

**WACONIA PLANNING COMMISSION MEETING AGENDA**



**Thursday, April 9, 2026  
6:30 PM**

**VISION STATEMENT**

**A thriving, connected community with deep roots: a great place to live for a lifetime.**

**MISSION STATEMENT**

**A city that leads, serves, and governs to enhance the quality of life for all community members.**

CHAIR: CHAD GENZ  
MEMBER: JOE POLUNC  
MEMBER: BRUCE PAULSEN  
MEMBER: DARYL PETERSON  
MEMBER: JACOB WECKMAN  
ALTERNATE: SIMON MALINSKI

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**NOTE: TO ENSURE THAT YOU ARE PRESENT FOR ITEMS OF INTEREST,  
PLEASE BE PRESENT AT 6:30 P.M.**

Those with items on the agenda should reach out to their staff contact. Others who wish to participate in the meeting, please contact the Community Development Director at 952-442-3106 or [lbraaten@waconia.mn.gov](mailto:lbraaten@waconia.mn.gov) to make certain that you are called upon during the meeting.

- 1. CALL MEETING TO ORDER AND ROLL CALL**
- 2. ADOPT AGENDA**
- 3. APPROVAL OF MINUTES**
  - 1) February 5, 2026, Planning Commission Meeting Minutes
- 4. NEW BUSINESS**
  - 1) **PUBLIC HEARING – Woodland Trail Preliminary Plat, & PUD Zoning Request– 9350 Airport Road**

Motion to open the public hearing.  
Motion to close the public hearing.  
Recommend either approval or denial of the Preliminary Plat Application titled Woodland Trail, which proposes to develop the property located at 9350 Airport Road into 127 housing units. The applicant is also requesting to develop the property under a PUD, Planned Unit Development zoning district, to allow for lot and home type

flexibility.

**5. OLD BUSINESS**

**6. OTHER**

- 1) **2025 Land Use Summary**
- 2) **Election of Officers**
- 3) **Staff Update**

**7. ADJOURN**



## REQUEST FOR PLANNING COMMISSION ACTION

<b>Meeting Date:</b>	April 9, 2026		
<b>Item Name:</b>	3.1. February 5, 2026, Planning Commission Meeting Minutes		
<b>Originating Dept:</b>	Community Development		
<b>Presented By:</b>	Lane Braaten		
<b>Previous Council Action:</b>	None		
<b>Item Type:</b>			
<b>RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED:</b> Motion to Approve the February 5, 2026, Planning Commission Meeting Minutes.			
<b>EXPLANATION OF AGENDA ITEM:</b> Approve the February 5, 2026, Planning Commission Minutes.			
<b>ATTACHMENTS:</b> 1. February 5, 2026, Planning Commission Meeting Minutes			
<b>FINANCIAL IMPLICATIONS:</b>		<b>ADVISORY BOARD RECOMMENDATIONS:</b>	
Funding Sources & Uses:		Planning Commission:	
Budget Information:		Park Board:	
_____ Budgeted		Personnel Committee:	
_____ Non-Budgeted		Other: More sample text.	
_____ Amendment Required			

**CITY OF WACONIA  
FEBRUARY 5, 2026**

**1. CALL MEETING TO ORDER AND ROLL CALL**

Pursuant to due call and notice thereof, the meeting of the Planning Commission of the City of Waconia was called to order by Commissioner Chair Genz at 6:30 PM.

The following Commissioners were present: Planning Commission Member Genz, Planning Commission Member Polunc, Planning Commission Member Peterson, Planning Commission Member Weckman

The following Commissioners were absent: Planning Commission Member Paulsen and Planning Commission Member Malinski.

**2. ADOPT AGENDA**

Braaten had no changes to the agenda.

Commissioner Weckman made a motion to adopt the agenda, seconded by Commissioner Peterson.

**MOTION CARRIED**

**3. APPROVAL OF MINUTES**

**1) December 4th, 2025 Planning Commission Meeting Minutes**

Commissioner Polunc motioned to approve the minutes from the December 4th, 2025 Planning Commission meeting, seconded by Weckman.  
MOTION CARRIED.

**4. NEW BUSINESS**

**1) SITE PLAN and DESIGN REVIEW – GVT Tire & Auto**

Braaten displayed the GVT Tire & Auto Site Plan for the property located at 401-13th Street East. This property is located in the B-1 Business District and is permitted use. This location has a shared driveway with two accesses. Parking calculations, landscaping, screening, accesses and lighting are all in conformance with the City Ordinance. Pedestrian access will link from the New Creations Day Care site north to the were created when the daycare opened and a trail connection. Trash will be stored inside. Design review, elevations, materials, and colors are consistent with design standards. All requirements have been met. Included are 14 possible conditions of approval to consider.

Genz asked about signage closer to the road. Braaten stated there was an opportunity for a monument sign.

Commissioner Polunc made a motion to approve the Site Plan and Design Review for GVT Tire & Auto, seconded by Commissioner Weckman.

**MOTION CARRIED.**

## **5. OLD BUSINESS**

There was no old business.

## **6. OTHER**

### **1) Staff Update**

- 17 new homes have been issued so far this year.
- The City of Waconia now owns the former UFC site at 801 Hwy. 284.
- Woodland Trail is the plat name for the Kirsch property located next to Laketown Elementary. A preliminary plat was submitted that shows medium and low density residential and twin homes or patio homes.
- Finalizing details on the 2025 Land Use Summary.
- The certificate of occupancy has been issued for Tractor Supply.
- Staff met with a local restaurant user that is planning to occupy the space at the Wilford Building fronting on Olive Street.

## **7. ADJOURN**

Commissioner Weckman made the motion to adjourn, seconded by Commissioner Peterson.

**MOTION CARRIED**



## REQUEST FOR PLANNING COMMISSION ACTION

<b>Meeting Date:</b>	April 9, 2026
<b>Item Name:</b>	4.1. PUBLIC HEARING – Woodland Trail Preliminary Plat, & PUD Zoning Request– 9350 Airport Road
<b>Originating Dept:</b>	Community Development
<b>Presented By:</b>	Lane Braaten
<b>Previous Council Action:</b>	Extension of subdivision regulations via Resolution 2022-87 on March 21, 2022
<b>Item Type:</b>	Regular Session
<b>RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED:</b> Motion to open the public hearing. Motion to close the public hearing. Recommend either approval or denial of the Preliminary Plat Application titled Woodland Trail, which proposes to develop the property located at 9350 Airport Road into 127 housing units. The applicant is also requesting to develop the property under a PUD, Planned Unit Development zoning district, to allow for lot and home type flexibility.	
<b>EXPLANATION OF AGENDA ITEM:</b>	
<b>BACKGROUND:</b>	
<b>Applicant(s):</b> Tamarack Land/Reid Schulz	
<b>Address</b> 9350 Airport Road	
:	
<b>PID#:</b> 070191700	
<b>Property Owner</b> Catherine A Seck Revoc Trust	
<b>Existing Comprehensive Plan Guidance(s):</b>	
1. L. Low Density Residential 2. M, Medium Density Residential	
<b>Extension of Subdivision Regulations</b>	
Pursuant to Minnesota Statutes, Section 462.358, Subd.1. a., the City Council approved the extension of subdivision regulations to the afore-mentioned property via Resolution 2022-87 on March 21st, 2022. Therefore, the application is being reviewed prior to the annexation of the property. If the development is ultimately approved by the City Council, the property will be required to be annexed prior submittal of a final plat.	
<b>REQUESTS:</b>	
1. The City has received a Preliminary Plat application titled Woodland Trail, which proposes to plat the subject property identified above into 127 single-family home parcels and 4 outlots. 2. The City has received an application to zone the subject property PUD, Planned Unit	

Development District, which would allow a mix of 65-foot wide and 40-foot wide single-family home parcels.

**APPLICABLE ORDINANCE PROVISIONS:**

1. Section 900.05, Subd. 2.A – R-1, Single-Family Residential District
2. Section 900.05, Subd. 2.B – R-2, Single-Family Residential District
3. Section 900.05, Subd. 2.C – R-3, Medium Density Residential District
4. Section 900.05, Subd. 2.O – PUD, Planned Unit Development District
5. Section 900.06, Subd. 8 – Environmental Protection Regulations
6. Section 900.07 – Landscaping and Fencing
7. Section 900.08 – Performance Standards
8. Section 900.09 – Off-Street Parking, Loading, and Access Regulations
9. Section 900.10 – Sign Regulations
10. Section 900.12 – Administration, Enforcement and Procedures
11. Section 1000 – Subdivision Ordinance

**EXISTING CONDITIONS:**

The subject parcel, which includes just over 61 acres, includes an old farm site and remains primarily agricultural in nature. The northern 1/3 of the property is wetland area and the property is bordered to the east by the road right-of-way for the future extension of County Road 92. The western boundary is shared with the Laketown Elementary School property.

**PRELIMINARY PLAT REVIEW:**

**SUBDIVISION DESIGN FEATURES**

The City of Waconia staff have reviewed the proposed Preliminary Plat application for the Woodland Trail residential development drafted by Champion Engineering Services, Inc. dated December 20th, 2025, and provide the following review and comments:

**Streets/Access**

A section of Airport Road will be realigned as part of this project to be consistent with the planned County Road 92 corridor. This results in a slight curve to the north to provide for a future roundabout that will be constructed at a later date and as part of future development. The realignment of Airport Road allows for two accesses into the proposed neighborhood. The first access, identified as Street 1, is proposed as the primary and permanent access to the neighborhood. The second access, identified as Street 2, is planned to be a temporary access, which would be converted into a cul-de-sac when the County Road 92 project is constructed.

The northerly terminus of Street 2, will be a cul-de-sac until such time as County Road 92 is constructed and then access will be provided from the neighborhood at this access point. At the same time, or similar timing, the southerly access of Street 2 will be converted into a cul-de-sac.

All of the streets are proposed to be public, and the street and right-of-way widths appear to be consistent with City standards.

**Easements**

Section 1000.06, Subd. 4 of the City Ordinance requires drainage and utility easements at least 10 feet wide, centered on the rear and side lot lines of abutting lots and shall have continuity from block to block and lot to lot. The applicant is proposing drainage and utility easements which conform to City standards.

There is an existing gas line easement that bisects the property. The applicant shall coordinate with and comply with the gas line owner requirements and restrictions regarding working over, under, and around the gas main facilities.

**Blocks**

The blocks proposed in the Woodland Trail development are in conformance with the standards set forth in City Ordinance.

**Lots**

The subject property is guided L, Low Density Residential and M, Medium Density Residential. City Ordinance indicates that areas annexed into the City Limits shall be placed in a zoning district consistent with the Comprehensive Plan. The Low-Density Residential designation will result in property being placed in the R-1, Single Family Residential District or R-2, Single-Family Residential District when annexed into the City Limits and the medium density guidance will result in R-2 or R-3 zoning. The typical lot sizing required for the R-1, R-2 and R-3 districts are listed below for review.

<p><b><u>R-1, Single-Family Residential – Lot Requirements:</u></b>          Lot Area = 10,500 sq. ft. minimum          Lot Width = 75 ft.          Maximum Hardcover Surface = 35%          Setbacks – Principal Structure          - Front = 25 ft.          - Side (street) = 25 ft.          - Side (interior) = 10 ft.          - Rear = 30 ft.</p>	<p><b><u>R-2, Single-Family Residential – Lot Requirements:</u></b>          Lot Area = 7,850 sq. ft. minimum          Lot Width = 50 ft.          Maximum Hardcover Surface = 35%          Setbacks – Principal Structure          - Front = 25 ft.          - Side (street) = 15 ft.          - Side (interior) = 10 ft.          - Rear = 30 ft.</p>	<p><b><u>R-3, Medium Density Residential – Lot Requirements:</u></b>          The standards in the R-3, Medium Density Residential District are dependent on the type of medium density residential proposed.</p>
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The applicant is requesting the property be zoned PUD, Planned Unit Development District to allow for two (2) different sized single-family parcels. The proposed PUD details are discussed later in this document and compared to the typical zoning required by the Comprehensive Plan.

**Outlots**

Below is a listing of the proposed outlots, the intended use/designation of each, the size, and the proposed ownership.

<b>Outlot</b>	<b>Use/Designation</b>	<b>Gross Area</b>	<b>Proposed Ownership</b>
A	Park/Ponding	2.6 Acres	City
B	Wetland/Open Space	0.8 Acres	City
C	Wetland/Pond/Open Space	8.9 Acres	City
D	Wetland/Open Space	17.3 Acres	City

**Signs**

The applicant has not proposed any signage as part of this application. If the applicant is requesting signage that varies from what the Ordinance typically allows the sign plan should be reviewed and approved as part of the PUD process. Additionally, any neighborhood monument signage should be placed in an outlot, which would be owned and maintained by the neighborhood homeowners association.

**Public Land Dedication, Open Space**

City Ordinance requires at least 10% of the gross land in a subdivision shall be dedicated for parks, schools, playgrounds and open space. The City, upon consideration of the particular type of development proposed in the subdivision, may require larger or lesser amounts of lands for such purposes or payment in lieu of land if deemed appropriate.

The Park & Recreation Board initially reviewed the Kirsch/Woodland Trail Sketch Plan at their regular meeting on October 26th, 2023. The Board reviewed the information provided below and the sketch plan and recommended a small park area for the neighborhood be included in the preliminary plat plans and the rest of the park dedication shall be paid cash in lieu.

**Site Area Calculations (updated with Woodland Trail details):**

Net Developable Area: 41.64 acres

Typical Park Dedication: (10%) = 4.164 acres

Park Land Proposed to be Dedicated: 1 acre park area

Cash in Lieu Portions = \$70,000/acre (fair market value) x 3.164 acres = \$221,480

In response to the Park Board recommendation, the applicant has included a 1-acre park area as part of the dedication of Outlot A. Payment of the outstanding fee shall be required. Additionally, City staff and the applicant are discussing the possibility of the applicant installing the playground equipment in association with the project to meet the cash-in-lieu portion of the dedication requirements so that the neighboring residents can enjoy the use of

the park when they move to the neighborhood. Any future park equipment improvements will require the review and approval of the Park Board.

### **Pedestrian Ways and Trails**

City Ordinance states “Subdividers shall define and construct a meaningful pedestrian circulation system subject to City approval which connects to the major trail system and to schools, parks and shopping areas and shall provide easements to accommodate such movement. Said pedestrian ways shall be coordinated with those of adjacent subdivisions and the Comprehensive Plan.”

### **Sidewalks**

The applicant is proposing sidewalks on one side of each street throughout the development. All sidewalks within the development shall be a minimum of 6 feet wide.

The sidewalk extending along the east side of Street 2 shall extend south along the temporary road alignment and a pedestrian landing and walkway shall connect to the Airport Road Trail.

### **Trails**

#### Existing

There are no existing trails near the proposed development, but there are a number of planned trails that require coordination and planning.

#### Proposed

The applicant is proposing the following 10-foot-wide trail connections/installations:

- Trail extending along the north side of the realigned Airport Road segment.
- Trailhead extension near the cul-de-sac on the north side of Street 3
- Trail connection from Laketown Elementary school site across the north wetland area to an identified location on the Carver County property to the north.

#### Planned/Constructed/Approved

The City’s Comp Plan identifies future trail in the following locations:

- Regional Trail Search Corridor along the future County Road 92 extension.
- Extension of trail through the subject parcel linking the Airport Road trail segment to the north and ultimately to Lake Waconia Regional Park.
- Highway 5, between what is now County Road 92 and Main Street East, was realigned in the early 2000s. The City installed a pedestrian underpass as part of this realignment project which is located approximately 200 yards east/northeast of Paradise Lane. To date, the pedestrian underpass has not been connected to the City trail network, and the approval of this project could be a catalyst in finally providing trail access from Airport Road, under Hwy 5, to Lake Waconia Regional Park, which has been part of the City’s trail plan for a significant period of time.
- The City Council, in June of 2015, approved the Site Plan approval for Laketown Elementary School. One of the conditions of approval required the installation of trail from Airport Road to the northeast (i.e Kirsch property). The development agreement for the project allowed the construction of this trail segment to be deferred until such time as the

Kirsch parcel was developed. So, staff continues to coordinate trail installation and expectations with ISD110, the Woodland Trail project and Carver County/Carver County Parks.

