Energy contained in Easement dated Sept. 11, 2002, filed Sept. 27, 2002, as Document No. A326106 affects property as shown.
- Item 13 - Property subject to terms, conditions, covenants, obligations and restrictions of and easements contained in Declaration of Easements, Covenants, Conditions and Restrictions Affecting Land dated Aug. 10, 2007, filed Sept. 14, 2007, as Document No. A471610. Amended by First Amendment to Declaration of Easements, Covenants, Conditions and Restrictions Affecting Land dated Dec. 8, 2017, filed Dec. 11, 2017, as Doc. No. A655825. Amended by Second Amendment to Declaration of Easements, Covenants, Conditions and Restrictions Affecting Land dated July 21, 2021, filed July 21, 2021, as Doc. No. A729214. Items are unplottable.
- Item 14 - Terms and conditions of and easement for public roadway, utility, drainage and trail purposes in favor of the City of Waconia contained in Right-of-Way Easement dated March 4, 2015, filed April 6, 2015, as Document No. A607952 affects property as shown.
- Item 15 - Property subject to terms, conditions and restrictions contained in Declaration of Restrictive Covenants dated Dec. 8, 2017, filed Dec. 11, 2017, as Document No. A655828. Items are unplottable.

Miscellaneous Notes

- MN 1 Legal description and easements per title commitment from Fidelity National Title Insurance Company File No. OH NCS No. GLW2201776, dated September 9, 2022.
- MN 2 Property Address: 840 Marketplace Drive, Waconia, MN 55387
PID No.: 755040130
- MN 3 Total Area of Parcel = 55,442 sq. ft.
- MN 4 Vehicle access is gained to the subject property from Marketplace Drive, a public right of way.
- MN 5 Property located in Section 23, Township 116, Range 25, Carver County, Minnesota.
- MN 6 Basis of bearings per Carver County coordinates.
- MN 7 Benchmark: Top nut of hydrant located at the SW corner of property as shown hereon. Elevation = 977.47 feet
- MN 8 As surveyed description there are not issues or inconsistencies with the boundary.

Table A Certification Items

- Monuments placed at all major corner of the boundary of the property, unless already marked or referenced by existing monuments are shown hereon.
- Address of the property: 840 Marketplace Drive, Waconia, MN 55387
- By graphic interpretation only, this property is in Flood Zone "X" (Areas generally outside Special Flood Hazard Area 1% annual chance flood) per FEMA panel map number 27019C0183D, effective on 12/21/2018
- Area of Property as described: 55,442 sq.ft
- Elevations based on a benchmark shown hereon. See MN 7 for details.
- Zoning information per Zoning Summary Report from National Due Diligence Services date October 11, 2022.
- (a). No buildings on site.
- (c). No buildings on site.
- Substantial above ground features observed in the process of conducting field work as shown.
- There are not striped parking stalls on site.
- Observed above ground evidence of existing utilities as shown hereon. Underground utility location either per markings located in the field or maps provided by others.
- Adjoining owners information per County Tax Records.
- Distance to nearest intersection street as shown hereon.
- There was no observed evidence of earth moving work or building construction at the time of our field work.
- The Surveyor is unaware of any changes in street right-of-way lines either completed or proposed as available from the controlling jurisdiction. There is no observable evidence of recent street or sidewalk construction or repairs.
- Offsite easements that may be appurtenant to subject property per plat of Waconia Marketplace.

ALTANSPPS Land Title Survey Certification

To Valvoline LLC, a Delaware limited liability company, and Fidelity National Title Insurance Comapny as follows:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTANSPPS Land Title Surveys, jointly established and adopted by ALTA, and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a)(b), 7(a) 7(b)(1), 8, 9 11(a), 11(b), 13, 14, 16, 17 and 18 of Table A thereof.
The field work was completed on December 12, 2022
Dated this 19th day of December, 2022.
Revised 2/15/2023 Attorney comments

DEMARC
LAND SURVEYING & ENGINEERING
7901 72nd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
demarcinc.com

Signed:
Gregory R. Prason Registration No. 24992

F.B. No. 1129-38 Proj. No. 90252 field by: JF drawn by: JF
File No. F:\survey\waconia marketplace-carver col6-3\01 Surveying - 90159\01 CAD\01 Source\01 Survey Base.dwg