### **Preservation of Natural Features and Amenities**

Section 1000.06, Subd. 7.G states “Existing features which would add value to residential development or to the local government as a whole, such as trees, as herein defined, watercourses and falls, beaches, historic spots, and similar irreplaceable assets, shall be preserved in the design of the subdivision.”

The subject parcel generally includes agricultural uses along with a single-family home and/or appropriate agricultural accessory buildings. There are a number of wetland areas identified in the plan set, the largest of which extends along the entire northern boundary of the site. The majority of the wetland areas are protected in outlots which are planned to be dedicated to the city. Additionally, the plan identifies wetland buffers and wetland buffer setbacks. These areas will also be required to be signed to insure property owners are aware of the protected areas. Finally, there are a number of significant pockets of trees throughout the property.

### **Landscaping and Tree Preservation**

#### **Landscaping**

City Ordinance requires the following landscaping for properties zoned R-1, Single-Family Residential, R-2, Single-Family Residential and R-3, Medium Density Residential:

1. A planting strip and/or earth berm, not exceeding a slope of 3:1, shall be placed in all newly platted residential developments that abut an arterial road as identified in the City’s Comprehensive Plan.
2. Each newly platted lot in the R-1 and R-2 zoning districts shall have two (2) trees.
3. Landscaping for PUD districts shall be consistent with the landscaping requirements applicable to the R-1, R-2, and possibly the R-3 districts.
4. Lights from automobiles shall be screened whenever it may be directed onto residential windows to the extent that it will cause an unreasonable disturbance.
5. Shade trees shall be planted every forty (40) feet to sixty (60) feet within the right-of-way on both sides of any portion of road within the subdivision.
6. Unless otherwise directed by the Planning Commission, all plantings shall be placed on the private property on which the development is taking place.
7. All areas not otherwise improved in accordance with approved site plans or subdivisions shall be sodded, seeded, or otherwise established with vegetation approved by the City, and maintained in accordance with this subdivision. All grass and vegetative plantings shall occur over a minimum of six (6) inches of topsoil borrow meeting Minnesota Department of Transportation Specification 3877, Table 3877-1. 100% of the material including soil clumps must pass a 1” sieve. Prior to sod installation, all topsoil borrow material must be approved by the City. The grading shall consist of a uniform and smooth surface. Any sags or rises shall be corrected prior to the placement of sod or seed. Further, all grass and vegetative plantings shall be completed no later than six (6) months from the date of issuance of a Certificate of Occupancy. Grass shall be clean and free of noxious weeds and pests or diseases and shall be of a species normally grown as permanent lawns and suitable to this

climate.

8. The owner shall provide the City with cash, corporate surety bond, approved letter of credit or other surety satisfactory to the City to guarantee the proper installation and growth of the approved landscape plan.

9. The landscape plantings shall be consistent with the minimum planting size stated in Section 900.07, Subd. 2.F, which are identified below.

**Minimum Size of Plantings**

1. Deciduous trees = 2.5 inches in diameter as measured six inches above the ground.

2. Coniferous = 6 feet in height

10. All trees used in site development shall be indigenous to the appropriate hardiness zone and physical characteristics of the site.

11. The deciduous trees proposed to satisfy the minimum requirements of this policy shall be not less than 25% deciduous and not less than 33% coniferous.

Planting strips and/or earth berms shall be included in the landscape plan set along the future County Road 92 corridor and on private property along Airport Road screening the residential home sites from the road right of way.

The proposed landscape plan generally conforms to City Ordinance requirements.

**Environmental Protection Regulations**

**Tree Preservation**

City Ordinance allows developments in residential districts to remove or disturb up to thirty (30) percent of the total tree inches of significant trees. Any removal or disturbance beyond this threshold shall require reforestation or restitution.

*Reforestation/Restitution Requirement. – If a development exceeds the allowable removal or disturbance threshold specified above, the subdivider shall either reforest appropriate areas within the site (or outside the site if appropriate locations within the site are not available) or pay restitution, or provide a combination thereof. For each one (1.0) tree inch that is removed or disturbed beyond the threshold, the subdivider shall replant one and one-quarter (1.25) inches of new trees or provide the City with one hundred and twenty five dollars (\$125.00) in restitution, per inch removed beyond the threshold.*

*Tree Survey/Preservation Plan. – A tree survey and tree preservation plan shall be submitted with all preliminary plat applications, and with all lot division applications involving the creation of one or more new development parcels. The tree survey and tree preservation plan shall be prepared and signed by a registered surveyor or forester at the developers expense.....*

The applicant has provided an Overall Tree Preservation Plan consistent with City Ordinance requirements. The applicant and City staff have been working on identifying the application of the tree replacement rule in relation to the existing significant trees on site. The planned removal exceeds the 30% allowance by City Code and staff intends to work with the applicant as part of the PUD request to apply the applicable tree restitution fee to other improvements to the public good which may include additional trail work, construction of portions of Airport Road, etc. The final tree restitution amount will not be calculated until staff can get on site and determine which trees can be removed from the count and which

trees are required to be replaced. As such, staff is recommending a condition of approval requiring verification of significant tree exceptions in the tree restitution plan, which will inform the final restitution amount required by City Code. Additionally, the applicant shall work with City staff to apply all, or a portion of, the tree restitution fee to other applicable improvements in and around the project that would provide public benefit.

#### Wetland Protection

City Code identifies wetlands as a valuable resource that receive surface water runoff and provide possible contact with ground water. Further, it is the intent of the City Code to establish a program of sound management through regulations that strive toward zero degradation of the wetlands by conserving, protecting and enhancing these environmentally sensitive resources.

#### Wetland Protection Analysis

1. A significant portion of the wetland areas will be located within outlots to be dedicated to the City and they will not be altered.
2. The wetland buffer area and wetland buffer setbacks have been identified on the plan set and the areas will be signed to ensure property owners are aware of the sensitive areas.
3. There are a number of impacted properties identified in Block 2 of the proposed development that will be limited by wetland buffers and wetland buffer setbacks. The applicant may consider alternate property lines located to limit these impacts to future private property owners.

#### Grading, Drainage & Utilities

The City Engineer and Public Services Director have conducted an initial review of the grading, drainage and utility plans. Any recommendation by the Planning Commission should include a condition requiring the applicant to work with the City Engineer to revise the utility, grading, drainage, plans to the satisfaction of the City Engineer and Public Services Director.

The proposed development will be required to be built in conjunction with the City's lift station project located on the property to the south of Airport Road. The City's lift station project cannot commence until Airport Road is realigned and rough grading is completed. The recommended approach is to have the development project complete the road realignment and the rough grading of the lift station site. Additional coordination is needed between the City lift station project and the proposed development project.

#### Stormwater Management

An initial review of the site's stormwater management has been completed by the Public Services Director and City Engineer. Any recommendation of approval should include a condition requiring the applicant revise the stormwater plans to the satisfaction of the City Engineer and Public Services Director.

#### ZONING REQUEST – PUD, PLANNED UNIT DEVELOPMENT DISTRICT:

The 2040 Comprehensive Plan identifies portions of the subject property as the categories shown in the table below. The lot requirements for each of the residential districts were

described earlier in this report.

Category	Land Uses	Zoning Districts
Low-Density Residential	Single-family, detached housing on parcels with a minimum size of 10,500 square feet. The density range should be from 2 to 4 units per acre.	R-1, Single-Family District R-2, Single-Family District
Medium-Density Residential	Single-family and two-family dwellings, townhouses and other forms of housing having an individual outdoor entrance for each housing unit. The density range should be from 4 to 10 units per acre.	R-2, Single Family District R-3, Medium Density District R-4, Mixed Residential District
Wetland/Open Space	Includes wetlands and floodplains	C, Conservation District Any other zoning district

City Ordinance states a PUD is intended to be used to achieve the following as summarized by staff:

1. Protection of natural and historic resources,
2. Flexibility in site planning,
3. Mixing and clustering of land uses and housing types,
4. Higher level of amenity,
5. Affordable housing,
6. A more efficient use of land,
7. Conservation of energy resources, 8. Creation of a sense of community.

Required Development Standards: A PUD shall comply with all of the requirements of this ordinance except for Sections 900.05, District Regulations. In addition, the following shall apply:

- a) The minimum building and parking setback from any exterior PUD property line or abutting street shall be 40 feet. Refer to Section 900.06, Subd. 3 for required yard expansion adjacent to arterial streets.
- b) The maximum height of structures shall not exceed 45 feet except as provided for by Section 900.06, Subd. 2 of this ordinance.
- c) Overall gross residential PUD densities shall be in the range specified for the site by the Comprehensive Plan.
- d) Maximum hardcover surface shall be as follows for the following classes of use:
 

1. Low and Low/Medium Density Residential	0-4	U/A	50%
2. Medium Density Residential	5-12	U/A	60%

e) Where the PUD site is designated by the Comprehensive Plan for more than one land use, the approximate same ratio of land area shall be reflected in the PUD for each use as exists in the Comprehensive Plan.

f) Signage variances may be approved by PUD provided a sign plan is approved with the Development Plan. Generally, Section 900.10, Sign Regulations, will be used as a guide in evaluating the signage plan.

g) Subdivision review shall be carried out simultaneously with the review of the PUD. The plans required by this Section shall be submitted in a form which will satisfy the requirements of the Subdivision Ordinance for the preliminary and final plat.

Findings. The Planning Commission and City Council shall not approve a PUD unless they shall find as follows:

- a) The proposed development is not inconsistent with the City's Comprehensive Plan,
- b) The development satisfies most, if not all, of the objectives of this District, and
- c) The PUD will not be detrimental to surrounding neighborhoods.

The applicant is requesting two (2) different parcel types and lot requirements for Woodland Trail, which staff has compared to the typical lot requirements for the R-1 and R-2 zoning Districts:

<b>Lot Requirements</b>	<b>R-1</b>	<b>R-2</b>	<b>40' Single-Family</b>	<b>65' Single-Family</b>
Lot Area	10,500 sq. ft. min.	7,850 sq. ft. min.	4,600 sq. ft. min.	8,125 sq. ft. min.
Lot Width	75 ft. min.	50 ft. min.	40 ft. min.	65 ft. min.
Max. Hardcover	35% max.	35% max.	50%	50%
Front Yard Setback	25 ft. min.	25 ft. min.	25 ft. min.	25 ft. min.
Side Street Setback	25 ft. min.	15 ft. min.	20 ft. min.	20 ft. min.
Side Interior Setback	10 ft. min.	10 ft. min.	7.5 ft. min.	7.5 ft. min.
Rear Yard Setback	30 ft. min.	30 ft. min.	20 ft. min.	20 ft. min.
Building Height	35 ft. max.	35 ft. max.	35 ft. max.	35 ft. max.

Note: Decks attached to the principal structure are considered part of the principal structure and shall be required to meet all principal structure setbacks indicated in the table above. Additionally, driveways are required to meet all side yard setbacks indicated in the

underlying zoning district.

Note: All parcels shall be subject to the 50 ft. setback from the future County Road 92 corridor. The plans show a 40 ft. setback some consideration should be given that this is going to be a very busy corridor when constructed this should also include the additional landscaping requirements.

### **PUD, Planned Unit Development Review**

1. The Planning Commission should determine if the proposed development is consistent with the City's Comprehensive Plan; if it satisfies most, if not all, of the objectives of the Districts (summarized above); and the PUD will not be detrimental to surrounding neighborhoods.
2. The development data indicates an overall net density of 3.05 units per acre. The comprehensive plan indicates a density range of 2 to 4 units per acre for low density residential and 4 to 10 units for medium density. An overall density of 3.05 appears to be generally consistent with the guidance for the property.
3. The Comprehensive Plan considers housing goals and needs that discuss housing diversity, life-cycle housing and allowing the market to build a wide variety of housing types. The Planning Commission and Council should consider if the proposed Planned Unit Development is consistent with these goals and the stated vision of the community.
4. The development summary indicates the 40 ft. single family home parcels (50 lots), and 65 ft. single family parcels (77 lots). The setbacks, while slightly altered, appear to be generally consistent with the underlying zoning districts. The requested additional hardcover will allow for larger homes to be constructed on the subject parcels and the request is consistent with the maximum hardcover identified in the City's PUD ordinance.

### **PUBLIC NOTICE/COMMENT**

The notices were published in the WACONIA PATRIOT on March 26th, 2026, and posted at Waconia City Hall. Individual notices were mailed to all property owners within 350 feet of the subject parcel. To date no public comments have been received regarding this application.

### **CONCLUSION/RECOMMENDATION**

The Planning Commission should hold a public hearing, take all public comment and make a recommendation to the City Council regarding the Preliminary Plat application, and the Rezoning request for the Woodland Trail residential development. Upon recommendation by the Planning Commission this item will be forwarded to the City Council for review at their upcoming meeting scheduled for April 20th, 2026.

If the Planning Commission chooses to recommend approval of the Woodland Trail Preliminary Plat staff would recommend the approvals with the following conditions:

1. The Woodland Trail Preliminary Plat shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall obtain Carver County Watershed Management Organization

(CCWMO) approval and permitting for erosion control and stormwater management. A copy of any approvals or permits shall be submitted prior to any land disturbing activities.

4. The applicant shall obtain a General Construction Stormwater Permit (NPDES) from the Minnesota Pollution Control Agency and submit a copy to the City prior to any land disturbing activities.

5. All indirect costs related to the permitting, review, and plans associated with engineering and administrative costs shall be paid by the applicant/owner.

6. The City shall provide the necessary street signage. The applicant shall provide the necessary escrow funds to cover all street signage and installation costs.

7. The applicant shall be responsible for the section of trail extending from the Laketown Elementary school property, across the north wetland area, to the Carver County property to the north. This is in addition to the trail segments shown within the neighborhood and along Airport Road.

8. The sidewalk extending along the east side of Street 2 shall extend south along the temporary road alignment and a pedestrian landing and walkway shall connect to the Airport Road Trail.

9. A planting strip and/or earth berm, not exceeding a slope of 3:1, shall be placed along the future County Road 92 corridor and between the proposed home sites and Airport Road. City staff shall review and approve the final plantings strip or earth berm for consistency with this standard.

10. The landscape plan indicates numerous tree plantings within the gas line easement. The applicant shall provide additional documentation that the proposed plantings are allowed within the easement area.

11. Lots 13-21 and Lots 23 and 24, Block 2, of the preliminary plat will be impacted by wetland buffer requirements and/or wetland buffer setbacks. The applicant should consider revising the property lines to limit these impacts to future individual property owners.

12. The watermain, sanitary sewer, grading, and stormwater issues shall be resolved to the satisfaction of the City Engineer and Public Services Director prior to commencement of construction activities for the Woodland Trail residential development.

13. Compliance with applicable items contained in Chapter 1000 of the City of Waconia Subdivision Ordinance.

14. Compliance with applicable items contained in Section 900.06, Subd. 6. Flood Plain Overlay Regulations.

15. Execution of a Developer's Agreement prior to execution of the Final Plat.

16. The sidewalk and trails shall be constructed as proposed and as conditionally revised by the City Council. All sidewalks within the development shall be 6 feet wide.

17. Staff shall review the tree preservation and tree restitution requirements in association with an on site inspection to determine the applicable amount of trees and or cash in lieu payment is appropriate. Any cash payment in lieu, by review and approval of city staff, may be applied to other applicable improvements in and around the project that would provide public benefit.

18. The property shall be annexed into the City Limits prior to the review of a final plat.

19. The applicant shall dedicate a one-acre portion of Outlot A as a future park area and pay \$221,480 in cash in lieu. Additionally, the city and applicant shall have the option by agreement to allow the outstanding cash in lieu payment to be used for park improvements within the Woodland Creek development. Any proposed park improvements will require the

review and approval by the Park Board.

20. The applicant shall file an application of final plat approval within six (6) months following the approval of the Woodland Trail Preliminary Plat, unless an extension of time is requested in writing by the subdivider and granted by the Council prior to the six (6) month expiration date.

**ATTACHMENTS:**

1. Location Map Woodland Trail
2. Preliminary Plat - Woodland Trail Narrative
3. Woodland Trail Plan Set
4. Woodland Trail Landscape Plan
5. Tree Preservation Plan Woodland Trail
6. Phasing Plan Woodland Trail

<b>FINANCIAL IMPLICATIONS:</b>	<b>ADVISORY BOARD RECOMMENDATIONS:</b>
Funding Sources & Uses: Budget Information: _____ Budgeted _____ Non-Budgeted _____ Amendment Required	Planning Commission: Park Board: Personnel Committee: Other: More sample text.

# LOCATION MAP—9350 AIRPORT ROAD



## Woodland Trail

Tamarack Land Development is excited to submit our Preliminary Plat for our proposed Woodland Trail single-family subdivision located on the Kirsch property on Airport Road, just west of the future County Road 92, comprising of around 61 acres. This wonderful new community is proposed adjacent to Laketown Elementary School in an expansion area of the City with many amenities in place to support this community including nearby shopping, schools, and parks that will make this a great place to call home for many.

### **Existing Site**

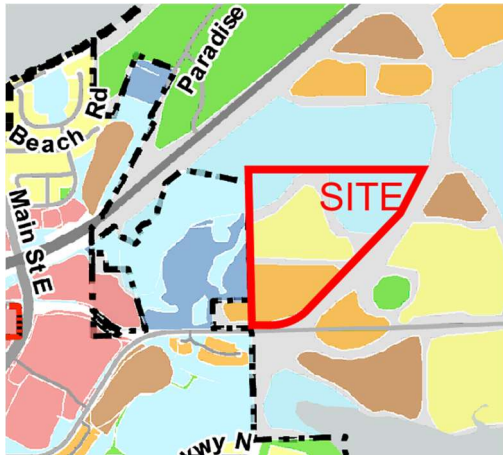
Nestled in the southwest part of Waconia, currently within Laketown Township, sits the 61-acre farm fields of the Kirsch property. In 2022, the site was subdivided and platted as part of the Airport Road Addition, dedicating the future County Road 92 and setting the way for development in this area with future roadway planning. Public improvements including Sanitary Sewer and Watermain were extended to the Laketown Elementary School and in 2024 & 2025, the City performed an area study for the availability and capacity of utilities and roadways with development growth. The area is within the MUSA and City's 2040 Comprehensive Plan Transition Area 2 (2020-2030) growth area, including an ordinary annexation area of the City expansion. Surrounding properties and uses include the Laketown Elementary to the West, Agricultural to the East and North and estate single family to the South.

### **Proposed Site Design**

Careful consideration of site topography and lowland areas were accounted for when the conceptual site plan was designed, ensuring the site designed maximized the use of the site, while balancing with the natural features of the site. The concept plan was presented to Planning Commission, Park Board and City Council in a workshop in late 2023. Feedback from those meetings were incorporated into the site plan.

Land Use:

The 2040 Comprehensive plan identified this site as both Low Density and Medium Density Land Uses, with a medium density being along the south end and low density along the wetlands to the north. The proposed site plan incorporates traditional single-family lots (65' wide) in the low-density area and smaller detached single-family lots (40' wide) in the medium density lots.



2040 Comp Plan Land Use



Proposed Land Use

Street Layouts:

Neighborhood street ingress/egress connections include both a primary entrance connection and a secondary temporary connection on Airport Road. With the future construction of C.R. 92, a permanent connection would be installed from the neighborhood onto C.R. 92 and the temporary access on Airport road is proposed to be removed at that time. This allows two ingress/egress points in the development for public safety and traffic for the development before and after the construction of C.R. 92. Internal roadways are designed to meet City of Waconia standards for local roadways including dedicating of public right-of-ways.

Stormwater:

Stormwater ponding is proposed strategically in areas that can sufficiently and effectively treat and store stormwater prior to discharging to local watercourses and offsite discharges. The proposed development ponding will be sized appropriately to meet all local and state regulations including accounting for storage of large rain events. The ponds are proposed to become public after completion and acceptance.

### Parks and Trails:

A proposed neighborhood park area is proposed to be dedicated as part of this development. A 1-acre open space park area was designed in the center of this development with direct access from the public right-of-ways.

A trail network is proposed for the development as part of the proposed PUD and public benefit. This trail network was identified by City staff as an important amenity for the area, connecting this area to the Lake Waconia Regional Park in the future. The proposed trail alignment includes a connection from the neighborhood across the wetland in a location best suited for the neighborhood and City. The exact location of this crossing will be coordinated with City Staff and the LGU as wetland impacts may be needed. Staff have also identified a possible trail connection from Laketown Elementary School as well.

### **Natural Features**

#### Wetlands:

A wetland delineation was completed on the site in 2016 and again in 2023, identifying several wetlands on the site in various sizes and qualities. The site layout was designed around to protect a larger wetland complex on the north and a medium sized wetland on the west – no impacts to that wetland for the development of the lots are proposed. The site also includes smaller isolated pockets of wetlands with low-quality features. These wetlands rely on the stormwater runoff which is difficult to remain in their current state with development through grading and drainage changes and are proposed to be mitigated through a wetland replacement plan that will be coordinated with the appropriate LGU for permitting.

#### Trees:

An existing tree inventory survey was conducted onsite. The site has been used for farming but does have pockets of tree masses on site with a variety of tree sizes and species present. Preservation of these tree masses were evaluated, however with access points for the development and changes to topography, tree removal and mitigation will be required.

### **Proposed Planned Unit Development (PUD)**

The proposed PUD will provide the area with a variety of housing types with flexibility in lot sizes for different styles of homes to meet the land use density requirements of the City's land use plan. The proposed plan proposes approximately (76) 65-foot wide lots for

traditional single family detached homes and (50) 40-foot wide lots for small lot single family detached homes. Flexibility in lot sizes is important for this development by allowing more density in medium density areas while providing traditional single family lots in the low density areas. Proposed lot standards including lot sizes and setbacks are proposed in the table below.

**Proposed Lot Standards**

<b>65' WIDE SINGLE FAMILY LOTS</b>		
	<b>R1 Base Standards</b>	<b>Woodland Trail PUD</b>
Min. Lot Size	10,500 S.F.	8,125 S.F.
Lot Width	75'	65'
Lot Depth	Not specified	125'
Setbacks	Front: 25' Rear: 30' Interior Side: 10' Corner Side: 25'	Front: 25' Rear: 20' Interior Side: 7.5' Corner Side: 20'
Max. Height	35'	35'
Max. Impervious	35%	50%

<b>40' WIDE SINGLE FAMILY LOTS</b>		
	<b>R2 Base Standards</b>	<b>Woodland Trail PUD</b>
Min. Lot Size	7,850 S.F.	4,600 S.F.
Lot Width	50'	40'
Lot Depth	Not specified	115'
Setbacks	Front: 25' Rear: 30' Interior Side: 5' Corner Side: 15'	Front: 25' Rear: 20' Interior Side: 7.5' Corner Side: 20' C.R. 92: 40'
Max. Height	35'	35'
Max. Impervious	35%	50%

### **Phasing and Anticipated Construction Schedule**

The site would be developed in two (2) phases. The first phase consisting of about half the lots would be developed in 2026 and the second phase in 2027. With the approval of the preliminary plat in Spring 2026, the anticipated plan is to start removals and grading the in May of 2026. Full build out completed around 2028-2029. Home construction could start as early as November 2026 with model homes. An anticipated phasing plan is included.

### **Conclusion**

We are excited to bring a new beautiful woodland trail neighborhood to Waconia. This site offers many amenities, such as trails, parks, open spaces and expansive natural views paired with the area amenities like shopping, schools, and recreational activities, this this is a wonderful neighborhood and a great place to call home and raise a family. We believe the development meets the City's 2040 Comp Plan including land use and densities in an area identified as development ready. The proposed PUD offers a mix of housing styles while providing public amenities and public benefits that can be shared by the whole community. Tamarack is excited to bring this beautiful neighborhood to Waconia and we look forward to breaking ground this Spring.

Thank you,

A handwritten signature in black ink, appearing to read 'Reid Schulz', with a stylized flourish extending to the right.

Reid Schulz, Development Manager

**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG  
**GOPHER STATE ONE CALL**  
 TWIN CITY AREA: 651-454-0002  
 TOLL FREE 1-800-252-1166

# WOODLAND TRAIL WACONIA, MN

**GOVERNING SPECIFICATIONS:**

1. THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" LATEST EDITION & SUPPLEMENTS.
2. CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD UTILITIES SPECIFICATIONS. (LATEST EDITION)
3. ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND ORDINANCE WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.
4. CITY OF WACONIA STANDARD SPECIFICATIONS & DETAILS.

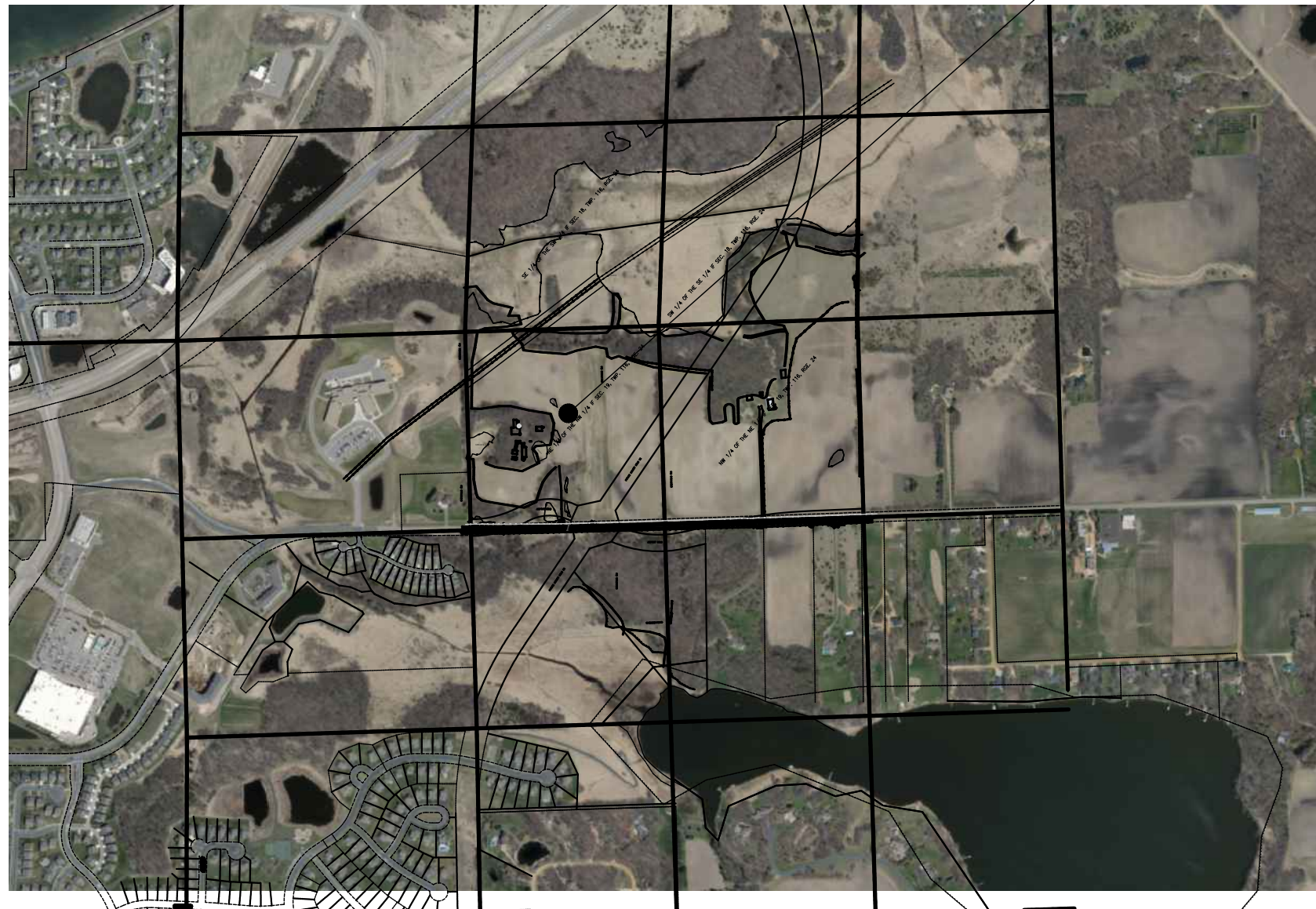
**PROJECT DIRECTORY**

**OWNER:**  
 TAMARACK LAND DEVELOPMENT, LLC  
 REID SCHUILZ  
 712 VISTA BLVD. #303  
 WACONIA, MN 55387  
 PH: 612.817.9433  
 EMAIL: REID@TAMARACKLAND.COM

**ENGINEER:**  
 CAMPION ENGINEERING SERVICES, INC  
 ATTN:MARTY CAMPION  
 PO BOX 41486  
 PLYMOUTH, MN 55441  
 763.486.3799  
 EMAIL: MCAMPION@CAMPIONENG.COM

**SURVEYOR:**  
 WESTWOOD  
 MATT HALLS  
 12701 WHITEWATER DR.  
 SUITE 300  
 MINNETONKA, MN 55343  
 PH: 763.486.7322  
 EMAIL: MATT.HALLS@WESTWOODPS.COM

PROJECT LOCATION

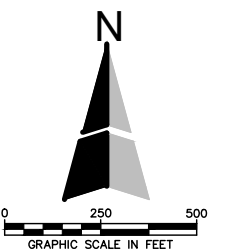


**INDEX**

SHEET NO.	DESCRIPTION
1.	COVER SHEET
2.	EXISTING CONDITIONS
3.	PRELIMINARY PLAT-OVERALL
4.	PRELIMINARY PLAT-NORTH
5.	PRELIMINARY PLAT-SOUTH
6.	PRELIMINARY SANITARY SEWER & WATERMAIN PLAN-OVERALL
7.	PRELIMINARY SANITARY SEWER & WATERMAIN PLAN-NORTH
8.	PRELIMINARY SANITARY SEWER & WATERMAIN PLAN-SOUTH
9.	PRELIMINARY STREET & STORM SEWER PLAN-OVERALL
10.	PRELIMINARY STREET & STORM SEWER PLAN-NORTH
11.	PRELIMINARY STREET & STORM SEWER PLAN-SOUTH
12.	PRELIMINARY GRADING PLAN-OVERALL
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14.	PRELIMINARY GRADING PLAN-SOUTH
15.	STORM WATER POLLUTION PREVENTION PLAN-OVERALL
16.	STORM WATER POLLUTION PREVENTION PLAN-NORTH
17.	STORM WATER POLLUTION PREVENTION PLAN-SOUTH
18.	PRELIMINARY PROFILES STREET 1
19.	PRELIMINARY PROFILES STREETS 2 & 3
20.	PRELIMINARY PROFILES STREET 4
21.	DETAILS & NOTES
22.	DETAILS
23.	DETAILS
24.	DETAILS
25.	DETAILS
26.	DETAILS
27.	DETAILS

THE FOLLOWING CITY OF WACONIA STANDARD PLATES SHALL APPLY

EROSION & SEDIMENT CONTROL	STORM SEWER	WATERMAIN	SANITARY SEWER	STREET
6-108	7-000	9-000	10-001	11-000
6-200	7-001	9-101	10-002	11-002
6-401	7-002	9-200	10-010	11-004
6-402	7-100	9-203	10-102	11-007
6-403	7-102	9-207	10-107	11-008
6-502	7-105	9-303	10-200	12-100
6-600	7-106	9-305	10-300	12-300
	7-107	9-306	10-301	
	7-108	9-307	10-302	
	7-109	9-308	10-303	
	7-200	9-309		
	7-201	9-310		
	7-302	9-311		
	7-305	9-301		
	7-308	9-400		
	7-502	9-401		
	7-601	9-402		
	7-700	9-404		



ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR

NO.	DATE	DESCRIPTION

**CAMPION ENGINEERING SERVICES, INC.**

PO BOX 41486  
 PLYMOUTH, MN 55441  
 PHONE: (763)486.3799  
 EMAIL: MCAMPION@CAMPIONENG.COM

• Civil Engineering • Land Planning

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Martin P. Campion -Lic. # 19901 Date: \_\_\_\_\_

**WOODLAND TRAIL  
 TAMARACK LAND  
 WACONIA, MN**

COVER SHEET

PROJECT NO:  
 25-019

SHEET NO. 1 OF 27 SHEETS DATE: 12/20/2025

PAGE 25 OF 54

Plot Date & Time:

C:\Users\krc-ca\OneDrive\2025\25-019 WACONIA\CAD\CIV1 COVER SHEET.dwg

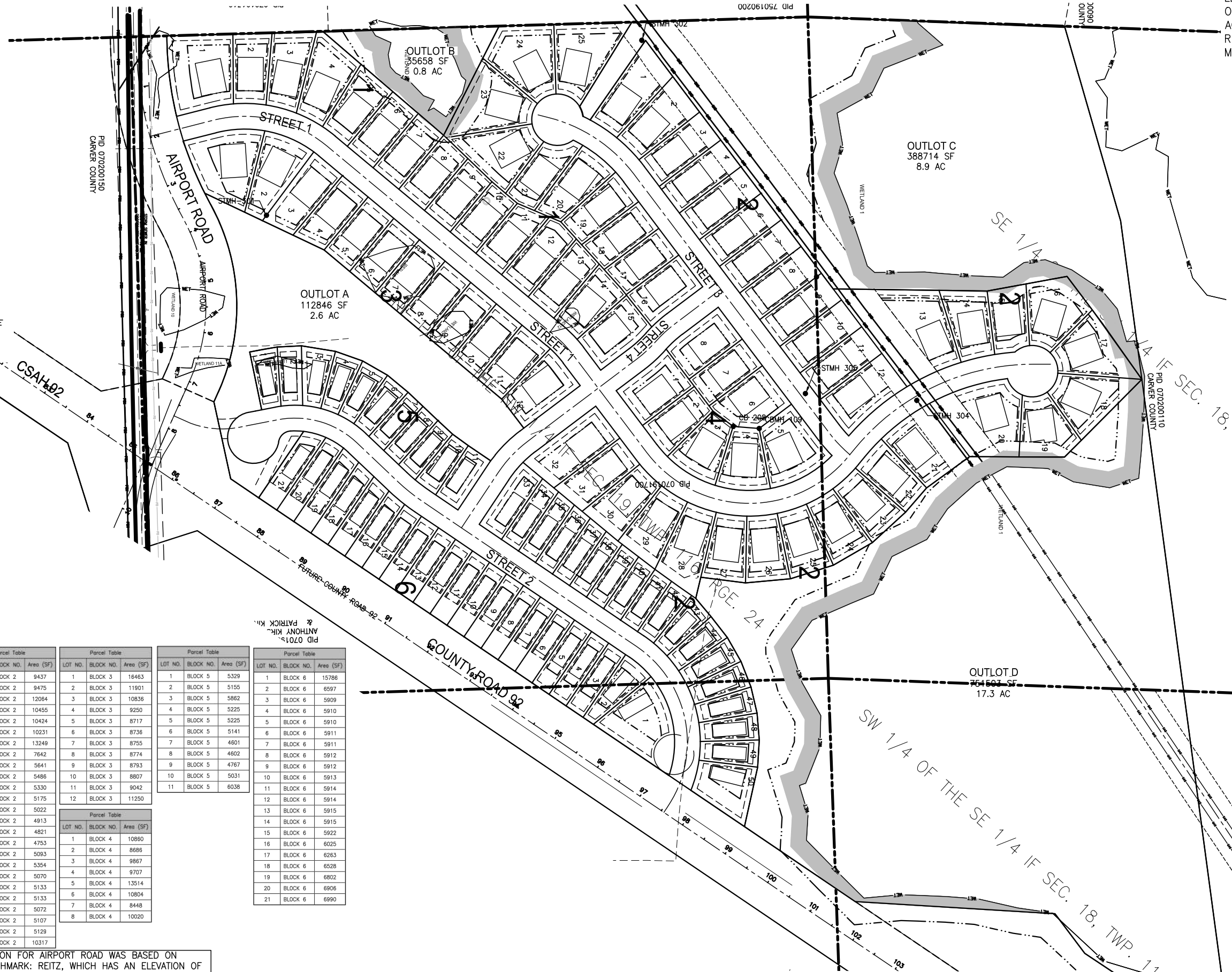


**LEGEND**

- 880 — PROPERTY LINE
- 900 — EXISTING CONTOURS
- 900 — PROPOSED CONTOURS
- — EASEMENT LINE
- — SETBACKS
- WET DELINEATED WETLAND EDGE
- — STORM SEWER
- — SANITARY SEWER
- — WATERMAIN
- X FENCE
- OE — OVERHEAD POWER LINE
- UE — UNDERGROUND ELECTRIC
- — CULVERT
- — SOIL BORING
- — SANITARY SEWER MANHOLE
- — SANITARY CLEANOUT
- — STORM SEWER MANHOLE
- — STORM SEWER CATCH BASIN
- — WATER GATE VALVE
- — HYDRANT
- — EXISTING TREE LINE
- — INLET PROTECTION
- — ROCK CONSTRUCTION ENTRANCE
- — SILT FENCE

LEGAL DESCRIPTION:  
 OUTLOT K, AIRPORT ROAD ADDITION,  
 ACCORDING TO THE  
 RECORDED PLAT THEREOF, CARVER COUNTY  
 MINNESOTA

Plot Date & Time:



**PLAT DATA**

PROPERTY OWNER	ANTHONY A. KIRSCH, NICHOLE E. KIRSCH & CATHERINE S. SEC
PROPERTY ADDRESS	9350 AIRPORT ROAD, WACONIA, MN 55387
PID	070191700
EXISTING ZONING	GUIDED SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING	PUD
TOTAL AREA	61.38 AC
EXISTING WETLAND AREA	20.15 AC
EXISTING WETLAND AREA - TO REMAIN	19.74 AC
NET DEVELOPABLE AREA	41.64 AC
GROSS DENSITY	2.07 U/A
NET DENSITY	3.05 U/A

LOT AREAS	MINIMUM	MAXIMUM
LOT TYPE		
40' VILLA	4,601	15,786
65' STANDARD	8,247	27,566

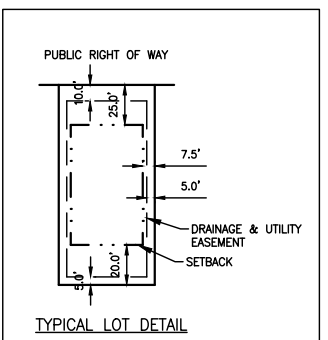
LOT STANDARDS - PUD ZONING	
PROPOSED SETBACK:	
FRONT	25'
REAR	20'
SIDE	7.5'
SIDE - STREET	20'
COUNTY ROAD 92	40'
WETLAND	50'

**LOT TABULATION**

BLOCK NO.	TOTAL LOTS	65'	40'
1	25	25	18
2	50	32	18
3	12	12	
4	8	8	
5	11		11
6	21		21
TOTAL	127	77	50

OUTLOT	AREA (AC)	USE
A	2.6	PARK/POND
B	0.8	WETLAND/OPEN SPACE
C	8.9	WETLAND/POND/OPEN SPACE
D	17.3	WETLAND/OPEN SPACE
TOTAL	29.6	

PAD WIDTHS:  
 65' LOTS - 50'X65'  
 40' LOTS - 25'X65'



LOT NO.	BLOCK NO.	Area (SF)	LOT NO.	BLOCK NO.	Area (SF)	LOT NO.	BLOCK NO.	Area (SF)	LOT NO.	BLOCK NO.	Area (SF)	LOT NO.	BLOCK NO.	Area (SF)	LOT NO.	BLOCK NO.	Area (SF)
1	BLOCK 1	17904	1	BLOCK 2	12800	26	BLOCK 2	9437	1	BLOCK 3	18463	1	BLOCK 5	5329	1	BLOCK 6	15786
2	BLOCK 1	9534	2	BLOCK 2	11389	27	BLOCK 2	9475	2	BLOCK 3	11901	2	BLOCK 5	5155	2	BLOCK 6	6597
3	BLOCK 1	10887	3	BLOCK 2	9997	28	BLOCK 2	12084	3	BLOCK 3	10836	3	BLOCK 5	5862	3	BLOCK 6	5909
4	BLOCK 1	12534	4	BLOCK 2	9744	29	BLOCK 2	10455	4	BLOCK 3	9250	4	BLOCK 5	5225	4	BLOCK 6	5910
5	BLOCK 1	10000	5	BLOCK 2	9746	30	BLOCK 2	10424	5	BLOCK 3	8717	5	BLOCK 5	5225	5	BLOCK 6	5910
6	BLOCK 1	9006	6	BLOCK 2	9748	31	BLOCK 2	10231	6	BLOCK 3	8736	6	BLOCK 5	5141	6	BLOCK 6	5911
7	BLOCK 1	8900	7	BLOCK 2	9728	32	BLOCK 2	13249	7	BLOCK 3	8755	7	BLOCK 5	4601	7	BLOCK 6	5911
8	BLOCK 1	8736	8	BLOCK 2	9785	33	BLOCK 2	7642	8	BLOCK 3	8774	8	BLOCK 5	4602	8	BLOCK 6	5912
9	BLOCK 1	8411	9	BLOCK 2	9751	34	BLOCK 2	5641	9	BLOCK 3	8793	9	BLOCK 5	4767	9	BLOCK 6	5912
10	BLOCK 1	8247	10	BLOCK 2	9773	35	BLOCK 2	5486	10	BLOCK 3	8807	10	BLOCK 5	5031	10	BLOCK 6	5913
11	BLOCK 1	8857	11	BLOCK 2	9750	36	BLOCK 2	5330	11	BLOCK 3	9042	11	BLOCK 5	6038	11	BLOCK 6	5914
12	BLOCK 1	10106	12	BLOCK 2	12264	37	BLOCK 2	5175	12	BLOCK 3	11250	12	BLOCK 5		12	BLOCK 6	5914
13	BLOCK 1	9264	13	BLOCK 2	27566	38	BLOCK 2	5022	13	BLOCK 3		13	BLOCK 5		13	BLOCK 6	5915
14	BLOCK 1	9388	14	BLOCK 2	10620	39	BLOCK 2	4913	14	BLOCK 3		14	BLOCK 5		14	BLOCK 6	5915
15	BLOCK 1	10310	15	BLOCK 2	9035	40	BLOCK 2	4821	15	BLOCK 3		15	BLOCK 5		15	BLOCK 6	5922
16	BLOCK 1	9914	16	BLOCK 2	12644	41	BLOCK 2	4753	16	BLOCK 3		16	BLOCK 5		16	BLOCK 6	6025
17	BLOCK 1	8473	17	BLOCK 2	12681	42	BLOCK 2	5093	17	BLOCK 3		17	BLOCK 5		17	BLOCK 6	6283
18	BLOCK 1	8847	18	BLOCK 2	12484	43	BLOCK 2	5354	18	BLOCK 3		18	BLOCK 5		18	BLOCK 6	6528
19	BLOCK 1	9430	19	BLOCK 2	10928	44	BLOCK 2	5070	19	BLOCK 3		19	BLOCK 5		19	BLOCK 6	6802
20	BLOCK 1	10324	20	BLOCK 2	19582	45	BLOCK 2	5133	20	BLOCK 3		20	BLOCK 5		20	BLOCK 6	6906
21	BLOCK 1	9380	21	BLOCK 2	14561	46	BLOCK 2	5133	21	BLOCK 3		21	BLOCK 5		21	BLOCK 6	6990
22	BLOCK 1	13060	22	BLOCK 2	9004	47	BLOCK 2	5072									
23	BLOCK 1	14971	23	BLOCK 2	9456	48	BLOCK 2	5107									
24	BLOCK 1	15277	24	BLOCK 2	9456	49	BLOCK 2	5129									
25	BLOCK 1	15065	25	BLOCK 2	9456	50	BLOCK 2	10317									

ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR

NO.	DATE	DESCRIPTION

**CAMPION ENGINEERING SERVICES, INC.**  
 Civil Engineering • Land Planning  
 PO BOX 41486  
 PLYMOUTH, MN 55441  
 PHONE: (763)486.3799  
 EMAIL: MCAMPION@CAMPIONENG.COM

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.  
 Martin P. Campion -Lic. # 19901 Date:

**WOODLAND TRAIL TAMARACK LAND**  
 WACONIA, MN

PRELIMINARY PLAT OVERALL  
 SHEET NO. 3 OF 27 SHEETS  
 PROJECT NO: 25-019  
 DATE: 12/20/2025

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Pkt. Date & Time:

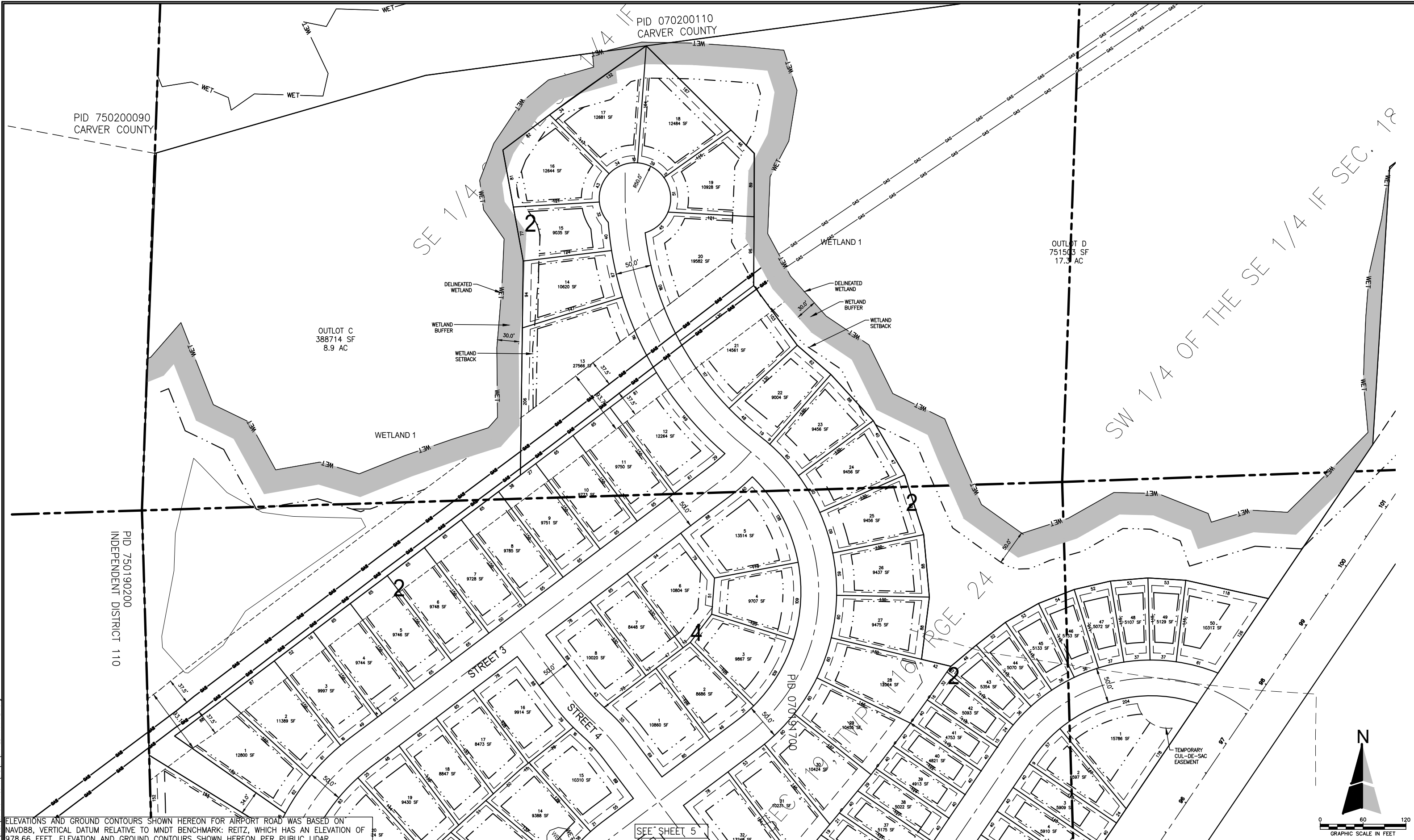
PID 750200090  
CARVER COUNTY

PID 070200110  
CARVER COUNTY

OUTLOT C  
388714 SF  
8.9 AC

OUTLOT D  
751503 SF  
17.3 AC

PID 750190200  
INDEPENDENT DISTRICT 110



ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR

SEE SHEET 5

NO.	DATE	DESCRIPTION

**CAMPION ENGINEERING SERVICES, INC.**  
 Civil Engineering • Land Planning  
 PO BOX 41486  
 PLYMOUTH, MN 55441  
 PHONE: (763)486.3799  
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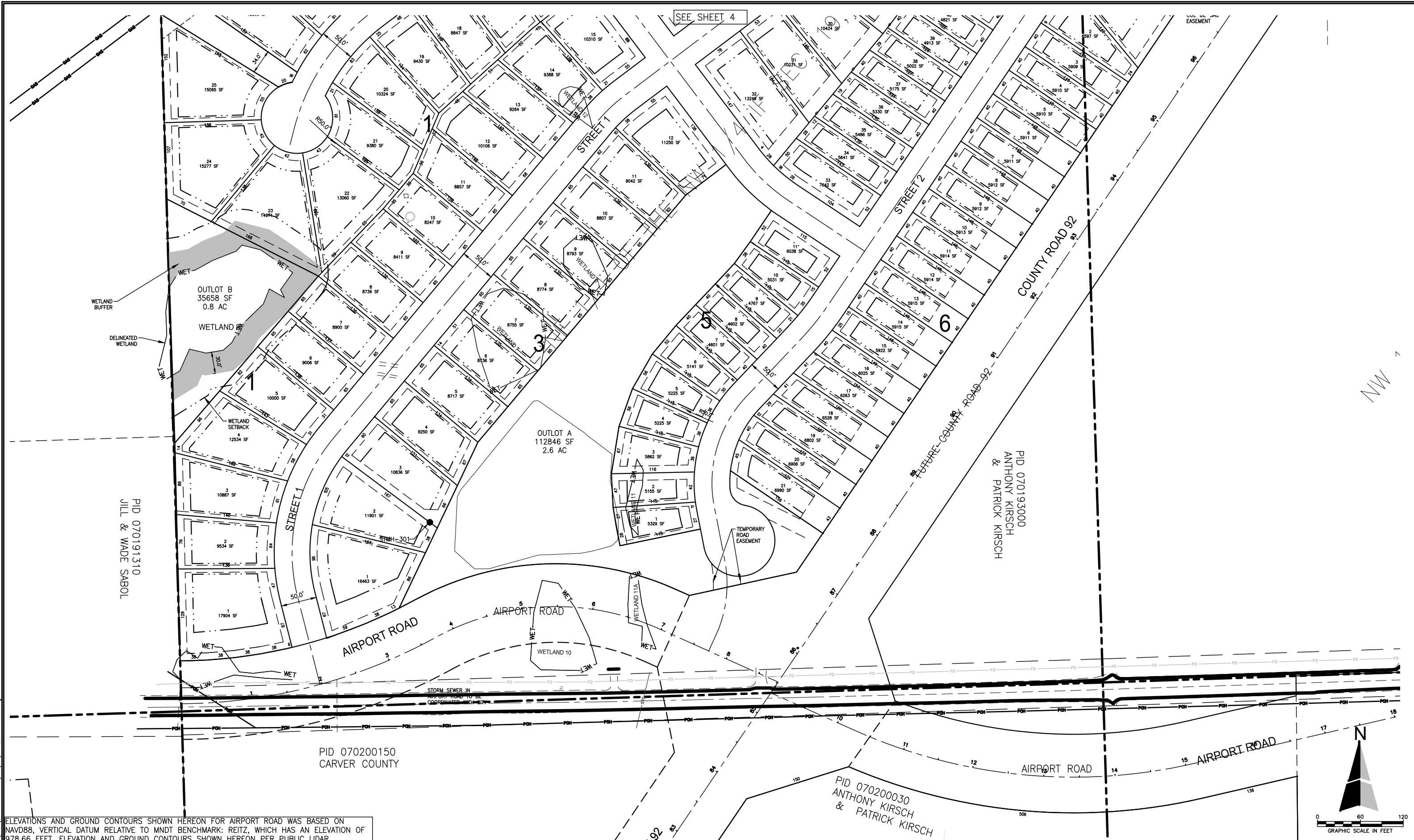
I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.  
 Martin P. Campion -Lic. # 19901 Date:

**WOODLAND TRAIL  
 TAMARACK LAND  
 WACONIA, MN**

**PRELIMINARY PLAT  
 NORTH**  
 SHEET NO. 4 OF 27 SHEETS  
 PROJECT NO: 25-019  
 DATE: 12/20/2025  
 P14628454

Plot Date & Time:

SEE SHEET 4



ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR

NO.	DATE	DESCRIPTION

**CAMPION ENGINEERING SERVICES, INC.**

Civil Engineering      Land Planning

PO BOX 41486  
PLYMOUTH, MN 55441  
PHONE: (763)486.3799  
EMAIL: MCAMPION@CAMPIONENG.COM

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Martin P. Campion - Lic. # 19901      Date:

**WOODLAND TRAIL TAMARACK LAND**  
WACONIA, MN

PRELIMINARY PLAT SOUTH

SHEET NO. 5 OF 27 SHEETS

PROJECT NO: 25-019

DATE: 12/20/2025

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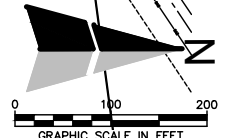
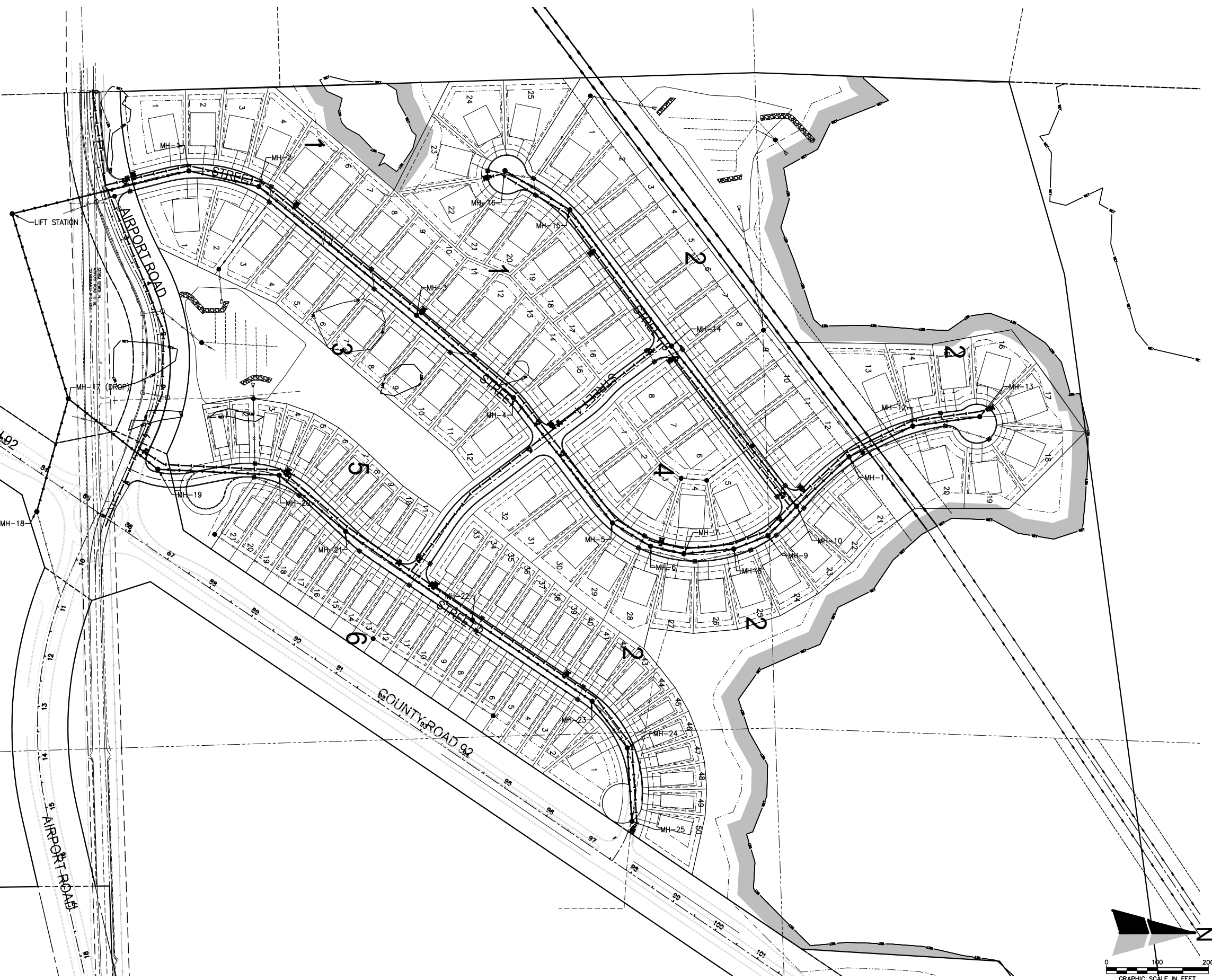
**LEGEND**

- PROPERTY LINE
- 880 EXISTING CONTOURS
- 900 PROPOSED CONTOURS
- - - EASEMENT LINE
- - - SETBACKS
- WET DELINEATED WETLAND EDGE
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- FENCE
- OVERHEAD POWER LINE
- UNDERGROUND ELECTRIC
- CULVERT
- SOIL BORING
- SANITARY SEWER MANHOLE
- SANITARY CLEANOUT
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- WATER DATE VALVE
- HYDRANT
- EXISTING TREE LINE
- INLET PROTECTION
- ROCK CONSTRUCTION ENTRANCE
- SILT FENCE


Plot Date & Time:

- NOTES:**
1. ALL WATERMAIN SHALL BE PVC C-900 OR C-905 DR 18.
  2. ALL WATERMAIN SHALL HAVE 7.5' FEET MINIMUM COVER.
  3. ALL HYDRANTS SHALL BE INSTALLED WITH 7.5' BURY.
  4. WATERMAIN NUTS AND BOLTS SHALL BE COR-BLU.
  5. DIP HYDRANT LEADS SHALL REQUIRE CATHODIC PROTECTION.
  6. ALL PVC SANITARY SEWER SHALL BE THE SDR 35 OR AS NOTED ON THE PLANS.
  7. INSTALL 20 LF OF 8" DIP OUT OF MANHOLES AT DROP LOCATIONS.
  8. SANITARY SEWER SERVICES SHALL BE 4" PVC SDR 26.
  9. TRACER WIRE ACCESS BOXES (VALVCO) SHALL BE REQUIRED AT THE RIGHT OF WAY. TRACER WIRE SHALL BE LOOPED FROM THE MAIN TO THE BOX. BOX SHALL BE INCIDENTAL TO THE SERVICE WYE.
  10. WATER SERVICES SHALL BE 1" HDPE DR 11.
  11. TRACER WIRE ACCESS BOXES AND GROUNDING ANODE RODS SHALL BE INSTALLED AT ALL CURB BOXES. BOXES AND RODS SHALL BE CONSIDERED INCIDENTAL TO THE CURB BOX.
  12. PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS - FIELD MANUAL" LATEST REVISION.
  13. EXISTING UTILITY LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
  14. SANITARY SEWER SERVICE SHALL BE EXTENDED 9' BEYOND THE RIGHT OF WAY.
  15. CURB STOP FOR ALL SERVICES SHALL BE INSTALLED 9' BEYOND THE RIGHT OF WAY.
  16. CONTRACTOR SHALL MARK END OF SANITARY SERVICE WITH 2"x4" WOOD MARKER, 4" ABOVE GRADE PER DETAIL 10-102.
  17. CONTRACTOR SHALL JET AND VACUUM (IF REQUIRED BY CITY) AND TELEVIEW ALL SANITARY MAINS AFTER MANHOLES HAVE BEEN ADJUSTED TO BASE COURSE AND PRIOR TO ACCEPTANCE BY THE CITY. THE CITY ENGINEER SHALL BE PROVIDED WITH 2 COPIES OF THE TELEVIEWING DVD'S.
  18. CURB BOXES SHALL BE MARKED WITH A 6" STEEL "T" POST, WITH UPPER 12" PAINTED BLUE.
  19. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY CONFLICTS.
  20. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FACILITIES TO ALLOW PROPER FUNCTIONING DURING AND AFTER CONSTRUCTION. SUPPORTING STRUCTURES, IF REQUIRED, SHALL BE SUPPLIED BY THE CONTRACTOR AS WORK INCIDENTAL TO THE CONTRACT.
  21. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND THE PROPOSED CONSTRUCTION. THE ENGINEER WILL COORDINATE WITH UTILITY COMPANY IN QUESTION TO DETERMINE THE NEED FOR RELOCATION OF THE EXISTING UTILITY.
  22. EXISTING CONDITIONS SUCH AS SAND IN MANHOLES OR VALVE BOXES SHALL BE IDENTIFIED BY THE CONTRACTOR AND THESE SHALL BE REPORTED TO THE ENGINEER PRIOR TO EXCAVATION BY THE CONTRACTOR. ONCE CONSTRUCTION HAS BEGUN, ALL DAMAGE TO UNDERGROUND UTILITIES WILL BE ASSUMED TO HAVE BEEN CAUSED BY THE CONTRACTOR, AND REPAIRS NECESSARY SHALL BE PERFORMED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  23. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND THE PROJECT ENGINEER 48 HOURS PRIOR TO STARTING WORK OR AS REQUIRE BY THE CITY.
  24. THE CONTRACTOR SHALL KEEP ACCESS ROADS CLEAR OF SOIL OR OTHER DEBRIS, AND PERFORM DAILY STREET CLEANING AS REQUIRED. POSITIVE DRAINAGE, CONTROLLED WITH EROSION CONTROL AND EROSION PREVENTION MEASURES AS REQUIRED SHALL BE PERFORMED.
  25. THE OWNER SHALL PAY FOR ALL COMPACTION TESTING. ANY AREAS WHICH FAIL TO MEET THE ABOVE STANDARDS SHALL BE CORRECTED AND RE-TESTED BY THE OWNER'S TESTING AGENT AT THE CONTRACTOR'S EXPENSE.
  26. CONTRACTOR SHALL NOTIFY CITY TWO WEEKS IN ADVANCE OF MAKING CONNECTION TO EXISTING WATERMAIN.

ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR



NO.	DATE	DESCRIPTION


**CAMPION ENGINEERING SERVICES, INC.**

• Civil Engineering      • Land Planning  
 PO BOX 41486  
 PLYMOUTH, MN 55441  
 PHONE: (763)486.3799  
 EMAIL: MCAMPION@CAMPIONENG.COM

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Martin P. Campion -Lic. # 19901      Date:

**WOODLAND TRAIL**  
**TAMARACK LAND**  
 WACONIA, MN

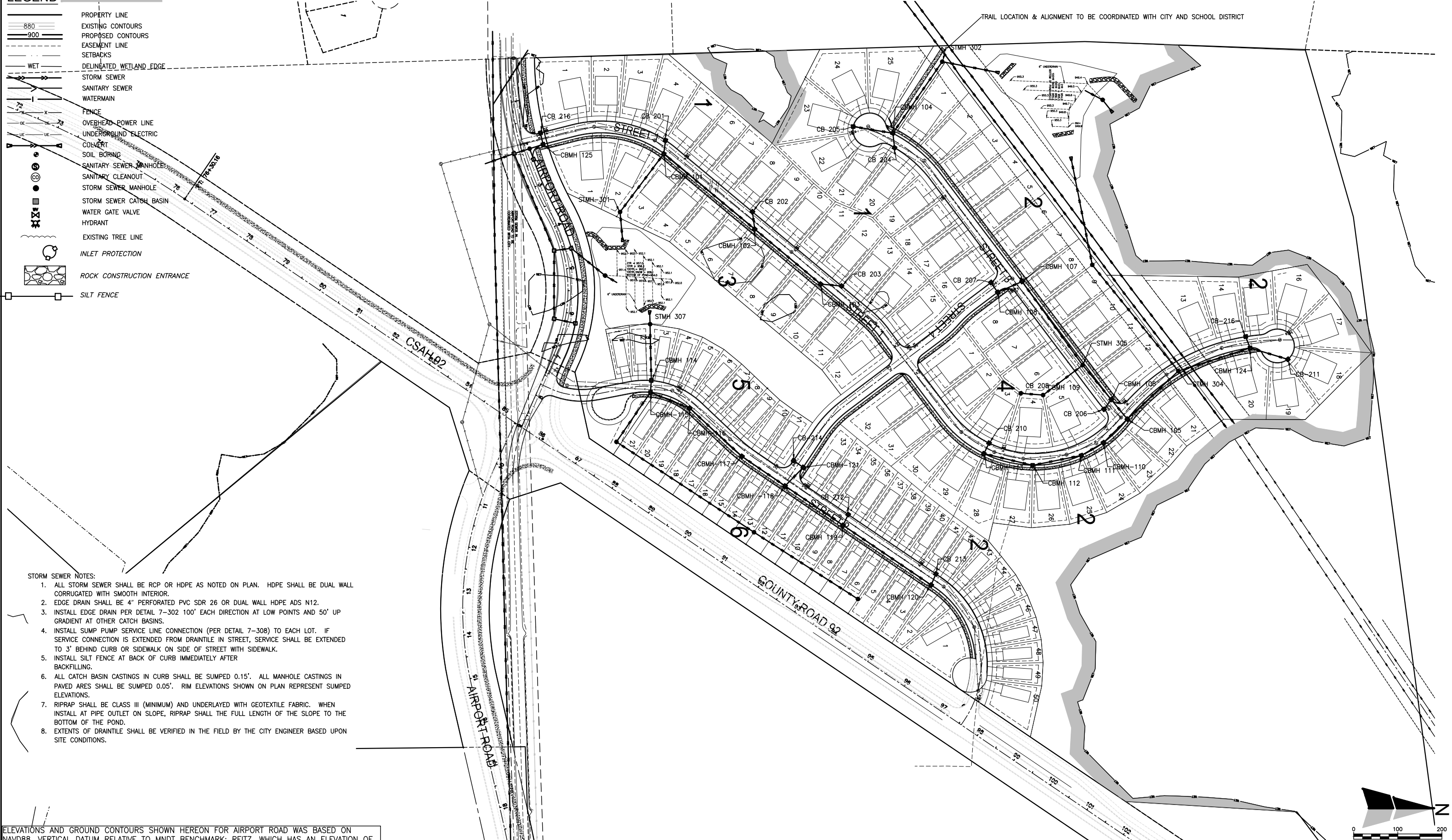
<b>PRELIMINARY SANITARY SEWER &amp; WATERMAIN PLAN - OVERALL</b>	PROJECT NO: <b>25-019</b>
SHEET NO. <b>6</b> OF 27 SHEETS	DATE: <b>2/20/2025</b> P10630054

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**LEGEND**

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EASEMENT LINE
- SETBACKS
- WET
- DELINEATED WETLAND EDGE
- STORM SEWER
- SANITARY SEWER
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- CONDUIT
- SOIL BORING
- SANITARY SEWER MANHOLE
- SANITARY CLEANOUT
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- WATER GATE VALVE
- HYDRANT
- EXISTING TREE LINE
- INLET PROTECTION
- ROCK CONSTRUCTION ENTRANCE
- SILT FENCE

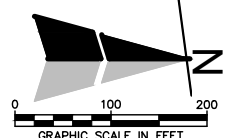
Plot Date & Time:



TRAIL LOCATION & ALIGNMENT TO BE COORDINATED WITH CITY AND SCHOOL DISTRICT

- STORM SEWER NOTES:**
1. ALL STORM SEWER SHALL BE RCP OR HDPE AS NOTED ON PLAN. HDPE SHALL BE DUAL WALL CORRUGATED WITH SMOOTH INTERIOR.
  2. EDGE DRAIN SHALL BE 4" PERFORATED PVC SDR 26 OR DUAL WALL HDPE ADS N12.
  3. INSTALL EDGE DRAIN PER DETAIL 7-302 100' EACH DIRECTION AT LOW POINTS AND 50' UP GRADIENT AT OTHER CATCH BASINS.
  4. INSTALL SUMP PUMP SERVICE LINE CONNECTION (PER DETAIL 7-308) TO EACH LOT. IF SERVICE CONNECTION IS EXTENDED FROM DRAINTILE IN STREET, SERVICE SHALL BE EXTENDED TO 3' BEHIND CURB OR SIDEWALK ON SIDE OF STREET WITH SIDEWALK.
  5. INSTALL SILT FENCE AT BACK OF CURB IMMEDIATELY AFTER BACKFILLING.
  6. ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15'. ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05'. RIM ELEVATIONS SHOWN ON PLAN REPRESENT SUMPED ELEVATIONS.
  7. RIPRAP SHALL BE CLASS III (MINIMUM) AND UNDERLAYED WITH GEOTEXTILE FABRIC. WHEN INSTALL AT PIPE OUTLET ON SLOPE, RIPRAP SHALL THE FULL LENGTH OF THE SLOPE TO THE BOTTOM OF THE POND.
  8. EXTENTS OF DRAINTILE SHALL BE VERIFIED IN THE FIELD BY THE CITY ENGINEER BASED UPON SITE CONDITIONS.

ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR



SEE SHEETS 18-20 FOR STREET PROFILES

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**WOODLAND TRAIL  
 TAMARACK LAND  
 WACONIA, MN**

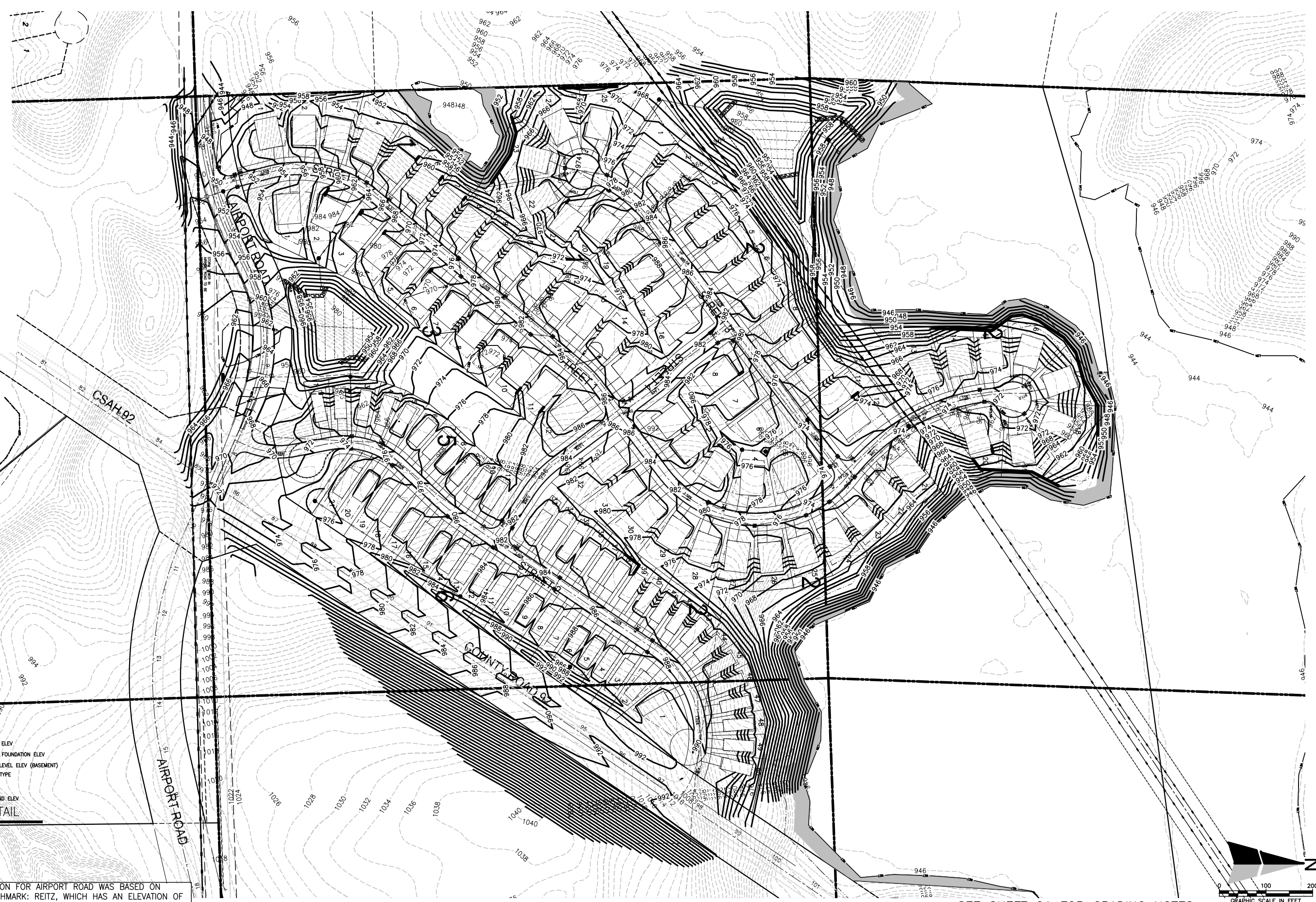
**PRELIMINARY STREET AND STORM SEWER - OVERALL**  
 SHEET NO. 9 OF 27 SHEETS

PROJECT NO:  
**25-019**  
 DATE:  
**12/20/2025**

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**LEGEND**

- PROPERTY LINE
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- PROPOSED CONTOURS
- EASEMENT LINE
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- SOIL BORING
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- STORM SEWER CATCH BASIN
- WATER GATE VALVE
- HYDRANT
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- INLET PROTECTION
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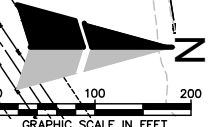


**HOUSE PAD ID DETAIL**

G=950.00	DENOTES GARAGE ELEV
TF= 950.3	DENOTES TOP OF FOUNDATION ELEV
LL=942.3	DENOTES LOWER LEVEL ELEV (BASEMENT)
LO	DENOTES HOUSE TYPE
941.8	DENOTES GROUND ELEV

ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR

SEE SHEET 21 FOR GRADING NOTES



NO.	DATE	DESCRIPTION

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- Civil Engineering
- Land Planning

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Martin P. Campion -Lic. # 19901 Date: \_\_\_\_\_

**WOODLAND TRAIL  
TAMARACK LAND  
WACONIA, MN**

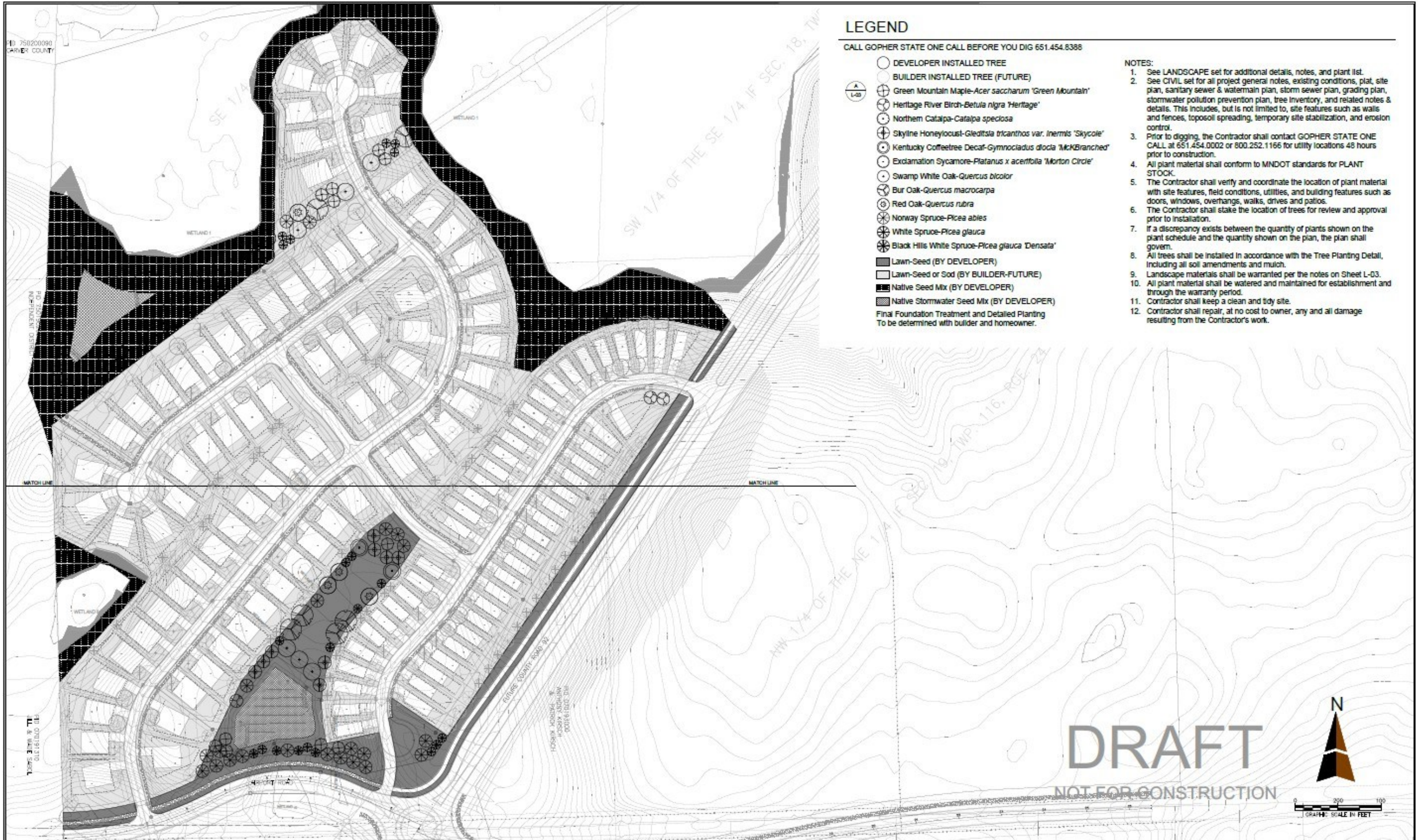
**PRELIMINARY GRADING PLAN -  
OVERALL**

SHEET NO. 12 OF 27 SHEETS

PROJECT NO:  
**25-019**

DATE:  
**12/20/2025**

Plot Date & Time: C:\Users\mk-ca\OneDrive\2025\_25-019\_WACONIA\_CAD\CIV 6 GRADING PLAN.dwg

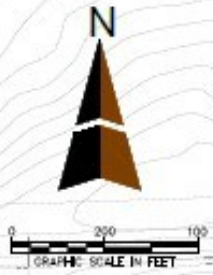


**LEGEND**

- CALL GOPHER STATE ONE CALL BEFORE YOU DIG 651.454.8388
- DEVELOPER INSTALLED TREE
  - BUILDER INSTALLED TREE (FUTURE)
  - ⊕ Green Mountain Maple-Acer saccharum 'Green Mountain'
  - ⊕ Heritage River Birch-Betula nigra 'Heritage'
  - ⊕ Northern Catalpa-Catalpa speciosa
  - ⊕ Skyline Honeylocust-Gleditsia tricanthos var. inermis 'Skycole'
  - ⊕ Kentucky Coffeetree Decal-Gymnocladus dioica 'McKBranded'
  - ⊕ Exclamation Sycamore-Platanus x acerifolia 'Morton Circle'
  - ⊕ Swamp White Oak-Quercus bicolor
  - ⊕ Bur Oak-Quercus macrocarpa
  - ⊕ Red Oak-Quercus rubra
  - ⊕ Norway Spruce-Picea abies
  - ⊕ White Spruce-Picea glauca
  - ⊕ Black Hills White Spruce-Picea glauca 'Densata'
  - Lawn-Seed (BY DEVELOPER)
  - Lawn-Seed or Sod (BY BUILDER-FUTURE)
  - Native Seed Mix (BY DEVELOPER)
  - Native Stormwater Seed Mix (BY DEVELOPER)
- Final Foundation Treatment and Detailed Planting To be determined with builder and homeowner.

- NOTES:**
1. See LANDSCAPE set for additional details, notes, and plant list.
  2. See CIVIL set for all project general notes, existing conditions, plat, site plan, sanitary sewer & watermain plan, storm sewer plan, grading plan, stormwater pollution prevention plan, tree inventory, and related notes & details. This includes, but is not limited to, site features such as walls and fences, topsoil spreading, temporary site stabilization, and erosion control.
  3. Prior to digging, the Contractor shall contact GOPHER STATE ONE CALL at 651.454.0002 or 800.252.1166 for utility locations 48 hours prior to construction.
  4. All plant material shall conform to MNDOT standards for PLANT STOCK.
  5. The Contractor shall verify and coordinate the location of plant material with site features, field conditions, utilities, and building features such as doors, windows, overhangs, walks, drives and patios.
  6. The Contractor shall stake the location of trees for review and approval prior to installation.
  7. If a discrepancy exists between the quantity of plants shown on the plant schedule and the quantity shown on the plan, the plan shall govern.
  8. All trees shall be installed in accordance with the Tree Planting Detail, including all soil amendments and mulch.
  9. Landscape materials shall be warranted per the notes on Sheet L-03.
  10. All plant material shall be watered and maintained for establishment and through the warranty period.
  11. Contractor shall keep a clean and tidy site.
  12. Contractor shall repair, at no cost to owner, any and all damage resulting from the Contractor's work.

**DRAFT**  
NOT FOR CONSTRUCTION



NO.	DATE	BY	DESCRIPTION	REVISIONS

**CAMPION ENGINEERING SERVICES, INC.**

Civil Engineering • Land Planning

PO BOX 41486  
PLYMOUTH, MN 55441  
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**STUDIO GRO**

PO BOX 16646  
MINNEAPOLIS, MN 55416  
PHONE: 612.642.1382  
EMAIL: SARAH@STUDIOGRO.COM

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Landscape Architect under the laws of the State of Minnesota.

Sarah K. Sutherland - L.C. # \_\_\_\_\_ Date: \_\_\_\_\_

**WOODLAND TRAIL TAMARACK LAND**  
WACONIA, MN

**PRELIMINARY LANDSCAPE AND RESTORATION PLAN**

SHEET NO. L-01 OF L-04 SHEETS

PROJECT NO: 25-019

DATE: 1/19/2026

750200090  
ER COUNTY

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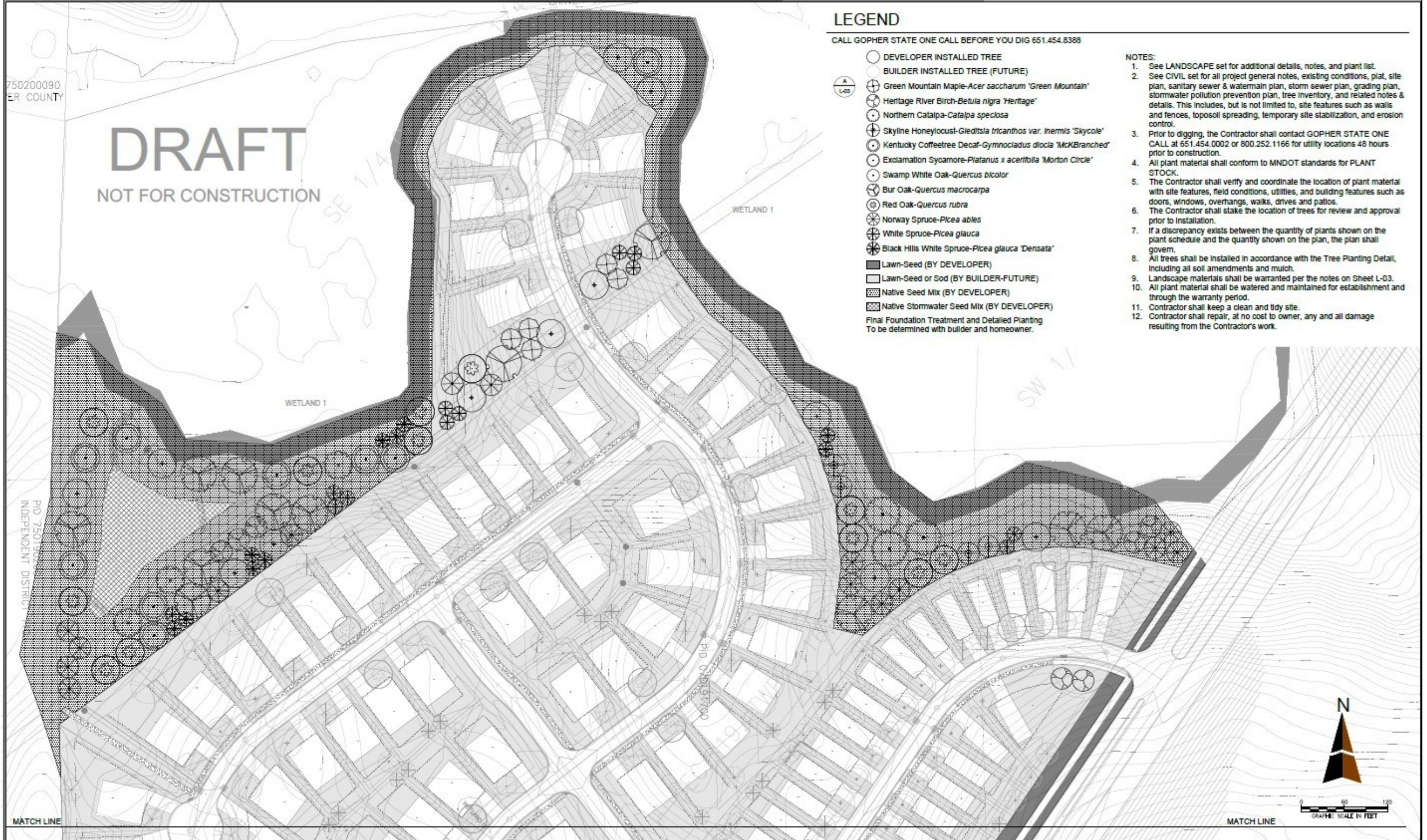
**LEGEND**

CALL GOPHER STATE ONE CALL BEFORE YOU DIG 651.454.8388

- DEVELOPER INSTALLED TREE
  - BUILDER INSTALLED TREE (FUTURE)
  - ⊕ Green Mountain Maple-Acer saccharum 'Green Mountain'
  - ⊕ Heritage River Birch-Betula nigra 'Heritage'
  - ⊕ Northern Catalpa-Catalpa speciosa
  - ⊕ Skyline Honeylocust-Gleditsia tricanthos var. inermis 'Skycole'
  - ⊕ Kentucky Coffeetree Decaf-Gymnocladus dioica 'McKBranded'
  - ⊕ Exclamation Sycamore-Platanus x acerifolia 'Morton Circle'
  - ⊕ Swamp White Oak-Quercus bicolor
  - ⊕ Bur Oak-Quercus macrocarpa
  - ⊕ Red Oak-Quercus rubra
  - ⊕ Norway Spruce-Picea abies
  - ⊕ White Spruce-Picea glauca
  - ⊕ Black Hills White Spruce-Picea glauca 'Densata'
  - Lawn-Seed (BY DEVELOPER)
  - Lawn-Seed or Sod (BY BUILDER-FUTURE)
  - ▨ Native Seed Mix (BY DEVELOPER)
  - ▩ Native Stormwater Seed Mix (BY DEVELOPER)
- Final Foundation Treatment and Detailed Planting To be determined with builder and homeowner.

**NOTES:**

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2. See CIVIL set for all project general notes, existing conditions, plat, site plan, sanitary sewer & watermain plan, storm sewer plan, grading plan, stormwater pollution prevention plan, tree inventory, and related notes & details. This includes, but is not limited to, site features such as walls and fences, toposol spreading, temporary site stabilization, and erosion control.
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NO.	DATE	BY	DESCRIPTION
REVISIONS			

**CAMPION ENGINEERING SERVICES, INC.**

Civil Engineering • Land Planning

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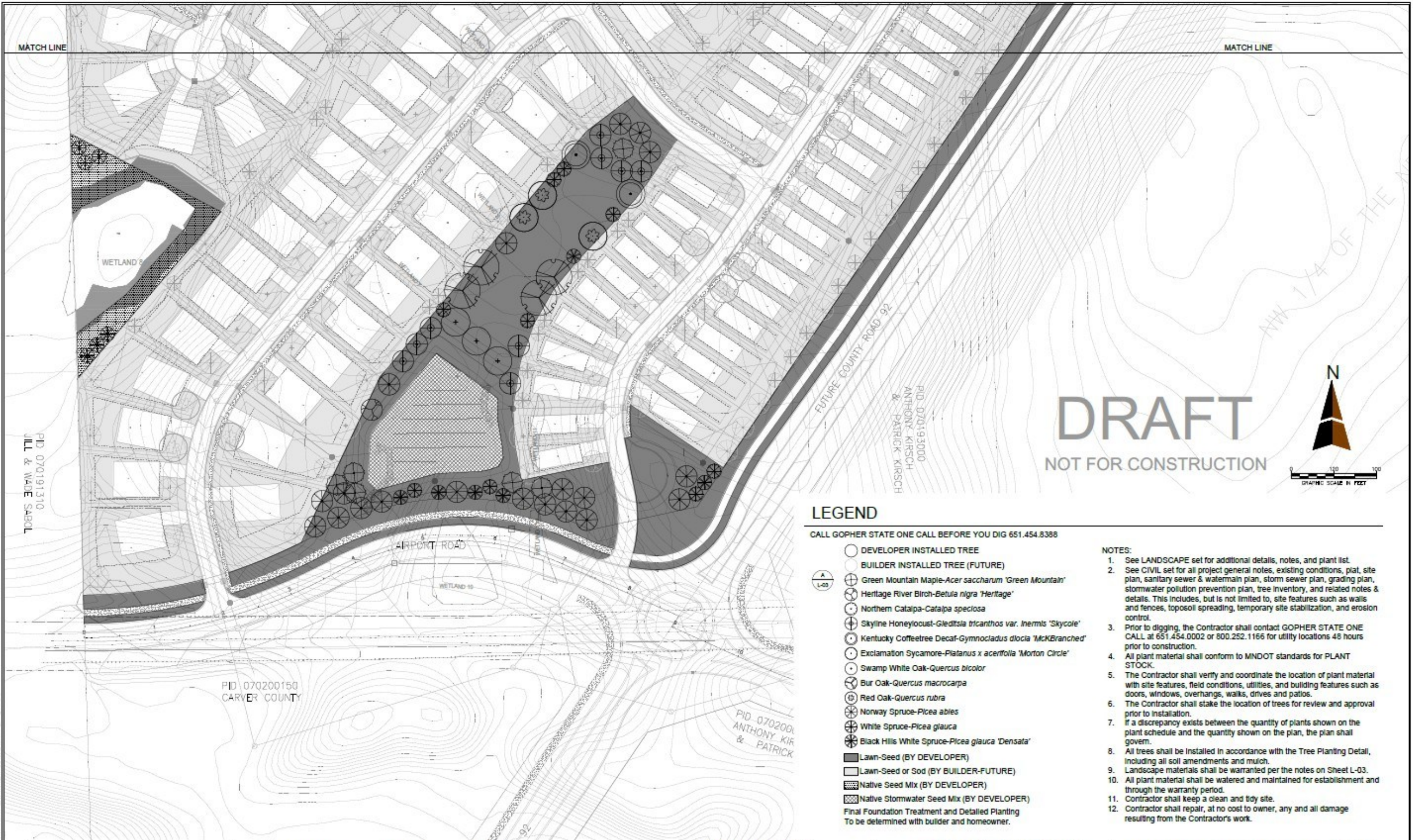
**WOODLAND TRAIL  
TAMARACK LAND  
WACONIA, MN**

**PRELIMINARY LANDSCAPE AND RESTORATION PLAN - NORTH**

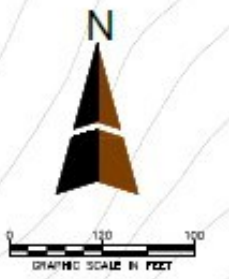
SHEET NO. L-02 OF L-04 SHEETS

PROJECT NO:  
**25-019**

DATE:  
**1/19/2026**



**DRAFT**  
NOT FOR CONSTRUCTION



**LEGEND**

- CALL GOPHER STATE ONE CALL BEFORE YOU DIG 651.454.8388
- DEVELOPER INSTALLED TREE
  - BUILDER INSTALLED TREE (FUTURE)
  - ⊕ Green Mountain Maple-*Acer saccharum* 'Green Mountain'
  - ⊕ Heritage River Birch-*Betula nigra* 'Heritage'
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  - ⊕ Kentucky Coffeetree-*Decaf-Gymnocladus dioica* 'McKBranded'
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  - ⊕ Bur Oak-*Quercus macrocarpa*
  - ⊕ Red Oak-*Quercus rubra*
  - ⊕ Norway Spruce-*Picea abies*
  - ⊕ White Spruce-*Picea glauca*
  - ⊕ Black Hills White Spruce-*Picea glauca* 'Densata'
  - Lawn-Seed (BY DEVELOPER)
  - Lawn-Seed or Sod (BY BUILDER-FUTURE)
  - ▨ Native Seed Mix (BY DEVELOPER)
  - ▩ Native Stormwater Seed Mix (BY DEVELOPER)
- Final Foundation Treatment and Detailed Planting To be determined with builder and homeowner.

- NOTES:**
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  5. The Contractor shall verify and coordinate the location of plant material with site features, field conditions, utilities, and building features such as doors, windows, overhangs, walks, drives and patios.
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  9. Landscape materials shall be warranted per the notes on Sheet L-03.
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  11. Contractor shall keep a clean and tidy site.
  12. Contractor shall repair, at no cost to owner, any and all damage resulting from the Contractor's work.

NO.	DATE	BY	DESCRIPTION	REVISIONS

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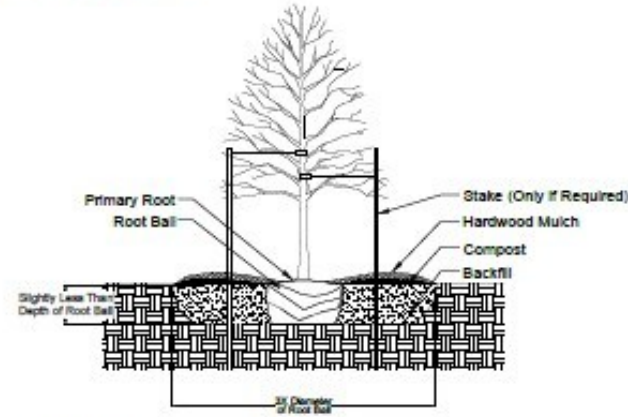
**WOODLAND TRAIL  
TAMARACK LAND  
WACONIA, MN**

**PRELIMINARY LANDSCAPE AND RESTORATION PLAN - SOUTH**

SHEET NO. L-03 OF L-04 SHEETS

PROJECT NO: 25-019  
DATE: 1/19/2026

**PLANT DETAILS**



**A TREE PLANTING**

Not to Scale

**PLANT NOTES**

**TREE AND SHRUB PLANTING**

1. Tree and shrub stock shall conform to all state requirements and American Standard for nursery stock.
2. Trees shall be planted immediately upon delivery to the site.
3. If the tree or shrub is container grown, score or prune the outside of the root ball to redirect circling fibrous roots. Carefully remove soil from the top of the root ball until the primary root is located.
4. If the tree or shrub is balled and burlapped, carefully remove soil from the top of the root ball until the primary root is located. Prune or remove any winding or girdling roots.
5. Cut any wires, wire baskets, and/or containers and carefully REMOVE ALL materials from the tree root ball before placing in the planting hole. Dispose of properly.
6. Carefully REMOVE ALL twine, cords, and/or wraps and remove from the root ball before placing in the hole. Dispose of properly.
7. Scantily the sides and bottom of the planting hole.
8. Make certain the planting depth is correct by locating the primary root. This is the top of the root ball. The top of the root ball shall be elevated above the finished grade at the time of planting. The elevated distance shall be equivalent to the caliper size. For example, the top of a tree root ball for a 2" caliper tree shall be 2" above the finished grade.
9. Carefully place the tree in the hole.
10. Loosen backfill before filling planting hole. Fill planting hole half way with excavated planting soil. Water to eliminate air pockets. Do not tamp.
11. Finish filling planting hole, tamp soil gently, and water immediately. Do not place backfill on top of the root ball, as determined by the primary root.
12. Apply a top dressing of high-quality compost over backfill. Compost shall be from the following suppliers, or approved equal:
  - 12.1. Mississippi Topsoil
  - 12.2. Cowsmo Compost
  - 12.3. Hsu's Growing Supply
13. Apply a 2" layer of double shredded, non-dyed, hardwood mulch above the compost. Maintain a 4" distance from the trunk flare.
14. Do not fertilize.
15. Stake trees, only if necessary, to stay in plumb position.
16. Prune tree to remove structural defects or to improve tree structure at the time of planting.

**PLANT SCHEDULE - DEVELOPER INSTALLED**

**LANDSCAPE + TREE PRESERVATION REQUIREMENTS - DEVELOPER INSTALLED OUTSIDE OF PLOTTED LOTS**

SECTION 900.07 - LANDSCAPING AND FENCING	
Required	Provided
All disturbed planting areas shall be covered with topsoil with minimum depth of six inches (6")	6" Topsoil-See CIVIL SET

Sodding, seeding, and maintenance of all areas not otherwise improved in accordance with approved site plans. Seed all areas outside of platted lots per plan.

**SECTION 900.06.8 ENVIRONMENTAL PROTECTION REGULATIONS D. TREE PRESERVATION REGULATIONS**

Required	Provided
XXXXX Replacement caliper inches per Section 900.06.8 ENVIRONMENTAL PROTECTION REGULATIONS, D. TREE PRESERVATION REGULATIONS	0 Replacement Caliper Inches \$0.00 Restitution Payment

No more than one-fourth (¼) of the trees to be planted may be from any one (1) species. No more than 1/4 of the trees from any one (1) species

Plantings shall be of similar vegetation as found on the site, with a preference for plantings designated as native to the site. Native plants similar to on-site species with a focus on native species and cultivars

The minimum planting size for deciduous trees shall be two and one half (2.5) inches in diameter. The minimum planting size for coniferous trees shall be six (6) feet in height. Minimum planting size 2.5" in diameter  
Minimum size 6 feet in height

**PLANT SCHEDULE-CONTRACTOR TO VERIFY ALL QUANTITIES**

**DEVELOPER INSTALLED OUTSIDE OF PLOTTED LOTS**

**SECTION 900.06.8 ENVIRONMENTAL PROTECTION REGULATIONS D. TREE PRESERVATION REGULATIONS**

**DEVELOPER INSTALLED DECIDUOUS TREES**

QTY	Common Name	Scientific Name	Mature Height	Mature Width	Caliper Size (Inches) B&B
12	EA Green Mountain Maple	Acer saccharum 'Green Mountain'	50-75'	35-50'	2.5
8	EA Heritage River Birch-Single Stem	Betula nigra 'Heritage'	40-60'	30-40'	2.5
3	EA Northern Catalpa	Catalpa speciosa	40'	20-40'	2.5
13	EA Skyline Honeylocust	Gleditsia tricanthos var. inermis 'Skycoke'	50-75'	35-50'	2.5
11	EA Kentucky Decaf	Gymnocladus dioica 'McKBranded'	50'	40'	2.5
3	EA Exclamation Sycamore	Platanus x acerifolia 'Morton Circle'	60'	45'	2.5
14	EA Swamp White Oak	Quercus bicolor	50'	40'	2.5
16	EA Bur Oak	Quercus macrocarpa	60-80'	60-80'	2.5
15	EA Red Oak	Quercus rubra	60-80'	40-50'	2.5

**DEVELOPER INSTALLED CONIFEROUS TREES**

QTY	Common Name	Scientific Name	Mature Height	Mature Width	Planting Size (feet) B&B
35	EA Norway Spruce	Picea abies	30-80'	25-30'	6' Ht
15	EA White Spruce	Picea glauca	40-60'	15-20'	6' Ht
28	EA Black Hills White Spruce	Picea glauca 'Densata'	20-40'	15-20'	6' Ht

**DEVELOPER INSTALLED LAWN PER PLAN OUTSIDE OF PLOTTED LOTS**

Item	Specifications:
Lawn Seed + Erosion Control Blanket	See Mix Details
Twin Cities Seed Co. Tuff Turf Lawn Seed or Approved Equal	See Mix Details
3.607 Acres	

Erosion control blanket required on all water conveyance areas and all slopes greater than 3:1. Seed germination blanket or hydromulch is required on all other areas that are seeded in lawn. NOTE: Please see CIVIL Set for temporary soil stabilization and erosion control seed mixes for lawn areas.

**NATIVE SEED MIXES**

Item	Rate:
Native Seed Mix + Erosion Control Blanket	See Mix Details
BWSR Pollinator Plot Urban SE 38-631	See Mix Details
6.371 Acres	

Erosion control blanket required on all water conveyance areas and all slopes greater than 3:1. NOTE: Please see CIVIL Set for temporary soil stabilization and erosion control seed mixes for lawn areas.

Item	Rate:
Native Stormwater Seed Mix + Erosion Control Blanket	See Mix Details
MNL Septic Mound Mix or Approved Equal	See Mix Details
0.94 Acres	

Erosion control blanket required on all water conveyance areas and all slopes greater than 3:1. NOTE: Please see CIVIL Set for temporary soil stabilization and erosion control seed mixes for lawn areas.

**EROSION CONTROL BLANKET**

100% Biodegradable Category 20 Rolled Erosion Prevention Product-SEE CIVIL SET

**NOTES**

Trees to be planted shall be from certified nursery stock as defined and controlled by Minnesota Statutes.

Native Seed Mix shall be installed by a qualified contractor, must be a specified BWSR Seed Mix, and be installed with no fertilizer.

All required plantings, including trees, seed, and sod, shall be guaranteed for one full year from the time planting has been completed. All plants shall be alive and in satisfactory growth at the end of the guarantee period or be replaced.

NOTE: all grass and vegetative plantings shall be completed no later than six (6) months from the date of issuance of a certificate of occupancy. Grass shall be clean and free of noxious weeds and pests or diseases and shall be of a species normally grown as permanent lawns and suitable to this climate.

**PLANT SCHEDULE - BUILDER INSTALLED (FUTURE)**

**LANDSCAPE REQUIREMENTS - BUILDER INSTALLED (FUTURE) WITHIN PLOTTED LOTS**

SECTION 900.07 - LANDSCAPING AND FENCING	
Required	Provided
(254 Trees) 2 Trees per lot	254 Trees Per Plan
Not less than 25% (64) deciduous trees, and not less than 33% (84) coniferous trees	66% deciduous trees, 34% coniferous trees

Sodding, seeding, and maintenance of all areas not otherwise improved in accordance with approved site plans. Seed or Sod all lawn areas in platted lots per plan.

**PLANT SCHEDULE-CONTRACTOR TO VERIFY ALL QUANTITIES**

**BUILDER INSTALLED (FUTURE) WITHIN PLOTTED LOTS**

**SECTION 900.07 - LANDSCAPING AND FENCING**

**BUILDER INSTALLED DECIDUOUS TREES**

QTY	Common Name	Scientific Name	Mature Height	Mature Width	Caliper Size (Inches) B&B
25	EA Green Mountain Maple	Acer saccharum 'Green Mountain'	50-75'	35-50'	2.5
24	EA Heritage River Birch-Single Stem	Betula nigra 'Heritage'	40-60'	30-40'	2.5
24	EA Skyline Honeylocust	Gleditsia tricanthos var. inermis 'Skycoke'	50-75'	35-50'	2.5
14	EA Kentucky Decaf	Gymnocladus dioica 'McKBranded'	50'	40'	2.5
17	EA Greenspire Linden	Tilia cordata 'Greenspire'	40-50'	30-35'	2.5
24	EA Swamp White Oak	Quercus bicolor	50'	40'	2.5
11	EA Bur Oak	Quercus macrocarpa	60-80'	60-80'	2.5
31	EA Red Oak	Quercus rubra	60-80'	40-50'	2.5

**BUILDER INSTALLED CONIFEROUS TREES**

QTY	Common Name	Scientific Name	Mature Height	Mature Width	Planting Size (feet) B&B
41	EA Norway Spruce	Picea abies	30-80'	25-30'	6' Ht
18	EA White Spruce	Picea glauca	40-60'	15-20'	6' Ht
25	EA Black Hills White Spruce	Picea glauca 'Densata'	20-40'	15-20'	6' Ht

**BUILDER INSTALLED LAWN PER PLAN IN PLOTTED LOTS**

Item	Specifications:
LAWN + Erosion Control Blanket	Per Builder
Seed or Sod per Builder	Per Builder
20.6 Acres	

For seeded areas, erosion control blanket required in all water conveyance areas and all slopes greater than 3:1. NOTE: Please see CIVIL Set for temporary soil stabilization and erosion control seed mixes for lawn areas.

**EROSION CONTROL BLANKET**

100% Biodegradable Category 20 Rolled Erosion Prevention Product-SEE CIVIL SET

**NOTES**

Trees to be planted shall be from certified nursery stock as defined and controlled by Minnesota Statute.

All required plantings, including trees, seed and sod, shall be guaranteed for one full year from the time planting has been completed. All plants shall be alive and in satisfactory growth at the end of the guarantee period or be replaced.

NOTE: all grass and vegetative plantings shall be completed no later than six (6) months from the date of issuance of a certificate of occupancy. Grass shall be clean and free of noxious weeds and pests or diseases and shall be of a species normally grown as permanent lawns and suitable to this climate.

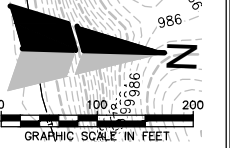
**DRAFT**  
NOT FOR CONSTRUCTION

NO. DATE BY DESCRIPTION REVISIONS	<p>Civil Engineering • Land Planning PO BOX 41486 PLYMOUTH, MN 55441 PHONE: (763)486.3799 EMAIL: MCAMPION@CAMPIONENG.COM</p>	<p>PO BOX 16646 MINNEAPOLIS, MN 55416 PHONE: 612.642.1382 EMAIL: SARAH@STUDIOGRO.COM</p>	<p>I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Landscape Architect under the laws of the State of Minnesota.</p> <p>Sarah K. Sutherland - L.L. # Dale</p>	<p><b>WOODLAND TRAIL TAMARACK LAND</b> WACONIA, MN</p>	<p>PRELIMINARY LANDSCAPE AND RESTORATION PLAN - DETAILS + PLANT SCHEDULE</p>	<p>PROJECT NO: 25-019</p>
					<p>SHEET NO. L-04 OF L-04 SHEETS</p>	<p>DATE: 1/19/2026</p>

Plot Date & Time: C:\Users\luc-ca\OneDrive\2025\25-019 WACONIA\CAD\CIVIL TREE INVENTORY.dwg



ELEVATIONS AND GROUND CONTOURS SHOWN HEREON FOR AIRPORT ROAD WAS BASED ON NAVD88, VERTICAL DATUM RELATIVE TO MNDT BENCHMARK: REITZ, WHICH HAS AN ELEVATION OF 978.66 FEET. ELEVATION AND GROUND CONTOURS SHOWN HEREON PER PUBLIC LIDAR



NO.	DATE	DESCRIPTION
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**CAMPION ENGINEERING SERVICES, INC.**

• Civil Engineering • Land Planning  
 PO BOX 41486  
 PLYMOUTH, MN 55441  
 PHONE: (763)486.3799  
 EMAIL: MCAMPION@CAMPIONENG.COM

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.  
 Martin P. Campion -Lic. # 19901 Date:

**WOODLAND TRAIL  
 TAMARACK LAND  
 WACONIA, MN**

**TREE PRESERVATION PLAN**  
 SHEET NO. 1 OF 28 SHEETS

PROJECT NO:  
**25-019**  
 DATE: **12/20/2025**  
 Page 37 of 40

Plot Date & Time: 3-13-2026 PER 3/3/2026 CITY REVIEW



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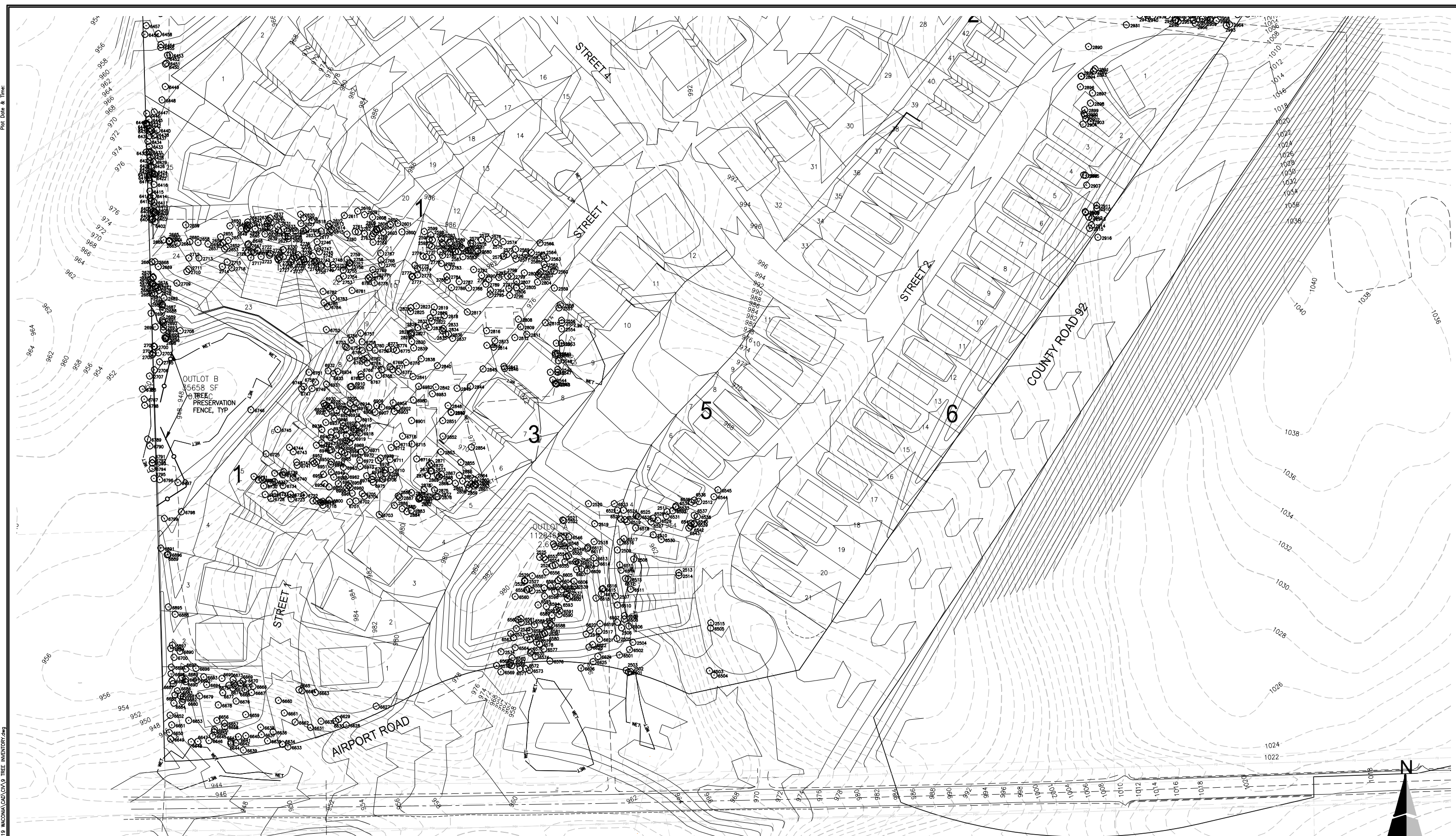
**WOODLAND TRAIL  
 TAMARACK LAND  
 WACONIA, MN**

**TREE PRESERVATION PLAN**  
 SHEET NO. 1 OF 28 SHEETS

PROJECT NO:  
**25-019**  
 DATE: **12/20/2025**  
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Plot Date & Time:

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 TAMARACK LAND  
 WACONIA, MN**

**TREE PRESERVATION PLAN**  
 SHEET NO. 1 OF 28 SHEETS

PROJECT NO:  
**25-019**  
 DATE: **12/20/2025**  
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# WOODLAND TRAIL PHASING PLAN